



**PLANNING COMMISSION
STAFF REPORT**

TO: Planning Commission

FROM: Juan Martinez, Associate Planner

DATE: May 3, 2012

SUBJECT: Planning and Zoning Permit No. 08-550-03 (Major Modification to Special Use Permit No. 1255), Ventura Road Chevron, 1860 North Ventura Road

- 1) Recommendation:** That the Planning Commission approve Planning and Zoning Permit No. 08-550-03 (Major Modification to Special Use Permit No. 1255), subject to certain findings and conditions.

- 2) Project Description and Applicant:** Application requesting to construct and operate a 1,440 square foot automated carwash at an existing automobile fuel station (Chevron), located at 1860 North Ventura Road. The 60-foot long tunnel with state-of-the art noise attenuation technology will be located to the east of the existing 964 square foot food mart, and the project includes dedication of public-right-of-way for the future widening of Gonzales Road and Ventura Road. A four-foot wide dedication (no improvements) is proposed along Gonzales Road, and a 17-foot wide dedication along Ventura Road will allow future roadway improvements to accommodate a right turn pocket. Filed by Leon E. Felus on behalf of Mohammad Taherizadegan, 14000 Palawan Way Suite D, Marina Del Rey, California 90292.

- 3) Existing & Surrounding Land Uses:** The developed 34,558 square foot site is located within the Fremont North Neighborhood.

Direction	Zoning	General Plan	Existing Land Use
PROJECT SITE	C2-PD(General Commercial Planned Development)	CG (Commercial: General)	Ventura Road Chevron (Fuel Station)
North	C2-PD(General Commercial Planned Development)	CG (Commercial: General)	Popeye's Chicken & Biscuits (Fast Food Restaurant)
East	CO-PD (Commercial Office Planned Development)	CO (Commercial: Office)	County Villa Oxnard Health Ctr (Convalescent Hospital)
South	R-1 (Single Family Residential)	RL (Residential: Low)	Single Family Homes
West	C-PD (Commercial Planned Development)	CG	Ventura Valero (Fuel Station)

Direction	Zoning	General Plan	Existing Land Use
	Development)	(Commercial: General)	

4) Background Information: On January 7, 1988, the Planning Commission adopted Resolution No. 7131 approving Special Use Permit No. 1255 to redevelop the site and construct a new Chevron mini-mart with self service gasoline sales. The proposed addition will amend the special use permit to incorporate the proposed use with recommended conditions. As such, the conditions for Special Use Permit 1255 shall remain in full force and effect along with the recommended conditions for this request.

5) Environmental Determination: In accordance with Section 15303 of the State California Environmental Quality Act (CEQA) Guidelines, projects involving the “installation of small new equipment and facilities in small structures” may be found to be exempt from the requirements of CEQA. This proposal qualifies for this exemption because the 1,440 square foot equipment carwash tunnel will be added to existing fuel and retail use and the project includes noise reduction barriers and baffling that documents that City Code required noise levels are not exceeded at the property lines. Therefore, staff has determined that there is no substantial evidence that the project may have a significant effect on the environment and recommends that Planning Commission accept the Notice of Exemption (See Attachment D).

6) Analysis:

a) General Discussion: The site is currently operating as a Chevron fuel facility with eight pull-up fuel station and a 964 square foot mini-mart. The full service equipment car wash tunnel is considered an ancillary use to the existing fuel and retail services. The automated drive through carwash facility will be equipped with state of the art equipment designed to efficiently wash and dry vehicles as they pass through the tunnel. All equipment will be housed indoors and car wash operations will be fully automated with integral wash rollers, watering spraying and drying mechanism. Additional noise barriers and baffling are included so as to reduce noise to City Code levels at the property lines. The applicant requests car wash services from 5:00 am to 11:00 pm; however, carwash operations shall be conditionally restricted to operate between the hours of 8:00 am to 7:00 pm to further reduce noise even though the City Code noise levels are not being exceeded. Carwash operations involve two employees and two shifts are anticipated. Employees will oversee, safeguard and manage day to day car wash operations. Three new vacuum stations are proposed near the northwest corner of the site where customers may vacuum the inside of their vehicles.

b) General Plan Consistency: The City’s 2030 General Plan land use designation for the subject site is for General Commercial uses which allows commercial land uses that include free-standing commercial uses along arterial thoroughfares. The existing fuel station, mini-mart and proposed car wash are considered commercial uses designed to support arterial commercial activity; therefore, approval of this special use permit has

been determined to be consistent with the General Plan and the property's land use designation.

Consistency with the 2030 General Plan is defined by the relationship between 2030 General Plan policies and the proposed project. The three consistency classification levels are:

- I. Direct Applicability to a Proposed Project or Program (full text of the policy and an explanation).
- II. Related or Indirect Applicability to the Proposed Project or Program (policy title and an explanation for each or groups of related or indirectly related policies).
- III. No or Distant Applicability to the Proposed Project or Program (all policies not listed as Level I and II are assumed to be consistent).

POLICY	LEVEL	POLICY OR TITLE	EXPLANATION
SH-6.4	I	Require that proposed development projects not generate more noise than that classified as "satisfactory" based on CEQA Thresholds of significance on nearby property.	The project's acoustical study found that ambient and operations noise emissions did not exceed CEQA Thresholds or City Code.
SH-6.9	I	Prohibit the development of new commercial, industrial, or other noise generating land uses adjacent to existing residential uses, and other sensitive noise receptors such as schools, child and daycare facilities, health care facilities, libraries, and churches if noise levels are expected to exceed 70 dBA.	The car wash addition is proposed adjacent to an existing health care facility. However, according to the acoustical study, the proposed equipment and the construction's design of the carwash will be in compliant with the City's noise standards and is not expected to impact noise conditions beyond property limits.
ICS-3.3	I	Determine as part of the development review and approval process that intersections associated with new development operate at a level of service of "C" or better.	The project involves dedication along Gonzales Road and Ventura Road for future widening needs; even though, this intersection is currently operating at level of service A and B.
SH-5.3	I	Promote, where feasible, alternative sound attenuation measures such as berms, heavy landscaping, resurfacing of noise walls to promote noise absorption as well as deflection, berms and landscaping, or location of buildings away from the roadway or other noise sources.	A noise buffer wall and baffling were incorporated into the design of the project.
CD-3.4 CD-4.4 CD-14.1 CD-14.2 CD-14.3 ICS-11.10 ER-7.2 ER-10.1	II	Neighborhood quality of life. Commercial Area Aesthetics. Design Review Process Development Advisory Committee Functions (DAC) Quality of Design Water Supply Findings for Smaller Projects Design of Sound or Zone Walls Promote use of Native and Water Wise Plants	The Development Advisory Committee (DAC) review process led to changes in the project and/or conditions of approval that meet these Level II policies.
All others	III	All policies not listed above	Assumed consistent

c) Conformance with Zoning Development Standards: The proposed development is located in the General Commercial (C-2) zone district. In

accordance with the City Code, the proposed car wash may be permitted with an approved special use permit. Applicable development standards of the C-2 zone have been compared with the proposed project, as follows:

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Front yard setback	10 feet	67.2 feet (Carwash Tunnel)	Yes
Side yard setback	5 feet	5 feet to eastern property	Yes
Rear yard setback;	No setback for structures 16 ft in height or less. 15 feet for structures taller than 16 feet in height.	45-feet	Yes
Building Height	Two-stories at 35 feet	One-story at 18.8 feet	Yes
Required Number of Parking Spaces	<u>Retail (964sq ft)</u> 1 parking stall per 300sf <u>Drive Thru Carwash</u> 2 spaces	<u>Retail</u> 3.2 parking stalls <u>Drive Thru Carwash</u> 2 employee	Yes
Loading Zone	1 - 40-foot long X 12-foot wide loading zone	1 - 40-foot long X 12-foot wide loading zone	Yes
Bike Racks	One rack for 5 bikes at each building	Bike rack for 5 bikes at each building	Yes

d) Site Design: The 34,558 square foot developed site is rectangular in shape and is bounded by two arterial roadways: Ventura Road to the west and Gonzales Road to north. A 4,230 square foot canopy lies near the center of the site with the 964 square foot food mart in the center separating four pull-up stalls on one side and four other on the opposite side. Four parallel parking stalls are located along the southern side of the site and the project proposes to change the striping design to seven stalls in a perpendicular configuration. There are five standard stalls, one handicap, and an 11-foot wide pull-in stall for Air/Water service. The carwash facility is proposed along the eastern edge over an asphalted areas that serves as a vehicular drive around the fuel station.

An Ambient and Operations Noise Study was prepared by Advanced Engineering Acoustics from Simi Valley. The car wash is proposed adjacent to a convalescent hospital which is considered a sensitive receptor. The study evaluates ambient noise conditions, potential noise impacts, and the location of the proposed car wash addition. The study was prepared in accordance with the City's Noise Element of the General Plan and the adopted Sound Regulations of the City Code. Overhead drying blowers at the end of the wash process and near the exit point of the wash tunnel are identified as noise producing. The drying units will incorporate manufacturer sound attenuation add-ons that are designed to lessen and reduce noise produced. In addition, overhead air units will be recessed 15-feet within the building. The design of the carwash unit incorporates an 11-foot high wing noise buffer wall that will extend 11-feet beyond the exit doors of the tunnel and will further muffle and restrict noise extrusion produced by the drying blowers. The study makes reference to a 9-foot high wall; however, the wall proposed is

actually 11-feet high and this is assumed to be a more conservative measure for noise impacts.

- e) Circulation and Parking:** The site is currently accessible via two existing driveway approach lanes along Gonzales Road and one driveway approach along Ventura Road. This property lies on a prominent intersection of the City with both roadways having a center median and left turn pockets in their respective direction. At this time, this intersection is performing at a satisfactory level of service with an LOS A in the morning and an LOS B in the afternoon and evening. The proposed addition is not anticipated to negatively impact the level of service of this intersection. However, based on anticipated development in the area and projected growth of the 2030 General Plan, the site would warrant widening and roadway improvement necessary to accommodate future traffic demands.

This project requires dedication of public-right-of-way for the future widening of Gonzales Road and Ventura Road. A 4-foot wide dedication with no improvements is proposed along Gonzales Road, and a 17-foot wide dedication along Ventura Road will allow future roadway improvements to accommodate a right turn pocket. At this time, the roadway improvements are not necessary, but conditions do warrant the need for dedication for public right of way on both street sides and necessary conditions for future impacts to the site. The westerly driveway along Gonzales Road will be affected and need to be reduced from a two-way traffic design to one-way in only to accommodate the future widening needs along Gonzales Road. Landscaping along Ventura Road is increasing and new trees will be planted outside of the Right-of-Way dedication area to avoid future removal of trees.

The car wash facility accommodates stacking for approximately four vehicles before the wash tunnel. Car wash facilities like these generally attract persons who drive through the car wash tunnel and leave the site once the vehicle completes the wash cycle; however, three vacuum stations are provide and customers will have an opportunity to circle around and pull into one of the self service vacuum stations near the corner. The vacuum stalls are striped to accommodate a 12 foot wide stall to allow persons ample room to vacuum from both sides of their vehicles.

- f) Landscaping:** On site landscaping improvements are proposed to accommodate the proposed car wash addition. Landscaped areas along Ventura Road will be square off to accommodate the vacuum pull-outs and to compensate for future street widening, ingress and parking re-orientation. End planters will be created to conform to City standards and landscaping around the car wash building will complement the building. The landscape plans shows 17 trees in various areas throughout the site along with new landscaping designed to meet the City's Landscape Water Conservation Standards.

Trees, etc prepared a tree evaluation report dated October 19, 2011. The report evaluated 12 existing trees throughout the site. Nine trees (six Palms Trees and three Carrotwood) will be removed to accommodate the proposed project and three trees will remain in place. The tree evaluation study established an economic appraised value of \$10,530.00 for the trees proposed to be removed. The economic appraisal value of the trees removed will be required to be put back into new tree sizes for the project that will exceed the City's minimum tree sizes.

- g) Building Design:** The proposed new structure has been designed to coordinate the existing food mart building and fuel canopy. The base of the building incorporates a brick painted (stone gray) wainscot element that will wrap on the three visible sides. The east elevation will have a stucco finish with an upper ACM (Aluminum Composite Material) fascia panel that will wrap on all sides and is designed match the existing canopy's design. Metal trellis framework will be mounted along the west and east elevations and climbing vines will be planted and trained to further enhance the building.
- h) Signs:** Signs illustrated on elevations show directional signs directly mounted over vehicular entry and exit doorways. A car wash identification sign is shown on west elevation; however, signs on the building are subject to the review and conformance with the City Code requirements. The proposed project does not warrant the need for a sign program.
- 7) Development Advisory Committee:** The Development Advisory Committee (DAC) reviewed this project on November 26, 2008 and again in February of 2012. The proposed project was found to be consistent with the City Code requirements and DAC provided conditions of approval that have been incorporated into the attached resolution.
- 8) Community Workshop:** On the week of November 30, 2009, the applicant mailed notices of the Community Workshop meeting to all property owners within the Windsor North, Sierra Linda, Cabrillo, and Fremont Neighborhood. A notice of this meeting was posted on the project site with a brief description and contact information. The Community Workshop was conducted on Monday, December 14, 2009. On the agenda were two items and four persons from the community attended the meeting. The architect made a brief presentation and answered general questions regarding hours of operation.
- 9) Appeal Procedure:** In accordance with Section 16-545 of the City Code, the Planning Commission's action may be appealed to the City Council within 18 days after the decision date. Appeal forms may be obtained from the City Clerk and must be submitted with the appropriate fees before the end of the appeal period.

Attachments:

PZ08-550-03 (MJMD to SUP 1255)

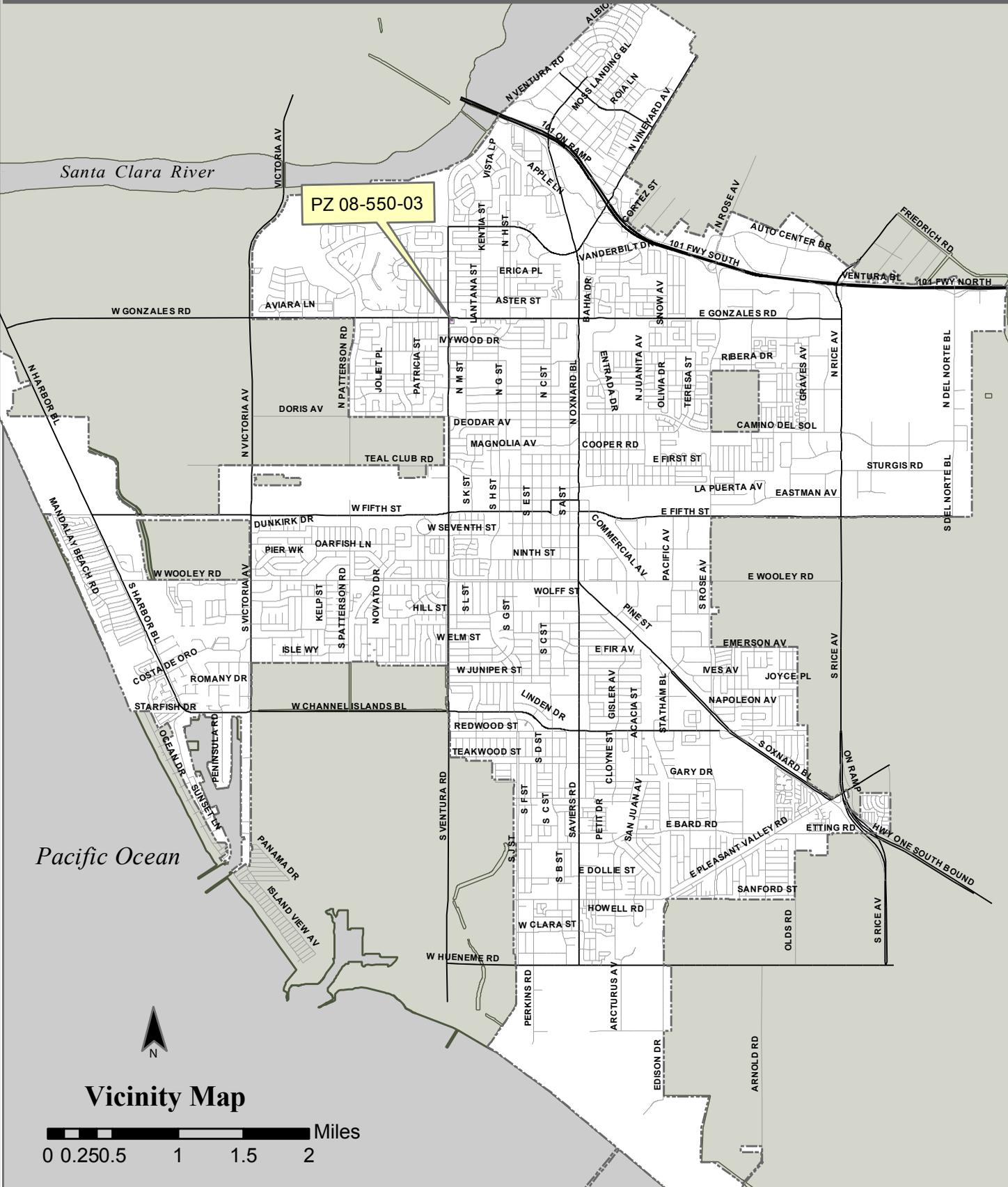
May 3, 2012

Page 7

- A. Maps (Vicinity, General Plan, Zoning)
- B. Reduced Project Plans
- C. Ambient and Operations Noise Study
- D. Notice of Exemption
- E. Resolution No. 7131 (SUP 1255)
- F. Major Modification Resolution

Prepared by: _____
JM

Approved by: _____
SM



PZ 08-550-03

Pacific Ocean

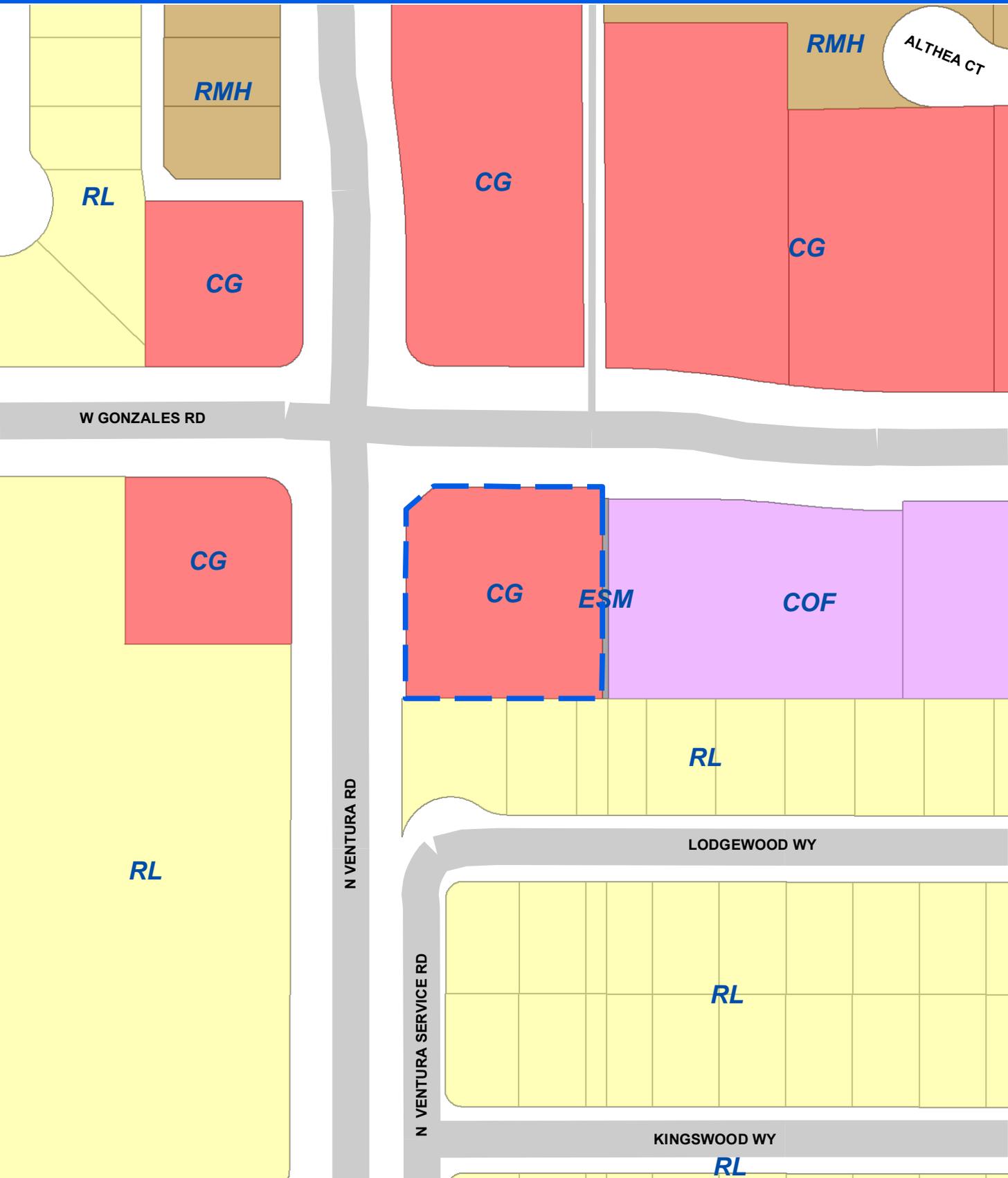
Vicinity Map

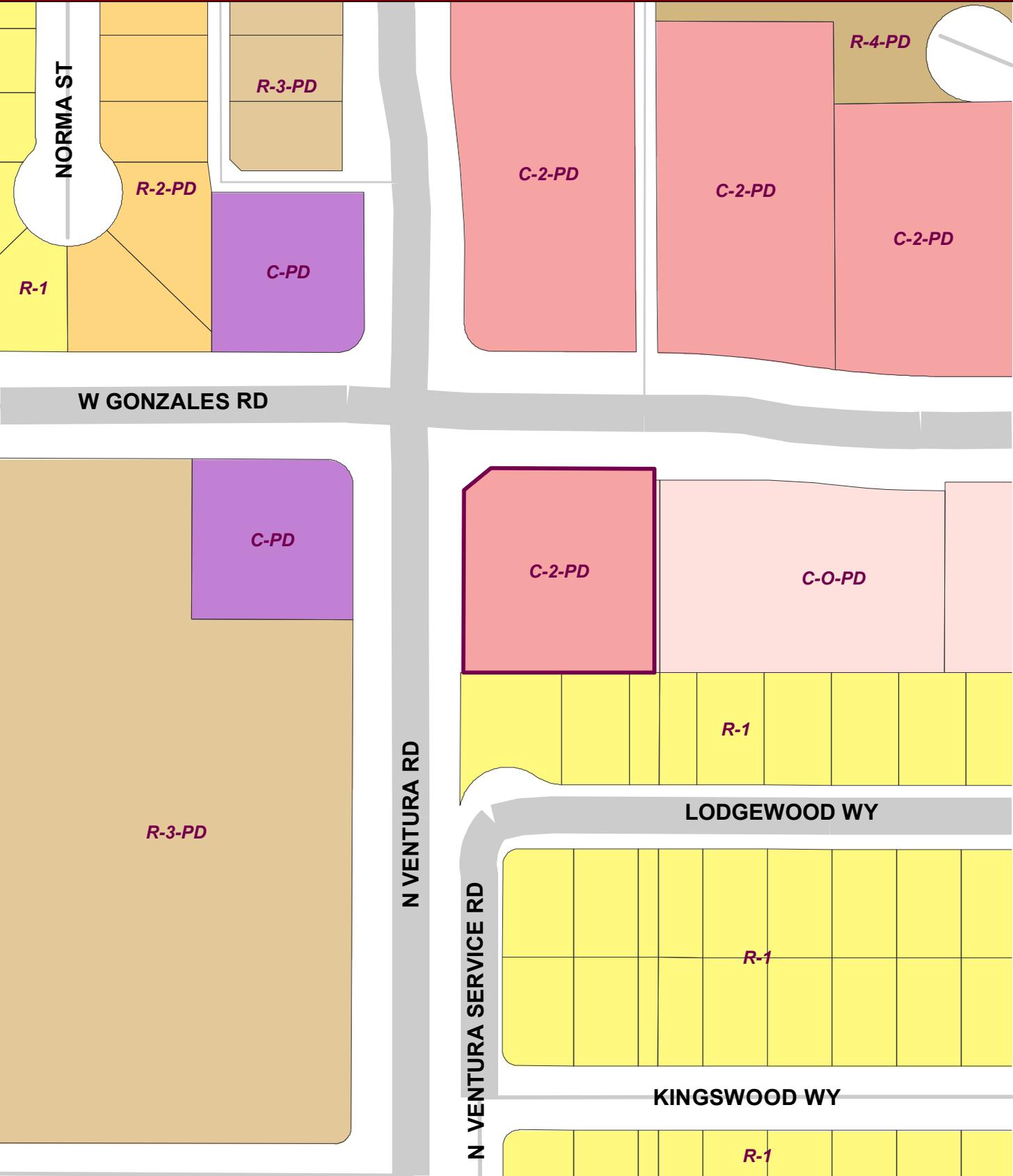


Oxnard Planning

PZ 08-550-03
 Location: 1860 N Ventura Rd
 APN: 200006137
 Chevron

April 24, 2012



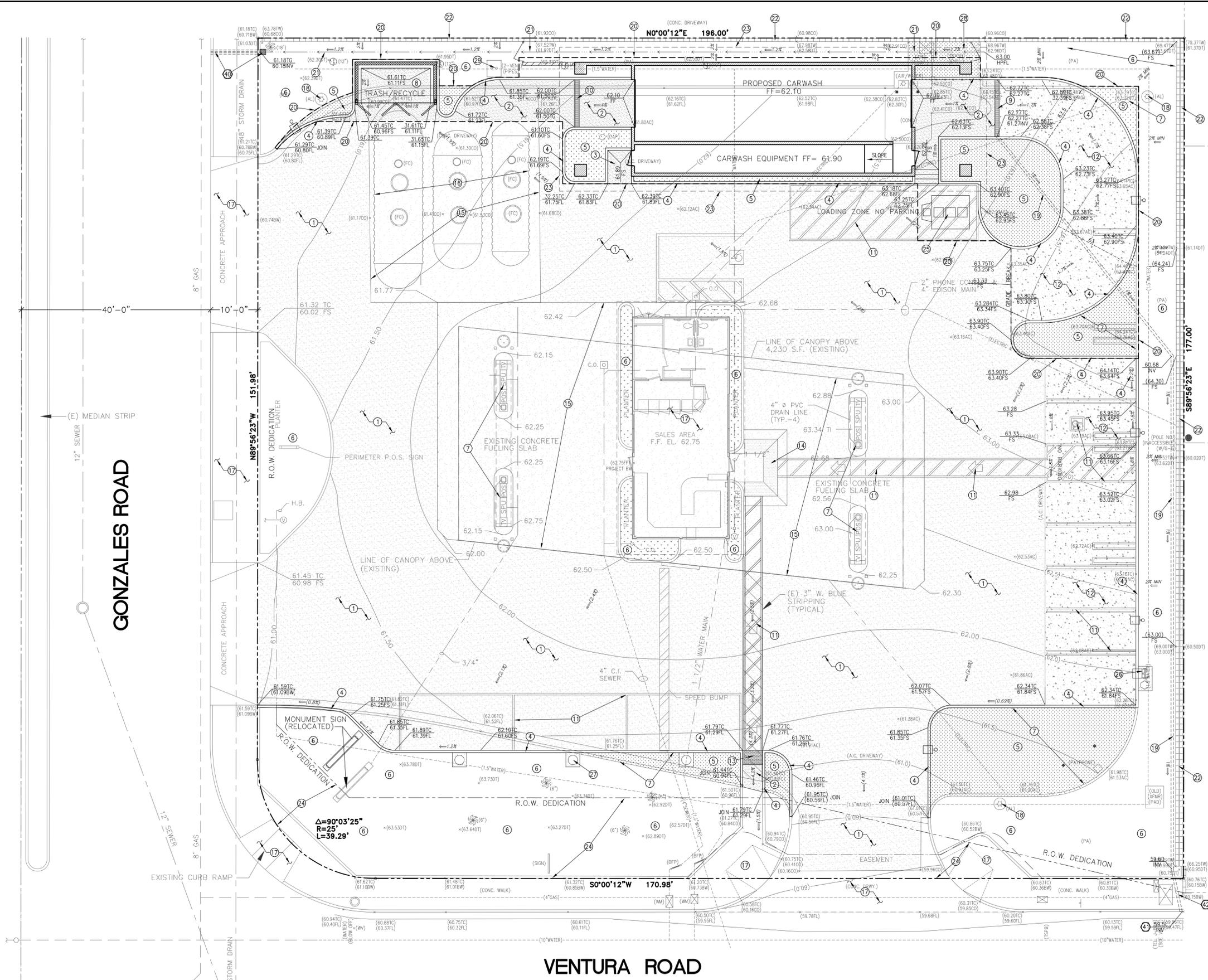


PZ 08-550-03
Location: 1860 N Ventura Rd
APN: 200006137
Chevron

0 25 50 100 150 200 Feet

Zone Map





- (E) OFF-SITE RESIDENCE
- CONSTRUCTION NOTES: ON-SITE**
- 1 REMOVE EXISTING AC PAVT AND REPLACE WITH CONCRETE PAVEMENT PER SOILS ENGINEERS RECOMMENDATIONS. NEW CONCRETE TO BE RE-PLACED AT THE EXISTING ELEVATIONS TO INSURE THAT NOW GRADE OR ELEVATION CHANGES OCCUR FROM THE EXISTING CONDITION
 - 2 CONSTRUCT CONCRETE PAVEMENT PER SOILS ENGINEERS RECOMMENDATIONS
 - 3 CONSTRUCT BUILDING PERIMETER SIDEWALK PER ARCHITECT'S PLAN
 - 4 CONSTRUCT 6" CONCRETE CURB
 - 5 LANDSCAPING/PLANTER PER ARCHITECT'S PLAN
 - 6 EXISTING LANDSCAPING/PLANTER TO REMAIN
 - 7 REMOVE EXISTING CURB AND AC PAVT AND CONSTRUCT NEW PLANTER
 - 8 CONSTRUCT TRENCH ENCLOSURE PER ARCHITECT'S PLAN
 - 9 CONSTRUCT 6" TRENCH DRAIN
 - 10 CONSTRUCT TRENCH DRAIN PER CARWASH MANUFACTURE
 - 11 STRIPING PER ARCHITECT'S PLAN
 - 12 CONSTRUCT POROUS CONCRETE PER SOILS ENGINEERS RECOMMENDATIONS
 - 13 CONSTRUCT DETECTABLE WARNING PER ARCHITECT'S PLAN
 - 14 EXISTING DETECTABLE TO REMAIN
 - 15 EXISTING CONCRETE PAVEMENT TO REMAIN
 - 16 EXISTING UNDERGROUND GAS TANKS TO REMAIN
 - 17 EXISTING IMPROVEMENTS TO REMAIN PROTECT IN PLACE
 - 18 EXISTING AREA LIGHT TO BE RELOCATED
 - 19 CONSTRUCT 4" PVC PIPE @ 1% MIN
 - 20 PROPOSED DISTURBED AREA LIMIT LINE
 - 21 CONSTRUCT GRADED SWALE @ 1% MINIMUM
 - 22 EXISTING SITE WALLS TO REMAIN PROTECT IN PLACE
 - 23 ROOF LINE ABOVE PER ARCHITECTURAL PLANS
 - 24 PROPOSED FUTURE ROADWAY DEDICATION
 - 25 CONSTRUCT UNDERGROUND CLARIFIER PER ARCHITECT'S PLANS
 - 26 AIR/WATER UNIT PER ARCHITECTURAL PLANS
 - 27 VACUUM UNIT PER ARCHITECTURAL PLANS
 - 28 REMOVE EXISTING HARDSCAPE AND CONSTRUCT NEW PLANTER
 - 29 EXISTING TANK VENTS TO REMAIN PROTECT IN PLACE

- (E) OFF-SITE RESIDENCE
- CONSTRUCTION NOTES: OFF-SITE**
- 40 CONSTRUCT PARKWAY CULVERT PER APWA STANDARD PLATE 150-2, CASE 2 INLET, 2-4" PIPES
 - 41 OUTLET 4" PIPE TO CURB FACE
 - 42 CONSTRUCT 4" CIP WITHIN SIDEWALK

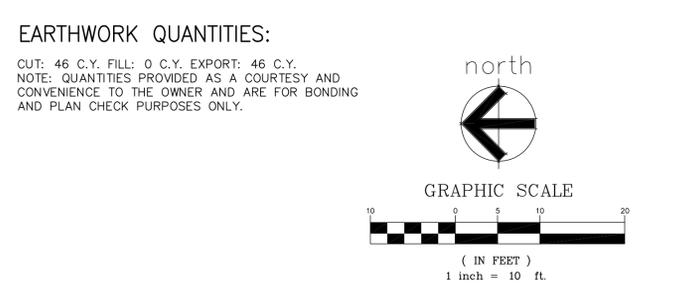
LEGEND:

AL	AREA LIGHT	SD	STORM DRAIN
AC	ASPHALT	SL	STREET LIGHT
BFD	BACKFLOW DEVICE	SS	SANITARY SEWER
BW	BACK OF WALK	TC	TOP OF CURB
CB	CATCH BASIN	TS	TRAFFIC SIGNAL
CONC	CONCRETE	TW	TOP OF WALL
CF	CURB FACE	WM	WATER METER
CTV	CABLE TELEVISION	WV	WATER VALVE
DCD	DOUBLE CHECK DETECTOR	XMR	ELECTRIC TRANSFORMER
DS	DOWNSPOUT	FD	FIRE HYDRANT
FDC	FIRE DEPT. CONNECTION	ST	STREET SIGN
FF	FINISHED FLOOR	CS	CONCRETE WHEEL STOP
FL	FLOWLINE	CBW	CONCRETE BLOCK WALL
FS	FINISHED SURFACE	FM	FOUND MONUMENT PER P.M. 89-185
GB	GRADE BREAK	(X)	EXISTING
GTE	GENERAL TELEPHONE	(-)	EXISTING CONTOUR
HP	HIGH POINT	(-X)	PROPOSED CONTOUR
NG	NATURAL GRADE	XX	DIRECTION & RATE OF FLOW
PB	PULL BOX	XX	DIRECTION & RATE OF FLOW
PV	POST INDICATOR VALVE	ST	PROPOSED ST. LIGHT PER CITY STDS.
PM	PARKING METER	FM	FOUND MONUMENT PER P.M. 89-185
SCE	SO. CAL EDISON	CS	CONCRETE WHEEL STOP
SCO	SEWER CLEAN OUT	CBW	CONCRETE BLOCK WALL

(E) EXISTING
LIGHT DELINEATION SHOWN HEREON INDICATES EXISTING
BOLD DELINEATION SHOWN HEREON INDICATES PROPOSED CONST.

DETECTABLE WARNING PER ARCHITECT'S PLAN

T TRANSFORMER



PREPARED FOR:
MOHAMMED TAHERIZADEGAN
 WENDY DRIVE CHEVRON
 2870 CAMINO DOS RIOS
 NEWBURY PARK, CA 91370

PREPARED BY:
THE G4 GROUP INC.
 Consulting Engineers
 165 EAST HIGH STREET, SUITE 203
 MOORPARK, CA 93021
 PHONE: (805) 523-0010 FAX: (805) 553-0626

CIVIL ENGINEER:
MARK ROGERS
 No. 42848
 Exp. 03/12
 CIVIL
 STATE OF CALIFORNIA

CONCEPTUAL GRADING PLAN
 1860 N. VENTURA ROAD, OXNARD
 PORTION OF SUBDIVISION 16, RANCHO EL RIO DE SANTA CLARA O'LA COLONIA, 6 DEEDS 161
 IN THE CITY OF OXNARD, COUNTY OF VENTURA, STATE OF CALIFORNIA

1 of 1

JOB NO. 1138
 RELEASE DATE:
 OCTOBER 2011

REVISIONS			
MARK	DATE	DESCRIPTION	BY

REVIEWED BY: _____ DATE: _____

CHECKED BY: _____ DATE: _____

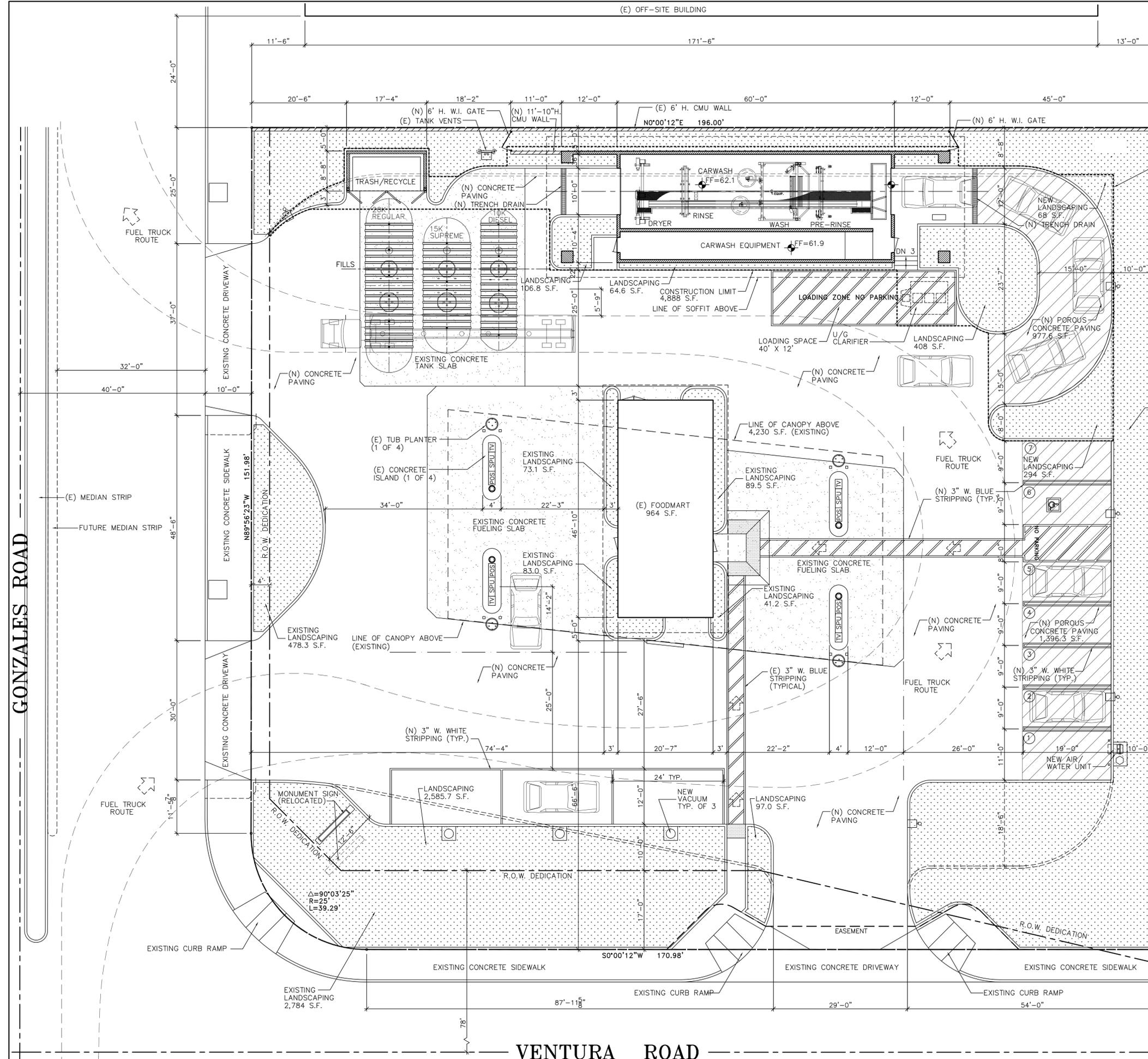
CITY OF Oxnard Development Services Department
CONCEPTUAL GRADING PLAN

ACCEPTED BY: _____ CITY ENGINEER R.C.E. 41083 (EXP. 3-31-11) DATE: _____

SCALE: HORIZ. _____ VERT. _____ SHEET No. 1 OF 1

DRAWN BY: _____ DATE: _____ DRAWING NUMBER: _____

CHECKED BY: _____ DATE: _____



SUMMARY DATA

SITE ADDRESS: 1860 VENTURA BOULEVARD
OXNARD, CALIFORNIA 93030

APN: 200-0-061-375

EXISTING USE: CONVENIENCE STORE WITH FUELING

PROPOSED USE: CONVENIENCE STORE WITH FUELING AND CARWASH

CODE COMPLIANCE: 2010 CALIFORNIA BUILDING CODES

ZONING: (C-2) GENERAL COMMERCIAL

LOT AREA: 34,558 S.F.

CONSTRUCTION TYPE: (U) FOODMART, (U) FUELING CANOPY, (V) CARWASH

STORIES: (1) (E) FOODMART AND CANOPY, (1) CARWASH

SPRINKLERS: (NO) (E) FOODMART AND CANOPY, (YES) CARWASH AND TRASH

BUILDING AREA: FOODMART: 964 S.F. (EXISTING)
CARWASH: (NEW) 1,440 S.F.=TOTAL 2,404 (7.0 % OF SITE)

FUELING CANOPY AREA: 4,230 S.F. (12.2 % OF SITE)

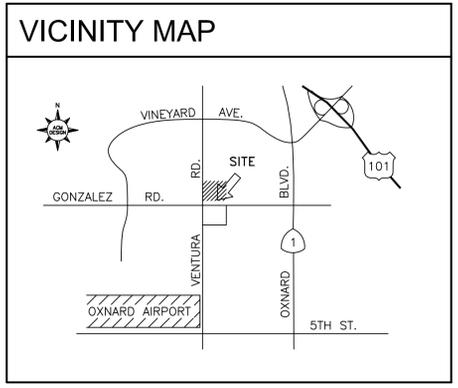
OCCUPANCY: (M) FOODMART, (S-1) FUELING CANOPY, (B) CARWASH

PARKING REQUIRED: FULLY AUTOMATED CARWASH BUILDING = 0 SPACES
FUELING CANOPY = 0 SPACES
FOODMART (1) SPACE PER 300 GROSS S.F.
964 S.F. \ 300 = 3.22 SPACES

PARKING PROVIDED: 7 SPACES (1 VAN ACCESSIBLE)

LOADING SPACE: 1 SPACE 12'X40'

LANDSCAPING: 8,542.2 S.F. (24.7% OF SITE)



SITE PLAN
1" = 10'



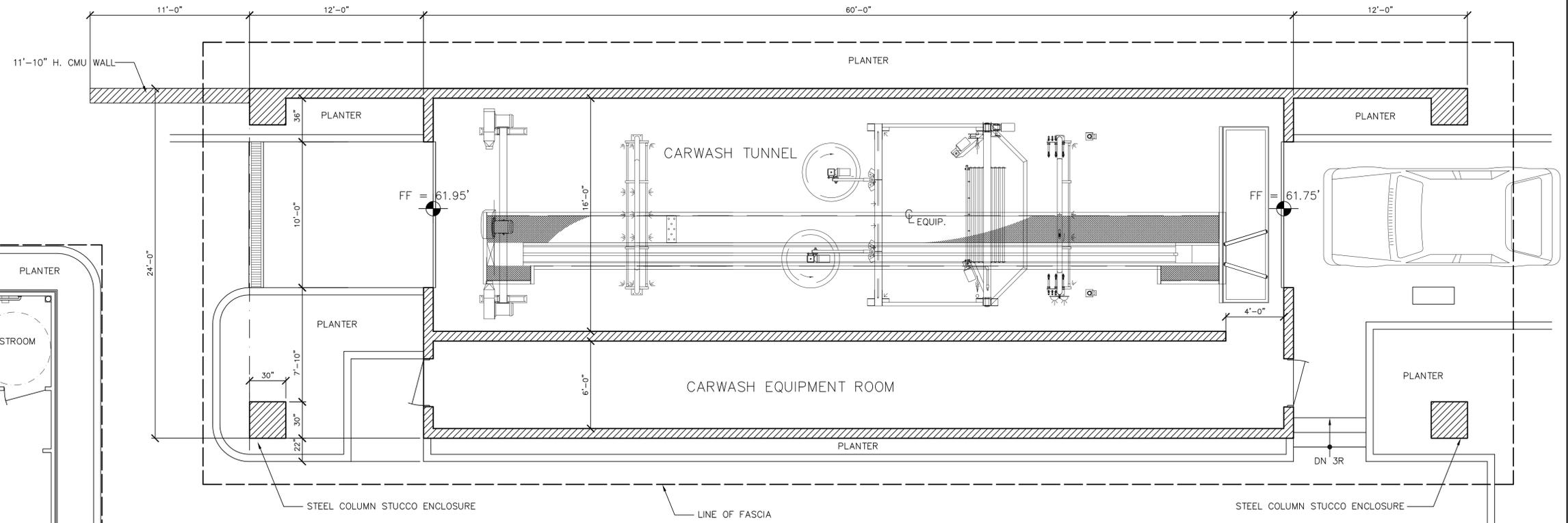
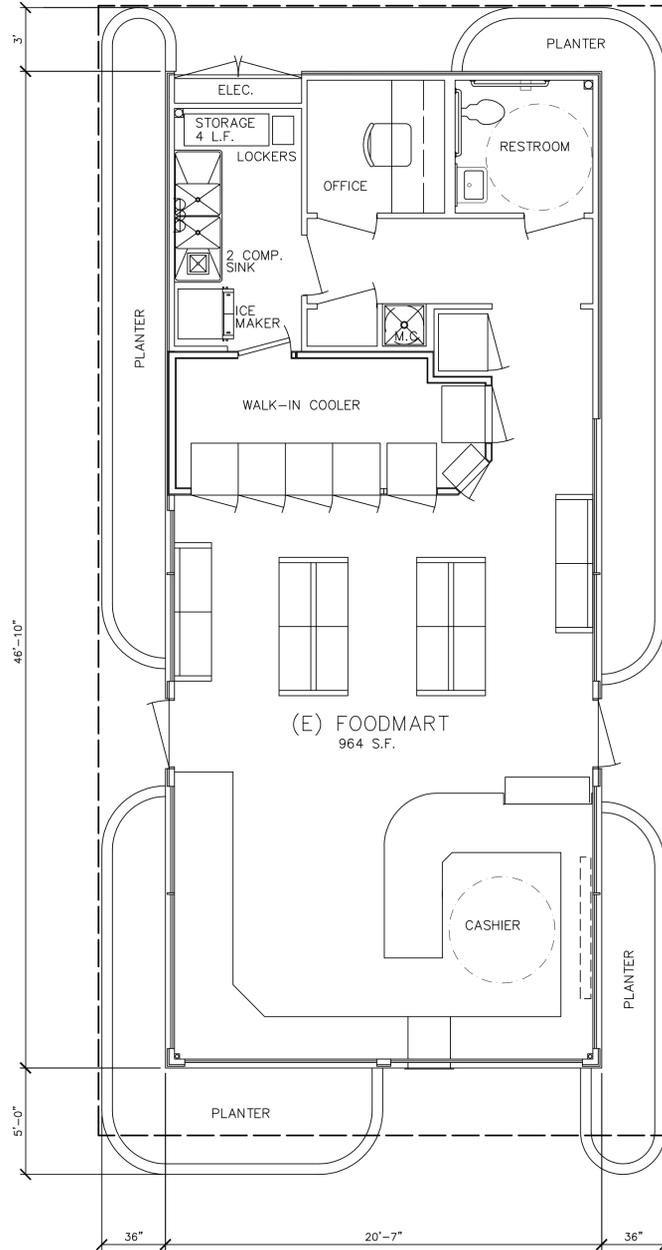
VENTURA ROAD CHEVRON
1860 N. VENTURA ROAD
OXNARD, CALIFORNIA 93030

LEON E. FELUS, ARCHITECT
14000 PALAWAN WAY, SUITE D
MARINA DEL REY, CALIFORNIA 90292
TEL: 310.821.2725 FAX: 310.306.2443

Revisions	
SCALE: 1" = 10' DR. LEF	DATE: 10/11/11 APP.
SHEET	
A1	

GONZALES ROAD

VENTURA ROAD



EXISTING FOODMART FLOOR PLAN

1/4" = 1'-0"
NOTE: ALL DIMENSIONS FROM FACE OF CONCRETE (FOC) OR FACE OF STUD (FOS) U.T.O.



NEW CARWASH FLOOR PLAN

1/4" = 1'-0"
NOTE: ALL DIMENSIONS FROM FACE OF CONCRETE (FOC) OR FACE OF STUD (FOS) U.T.O.

VENTURA ROAD CHEVRON
1860 N. VENTURA ROAD
OXNARD, CALIFORNIA 93030

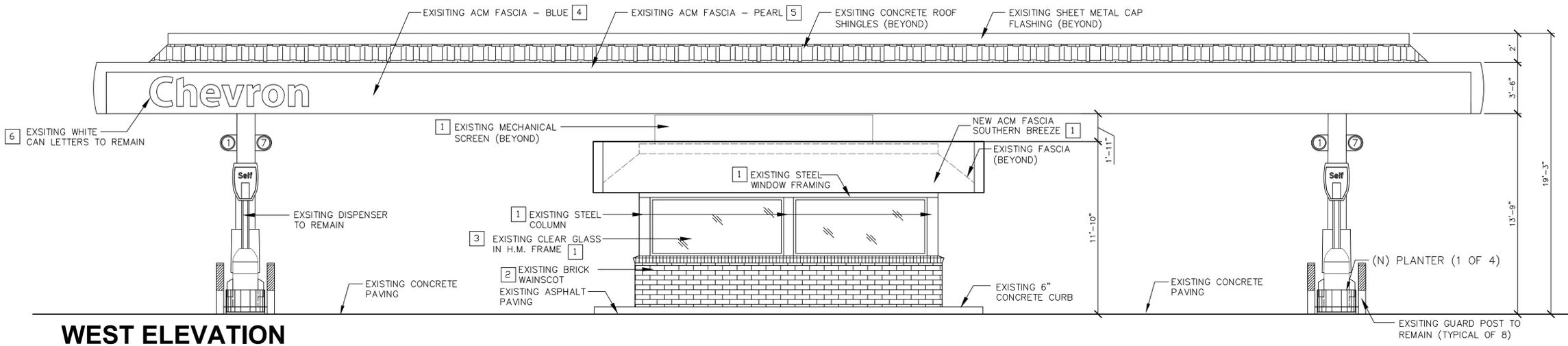
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Revisions

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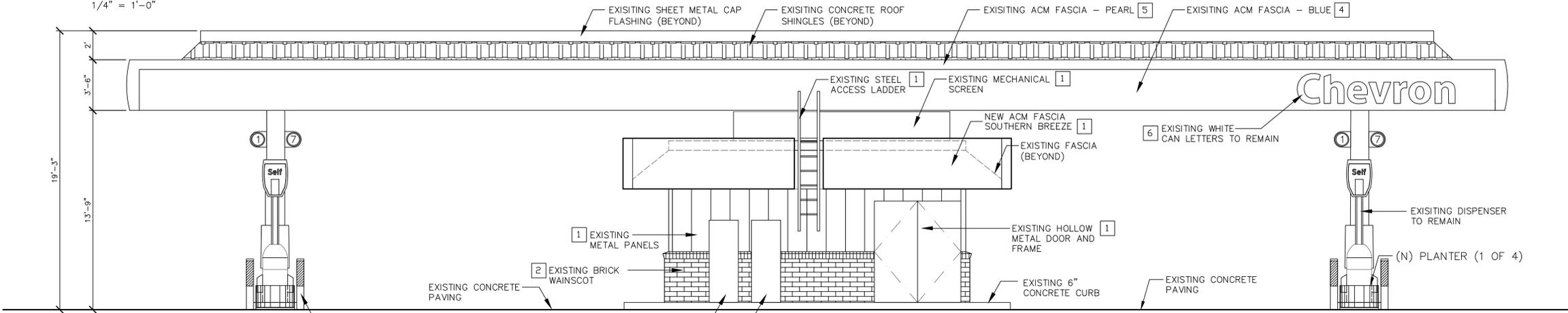
FOODMART AND CARWASH FLOOR PLANS	
CHEVRON FOODMART ADDITION & NEW CARWASH	
VENTURA ROAD CHEVRON #9-7423	
1860 N. VENTURA ROAD	
OXNARD, CALIFORNIA 93030	
SCALE: 1/4" = 1'-0"	DATE: 7/10/11
DR. LEF	CH. LEF APP.
	SHEET
0611\A2 PLOT: 7/10/11	A2

MATERIAL AND COLOR LEGEND	
MARK	DESCRIPTION
1	SHEET METAL PANELS PAINTED - SOUTHERN BREEZE
2	BRICK PAINTED - STONE GRAY
3	CLEAR GLASS
4	PEARL WHITE
5	BLUE
6	WHITE
7	SILVER



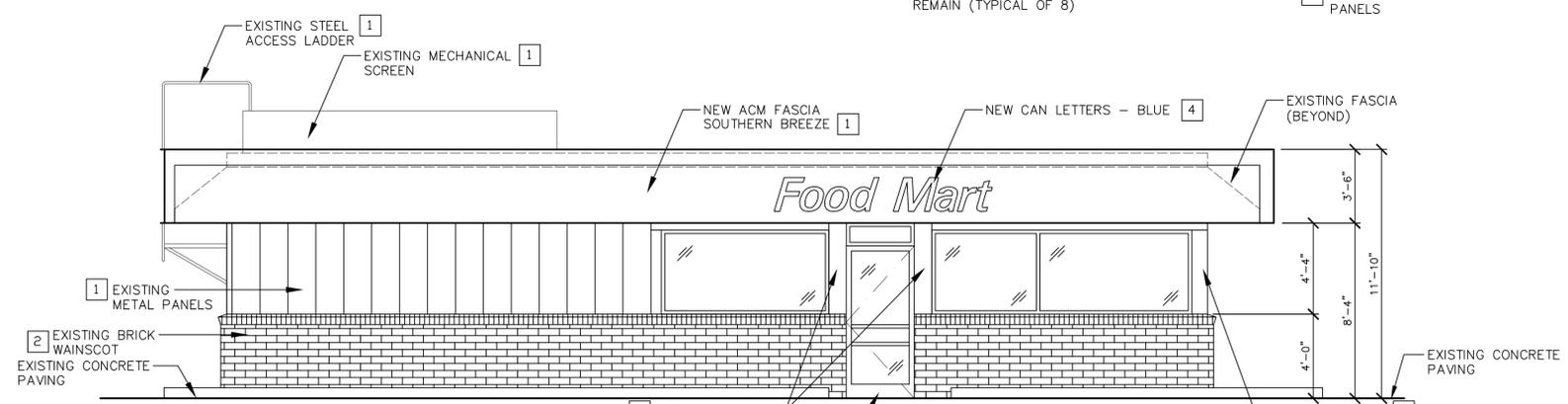
WEST ELEVATION

1/4" = 1'-0"



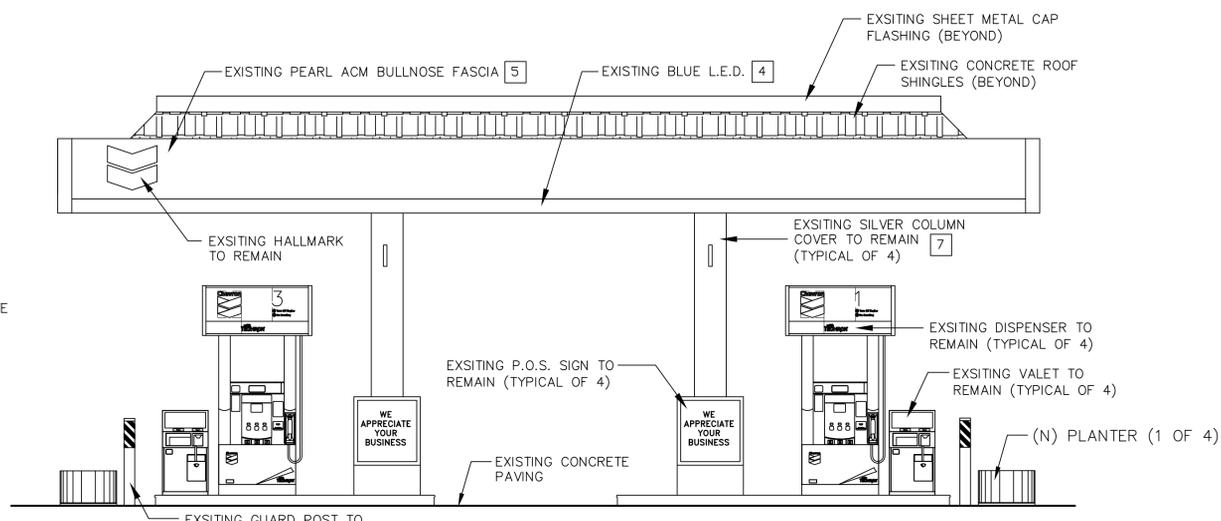
EAST ELEVATION

1/4" = 1'-0"



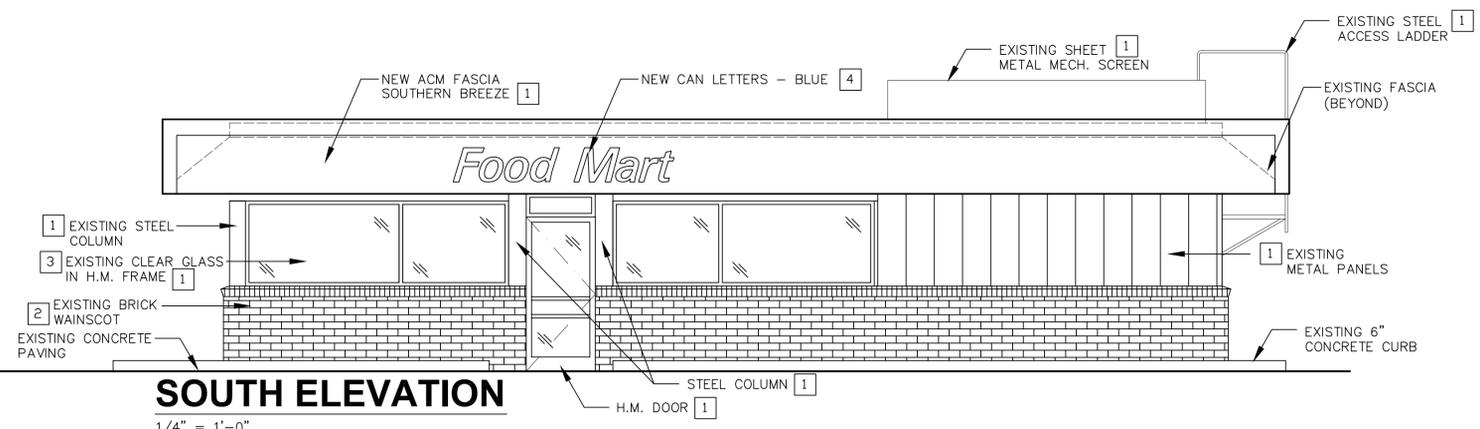
NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION (NORTH MIRROR IMAGE)

1/4" = 1'-0"



SOUTH ELEVATION

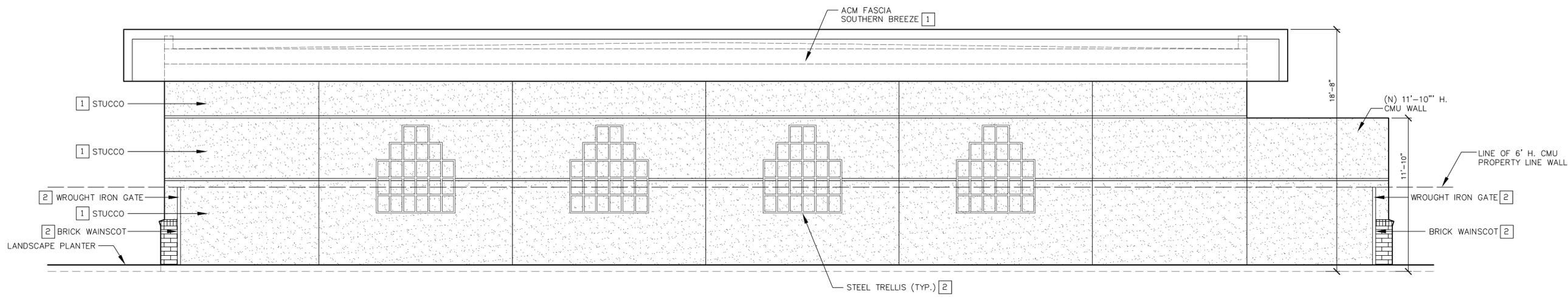
1/4" = 1'-0"

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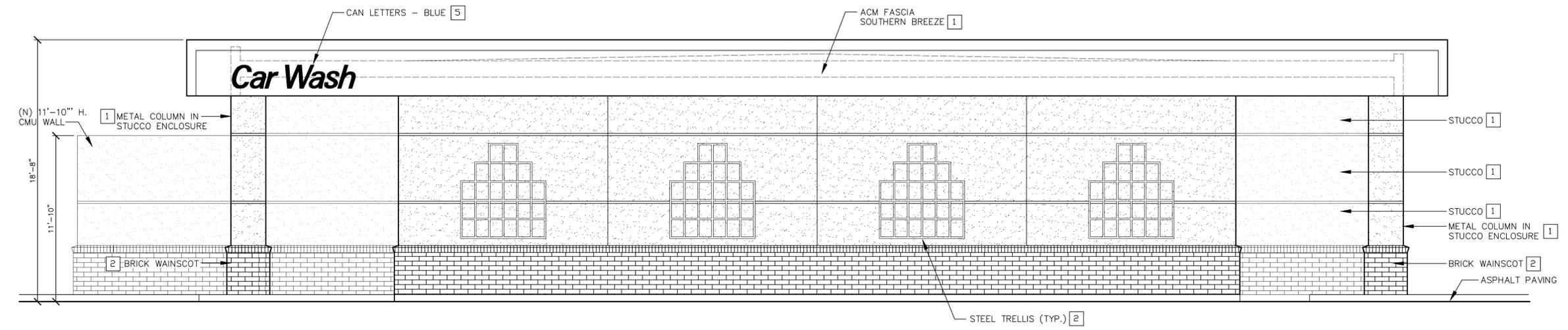
Revisions

CANOPY AND ISLAND MARKETER ELEVATIONS	
CHEVRON FOODMART ADDITION & NEW CARWASH	
VENTURA ROAD CHEVRON #9-7423	
1860 N. VENTURA ROAD	
OXNARD, CALIFORNIA 93030	
SCALE: 1/4" = 1'-0"	DATE: 7/10/11
DR. LEF	CH. LEF
	APP.
	SHEET
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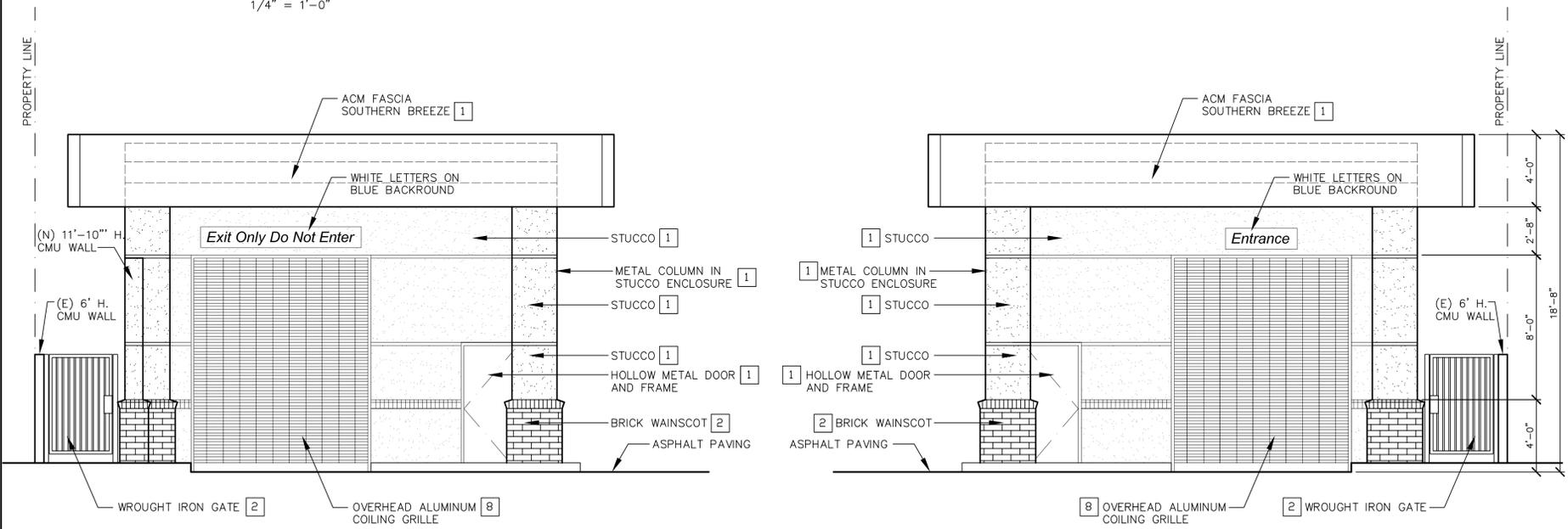
EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

SOUTH ELEVATION

1/4" = 1'-0"

MATERIAL AND COLOR LEGEND	
MARK	DESCRIPTION
1	LIGHT SAND STUCCO PAINTED - SOUTHERN BREEZE
2	BRICK PAINTED - STONE GRAY
3	CLEAR GLASS
4	PEARL WHITE
5	BLUE
6	WHITE
7	SILVER
8	CLEAR ANODIZED ALUMINUM

VENTURA ROAD CHEVRON
1860 N. VENTURA ROAD
OXNARD, CALIFORNIA 93030

LEON E. FELUS, ARCHITECT
14000 PALAWAN WAY, SUITE D
MARINA del REY, CALIFORNIA 90292
TEL: 310.821.2725 FAX: 310.306.2443

Revisions

CARWASH ELEVATIONS	
CHEVRON FOODMART ADDITION & NEW CARWASH	
VENTURA ROAD CHEVRON #9-7423	
1860 N. VENTURA ROAD	
OXNARD, CALIFORNIA 93030	
SCALE: 1/4" = 1'-0"	DATE: 7/10/11
DR. LEF	CH. LEF
	APP.
	SHEET
0611\3.2	
PLOT: 7/10/11	

GONZALES ROAD

EXIST. SCOTTING TREE BINTHIFOLUS TO REMAIN
EXIST. COCOS PLUMOSA TREE TO REMAIN

1 COCOS PLUMOSA TREE 24" BOX

REMOVE EXIST. WASHINGTONIA ROBUSTA

3 EXIST. CARROTWOOD TREES TO BE REMOVED

OVERHANG OF BUILDING ROOF

N0°00'12"E 196.00'

GROUND COVERS IN ALL PLANTING AREAS TYPICAL

VINES ON WALLS

VINES TRAINED ON METAL TRELLIS

LOADING ZONE NO PARKING

4 COCOS PLUMOSA TREES 24" BOX

TREE TYPICAL

SHRUBS TYPICAL

177'
S89°56'23"E

EXIST. PYLUS KAWAKAWI STREET TREE

EXIST. FAUX LAWN

REMOVE EXISTING PHOENIX CANARIENSIS PALM

N89°56'23"W 151.98'

N89°56'23"W 151.98'

PLANTS IN CONTAINERS

2 GAL VINES ON WALL

RELOCATE EXIST. ROSES ON SITE TO THIS AREA

PROPERTY LINE TREES @ 40' O.C. AS PER CITY REQUEST

30" BOX TREES TYPICAL

15 GAL SHRUBS @ INSTALLATION TO PROVIDE 36" HIGH CONTINUOUS VISUAL SCREEN AT TIME OF PLANTING

2-24" BOX SCOTTING TREES BINTHIFOLUS STREET TREES (ADDED TO SITE)

R.A.H. DEDICATION

REMOVE 4 EXIST. COCOS PLUMOSA PALMS

SWATHS OF DIFFERENT LOW FLOWERING GROUND COVERS

Δ=90°03'25"
R=25'
L=39.29'

S0°00'12"W 170.98'

TREES AND PLANT MATERIALS ARE SHOWN SIGNIFICANTLY LARGER (REFLECTING THEIR FUTURE POTENTIAL SIZE) THAN THEIR INSTALLATION SIZE ON THIS PLAN FOR GRAPHIC PRESENTATION PURPOSES ONLY

LANDSCAPE PLAN
1" = 10'

VENTURA ROAD

PLANT MATERIAL SELECTION LIST	
Botanical Name	Common Name
Trees:	
Cupaniopsis anacardioides	Carrotwood Tree
Eriobotrya deflexa	Bronze Loquat
Podocarpus gracilior	Fern Pine
Shrubs:	
Agapanthus Peter Pan	Lily of the Nile
Bignonia chere	Blood Red Trumpet Vine
Corocopsis grandiflora	Corocopsis
Diets bicolor	Fortnight Lily
Diets vegeta	Fortnight Lily
Echium fastuosum	Pride of Madera
Grevillea noellii	
Hemerocallis hybrids	Daylily-yellow flower
Leonotis leonurus	Lions Tail
Ligustrum texanum	Privet
Limonium perezii	Sea Lavender
Maccladyena-unguis	Cat's Claw
Cati	
Myrtus communus	Myrtle
Myrtus communus Compacta	Dwarf Myrtle
Nandina domestica	Heavenly Bamboo
Phormium tenax	Bronze Baby
Phormium tenax	Tom Thumb
Pittosporum tobira	Mockorange
Variegata	
Rhapiolepis indica	Clara
Rhapiolepis indica	Ballerina
Rhus ovata	Sugar Bush
Trachelospermum	Star Jasmine
Jasminoides	
Verbena peruviana	Peruvian Verbena-pink
Ground Cover:	
Lawn	Tall Fescue "Marathon II"
Campanula poscharskyiana	Serbian Bellflower
Gazania yellow flower	Green leafed trailing
Myoporum parvifolium	
Vinca minor	Dwarf Running Myrtle

Notes: 1. All planting areas shall receive 100% guaranteed coverage from an automatic irrigation system. Landscape design and irrigation system shall conform to City Ordinance #2822



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Agoura Hills, CA 91301
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CONCEPTUAL LANDSCAPE PLAN



SITE PLAN
CHEVRON FOODMART ADDITION & NEW CARWASH
VENTURA ROAD CHEVRON #9-7423
1860 N. VENTURA ROAD
OXNARD, CALIFORNIA 93030

Revisions	SCALE: 1" = 10'	DATE: 10/12/11
◇	DR. LEF	CH. LEF APP.
◇		SHEET
	0611\L1 PLOT: 10/12/11	L1

AMBIENT AND OPERATIONS NOISE STUDY FOR A PROPOSED CAR WASH IN OXNARD, CALIFORNIA

April 9, 2012

Revision 2

PREPARED FOR:

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PREPARED BY:

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ADVANCED ENGINEERING ACOUSTICS
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1. Introduction

At the request of Mr. Leon Felus, Architect, and in compliance with requirements of the city of Oxnard (City), a noise study has been conducted by Advanced Engineering Acoustics (AEA). Mr. Mohammad Taherizadegan, the owner of Ventura Road Chevron plans to build a new car wash at the renovated existing gas station located at 1860 N. Ventura Road in Oxnard, CA (see Figure 1). In order to document the level of potential noise from the new car wash operations for this commercial business, AEA has reviewed the noise data provided by the vendor, noise measurements of operating sound levels for other existing car wash facilities using similar fan dryer systems and has measured the ambient noise at the planned entrance and exit of the proposed new car wash nearest the residential properties to the south and east. This report provides the measured existing ambient noise and the predicted car wash operations noise at the nearest property lines with a revised tunnel exit wall height of 9 feet.

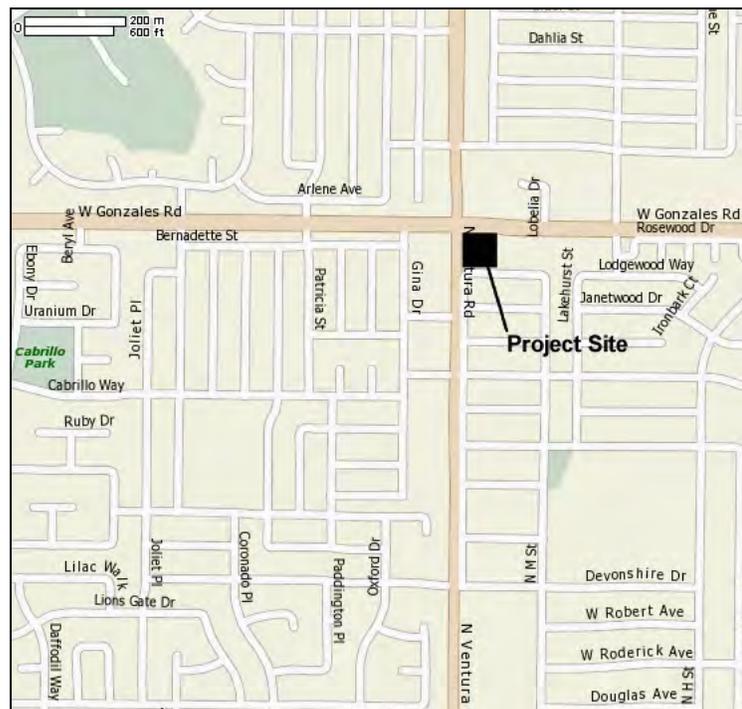


Figure 1. Project Vicinity Map

2. Sound Fundamentals

Physically, sound pressure magnitude is measured and quantified in terms of the decibel (dB), which is associated with a logarithmic scale based on the ratio of a measured sound pressure to the reference sound pressure of 20 micropascal ($20 \mu\text{Pa} = 20 \times 10^{-6} \text{ N/m}^2$). However, the decibel system can be very confusing. For example, doubling or halving the number of sources of equal noise output (a 2-fold change in acoustic *energy*) changes the noise level at the receptor by only 3 dB, which is a barely perceptible sound change for humans. While doubling or halving the sound *loudness* at the receptor results in a 10 dB change and also represents a 10-fold change in the acoustic *energy*.

The human hearing system is not equally sensitive to sound at all frequencies. Because of this variability, a frequency-dependent adjustment called “A-weighting” has been devised so that sound may be measured in a manner similar to the way the human hearing system responds. The A-weighted sound level is abbreviated “dBA”. Figure 2 gives typical A-weighted sound levels for various noise sources and the typical responses of people to these levels.

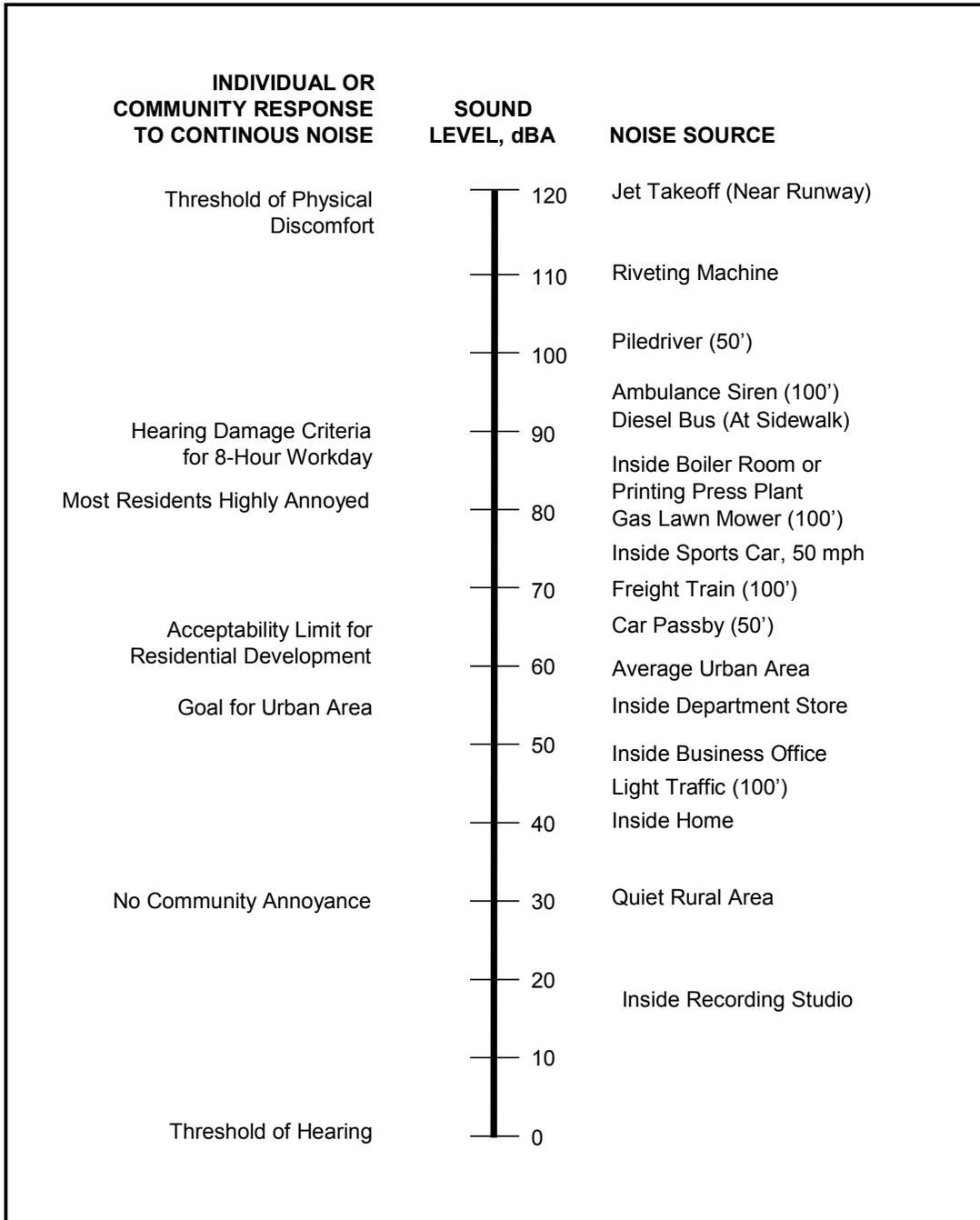


Figure 2 - Typical Sound Levels and their Effect on People

The Community Noise Equivalent Level (CNEL) is a 24-hour average noise level based on the daytime, evening and nighttime hourly average or equivalent noise levels (L_{eq}), with a 5 dB penalty added to each hourly evening $L_{eq}(h)$ noise level and a 10 dB penalty added to each hourly nighttime $L_{eq}(h)$.

Proposed New Oxnard Car Wash Noise Study

Car wash noise sources are intermittent and vary from little or no noise to full operating noise. The vehicle through-put per hour influences the duration of full operation. While the Leq gives a single noise level that is the equivalent constant noise level of a time-varying noise. A convenient means of monitoring such variable noise is the maximum operating noise (Lmax) and the percentile or exceedance level (Lxx or L%). The L1.67 exceedance level is the sound level that is exceeded for 1.67% of the time (for example, the level exceeded for 1 minute in an hour). The L8.33 exceedance level is the sound level that is exceeded for 8.33% of the time (for example, 5 minutes in an hour). L25 and L50 are the sound levels that are exceeded for their respective time period percentages and would represent exceedance levels of 15 minutes and 30 minutes per hour, respectively.

3. Noise Standards

City of Oxnard - In the Noise Element of the General Plan, the City of Oxnard has established interior and exterior noise guidelines and noise limiting criteria for proposed noise-sensitive land use developments within the City. The noise limits are determined by the zoning designation of the areas in which the proposed developments are being planned. The Noise Element is a planning document that establishes the 24-hour noise levels that are acceptable for different city zoning. The CNEL and Day-Night Level (Ldn) are common noise descriptors for planning purposes. The City has established 65 CNEL as satisfactory for residential land use.

In addition, the City of Oxnard has developed Sound Regulations (Article XI of the City Code), as described in the City Municipal Code, in order to:

- (1) *Protect classes of land use from excessive sound as the City Council has determined that such excessive sound is detrimental to the public health, safety and welfare and contrary to the public interest, and to*
- (2) *Implement the noise standards established by the State for community noise exposure and to establish land uses compatible with various sound levels.*

Table 1 illustrates the exterior sound standards, pursuant to the City Code Section 7-185, that apply to all property within each sound zone designation.

Table 1
Exterior Sound Standards

Sound Zone	Type of Land Use	Allowable Exterior Sound Level	
		7:00 a.m. to 10:00 p.m.	10:00 p.m. to 7:00 a.m.
I	Residential	55 dBA	50 dBA
II	Commercial	65 dBA	60 dBA
III	Industrial	70 dBA	70 dBA
IV	As identified in Figure IX-2 of the 2020 General Plan		

Source: The Code of the City of Oxnard, Noise Ordinance, Article IX Section 7-185

**The sound level specified above shall be reduced by five dBA for impulse sound or simple tone noise or for sounds consisting of speech or music provided, however, that if the ambient exterior sound level exceeds the allowable interior sound level, then the ambient exterior sound level shall be the standard.*

Proposed New Oxnard Car Wash Noise Study

Thus, if the exterior ambient sound level exceeds the allowable sound level, the exterior ambient becomes the allowable sound level limit of that location and time period.

Furthermore, the City Code states that “no person at any location within the city shall create, maintain, cause or allow any sound on property which causes the sound level, when measured on any other property, to exceed the following parameters:

- (1) *The allowable exterior sound level for a cumulative period of more than 30 minutes in any hour; (this is equivalent to an L50 noise limit)*
- (2) *The allowable exterior sound level plus five dBA for a cumulative period of more than 15 minutes in any hour; (this is equivalent to an L25 noise limit)*
- (3) *The allowable exterior sound level plus ten dBA for a cumulative period of more than five minutes in any hour; (this is equivalent to an L8.33 or L8 noise limit)*
- (4) *The allowable exterior sound level plus 15 dBA for a cumulative period of more than one minute in any hour; (this is equivalent to an L1.67 or L2 noise limit) or*
- (5) *The allowable exterior sound level plus 20 dBA for any period of time (this is equivalent to an Lmax noise limit).”*

4. Sound Monitoring Equipment and Locations

In monitoring the proposed car wash location’s ambient noise, AEA used six Larson-Davis Model 824 Type 1 Integrating Sound Meters to monitor the noise producing activities along the southern and eastern property lines of the proposed car wash site near the existing residences and at senior care facility. The sound meters were calibrated per the manufacturer’s instructions prior to the sound measurements. The ambient noise monitoring positions (see Figures 3 and 4) were five feet above local grade. Figure 3 shows an aerial view of the project site with sound meters and adjacent residential areas to the east and south.

5. Sound Measurements and Results

Ambient noise was monitored beginning at 9 p.m. on Thursday, March 3, 2011, and ended at 9 a.m. on Monday, March 7, 2011. The ambient noise measurement results for the project vicinity are summarized in Table 3.

Table 3. Summary of Lowest Ambient Noise Monitoring near Senior Care Facility, dBA

Day	Date	Time*	SLM 4			SLM 5			SLM 6		
			Leq	CNEL	Lmax	Leq	CNEL	Lmax	Leq	CNEL	Lmax
Fri.	4 Mar	8 am	65	69	82	n/a	n/a	n/a	n/a	n/a	n/a
Sat.	5 Mar	8 am	63	68	82	59	67	82	64	68	83
Sun.	6 Mar	8 am	62	69	76	57**	64**	73**	62	68	79

Summary of SLM 6 Lowest Lxx during Operating Hours near Senior Care Facility, dBA

Day	Date	Time*	Lmax	L1.67	L8.33	L25	L50	L90
Sun.	6-Mar	8 am*	79	66	65	61	58	49

* Hour of lowest Leq(hr) at SLM (locations potentially exposed to highest proposed project noise).

** Bold levels are lowest measured ambient noise during proposed project 14 hours of operation per day.

The ambient noise measurement results include the hourly energy equivalent or average sound level (Leq), the hourly maximum sound level (Lmax) and the 24-hour Community Noise Equivalent Level (CNEL). These ambient noise data are given in Appendix A. In addition, the sound meters provide the percentile or exceedance levels (L% or Lxx). The ambient exceedance levels are given in Appendix B. All noise level data in this report are referenced to 20 micropascal (20 μ Pa) and are A-weighted sound levels (dBA).



Figure 3. Aerial View of Project Site with Sound Level Meter Locations

The lowest measured hourly (Lxx) and daily (CNEL) ambient noise near the senior care facility (SLM 5) are the basis for determining the ambient-based noise limits due to project operations. Table 4 gives these noise limits that are derived from the City noise ordinance noise limit adjustments presented in Table 1 and the associated exterior noise adjustments. The project noise limits on the east and south residential properties would be the operating noise limits given in Table 4.

Table 4. Project Noise Limits at Adjacent Residential and Senior Care Properties

City Standard	CNEL	Leq	Lmax	L1.67	L8.33	L25	L50
Basic Standard	65	n/a	75	70	65	60	55
Lowest Measured Hourly Ambient Lxx	64	57	73	64	60	56	52
L50 Ambient-based Standard*	64	n/a	72	67	62	57	52
Lxx Ambient-based Standard**	70	62	78	69	65	61	52

* Measured L50 plus 20, 15, 10, 5, and 0 dB, respectively for Lmax, L1.67, L8.33, L25 and L50, respectively.

** Measured CNEL, Leq, Lmax, L1.67, L8.33, L25 plus 5 dB each and the actual measured L50.

Based on the measured ambient data and the resulting ambient based noise limits, it is clear that the basic standard noise limits would more appropriately apply to the project operating noise. However, noise models do not predict the exceedance levels. The models are able to predict hourly Leq or daily CNEL / Ldn, depending on which noise assessment standard is selected. Measured similar busy car wash noise can provide a reasonable means of predicting the expected exceedance levels for an hourly Leq, thusly:

Proposed New Oxnard Car Wash Noise Study

<u>Car Wash Measurement</u>	<u>Leg</u>	<u>L1.67</u>	<u>L8.33</u>	<u>L25</u>	<u>L50</u>
Noise at 45 feet and 45°	62.0	69.4	66.9	61.8	58.7
Relative L% differences	Datum	+7.4	+4.9	-0.2	-3.3

6. Project Layout

The proposed car wash layout is shown in Figure 4. The hours of operation of the proposed car wash are 7 a.m. to 9 p.m., seven (7) days a week. Noise producing activities include the vacuum system and the car wash tunnel drying blowers. The dominant noise would be from the blower dryers in the tunnel exit. The proposed project must apply the noise mitigation package from the dryer vendor. The tunnel entrance center is about 224 feet east of the centerline of Ventura Road and 57 feet north of the southern residential property line. The tunnel exit center is about 129 feet south of the centerline of Gonzales Road and 13 feet west of the eastern residential property line.

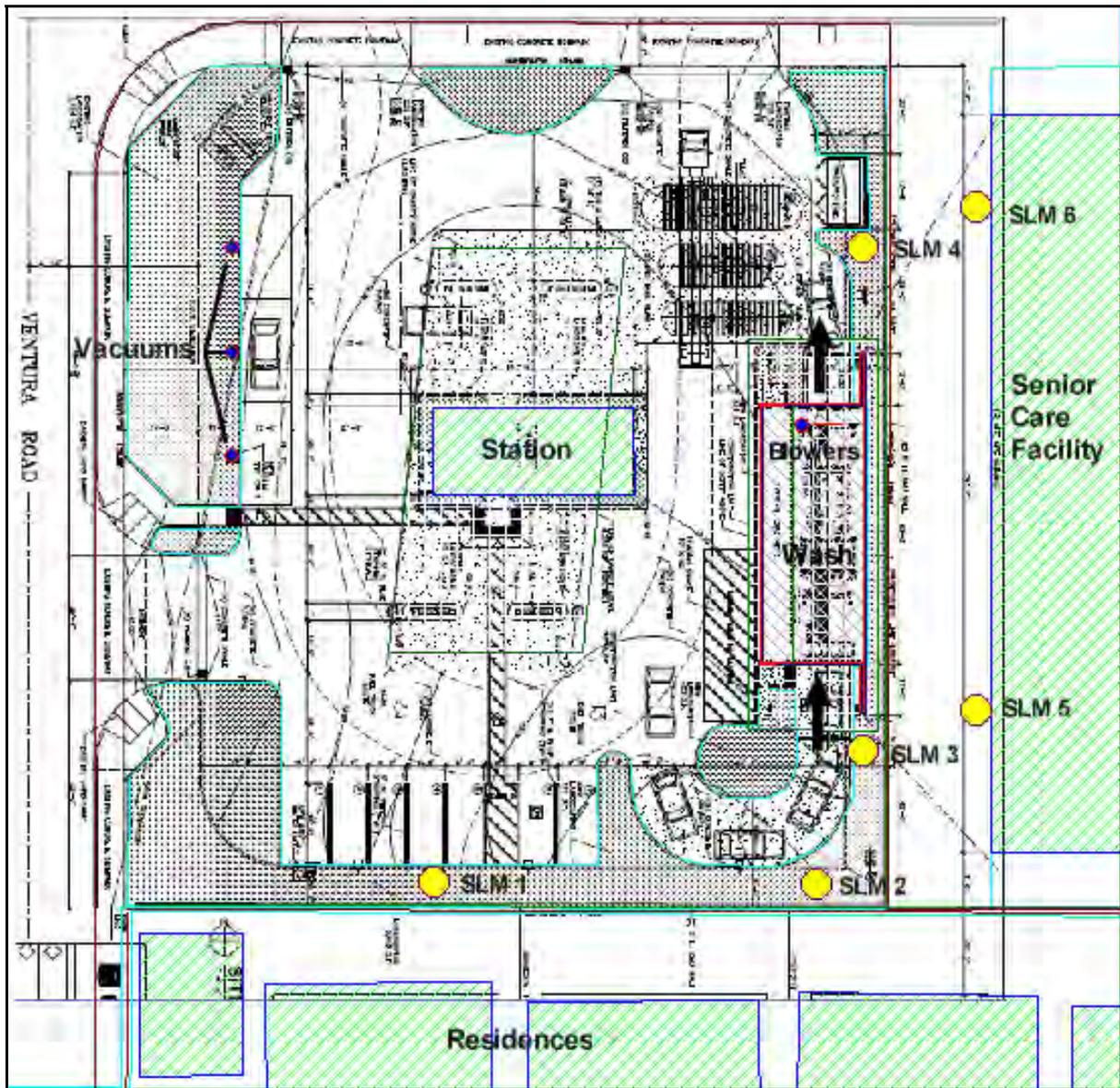


Figure 4. Proposed Car Wash Project Layout and Vicinity

Proposed New Oxnard Car Wash Noise Study

Appendix C shows car wash operation noise levels, at various distances along the tunnel exit axis for the proposed project's Proto-Vest car wash dryers. Three vacuum systems would be located in the northwest quadrant of the site near the intersection of Gonzales Road and Ventura Road (see Figure 4). Therefore, due to the distances and boundary walls, the vacuums would have no significant noise impact on the adjacent residential properties to the east and south. The ambient noise, noise limits and predicted noise level of the proposed car wash, calculated for the nearby residential properties from the tunnel entrance and exit, respectively, are given in Table 5. The results of the three-dimensional project noise model are given as noise contour plots in Figures 5 and 6 respectively, for the current 6-foot high property line wall and for an 11-foot long, 9-foot high line wall extending north from the planned east tunnel wall extension. Note that the project noise for residences to the south of the project would be in compliance for both cases (see Figures 5 and 6).

Table 5. Future Car Wash Operation Noise at East Commercial Property

Senior Care Facility Locations	Lowest Measured Ambient Noise, Leq(hr) / L50 (dBA)	City Exterior Threshold, L50 (dBA)	Projected Car Wash Mitigated/6' & 9' Wall, Leq(hr) / L50 dBA	L50 Compliance with 6' & 9' high Wall*?
SLM 6	62 / 58	55	59 & 53 / 56 & 51	No & Yes
SLM 5	57 / 52	55	50 & 48 / 50 & 48	Yes & Yes

* Dryer system mitigation and existing 6-ft property line block wall plus extended 11-ft long 9-ft high exit wall.

7. Conclusions

The proposed car wash is not planned to operate before 7 a.m. nor after 9 p.m. The proposed project must include the dryer vendor's 7.5 dBA noise mitigation package. However, with the planned 6-foot property line masonry wall north of the car wash tunnel exit, the project noise at the northwestern portion of the senior care facility would exceed the City L50 noise limit by 1 dBA. While a 1 dBA difference is less than barely perceptible, the fact remains that it would exceed the residential noise limit. To bring the car wash operational noise into full technical compliance, the project plans to extend the northeastern wall extension an additional 11 feet with a height of 9 feet above the project grade from the car wash tunnel exit. Of course, the possibility exists that the future traffic on Gonzales Street and Ventura Road could raise the lowest hourly ambient noise by 1 dBA and the future proposed car wash project would then be in compliance with only the planned 6-foot high wall.

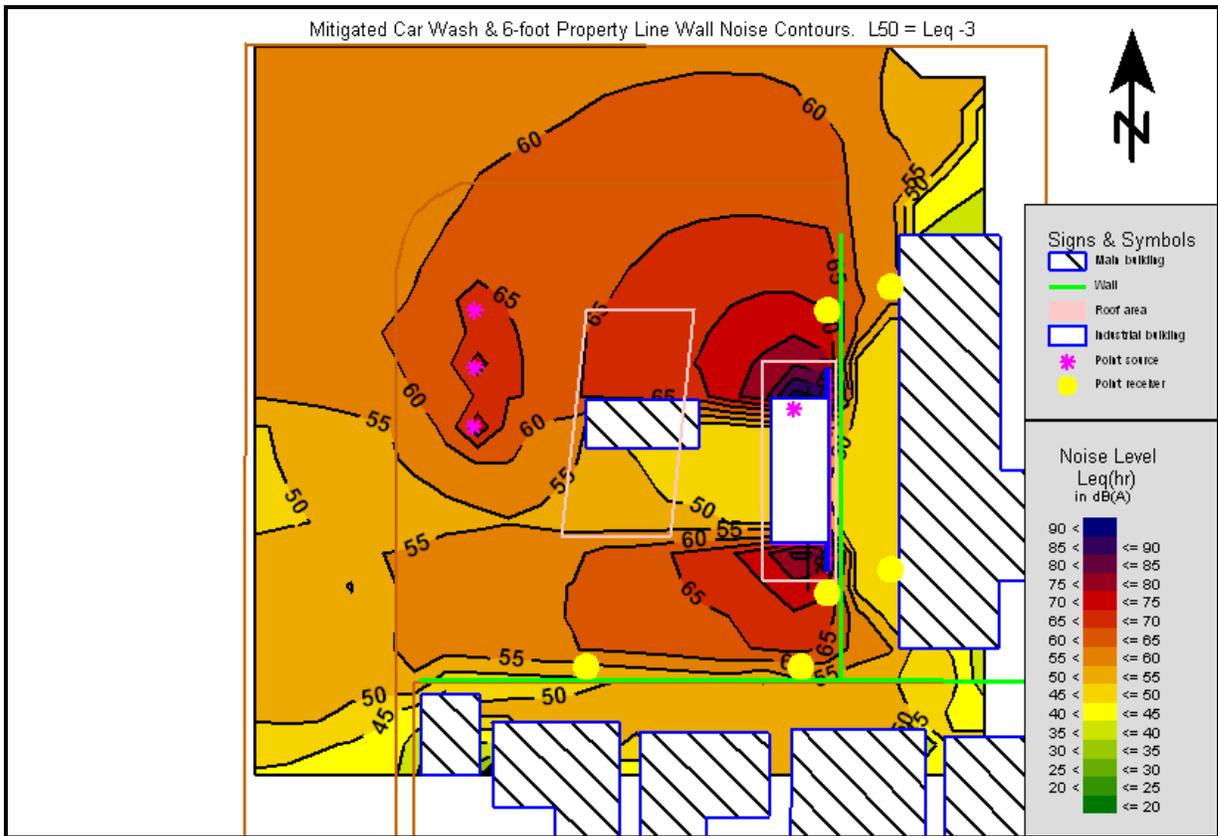


Figure 5. Mitigated Car Wash Noise Contours for a 6-foot Property Line Wall

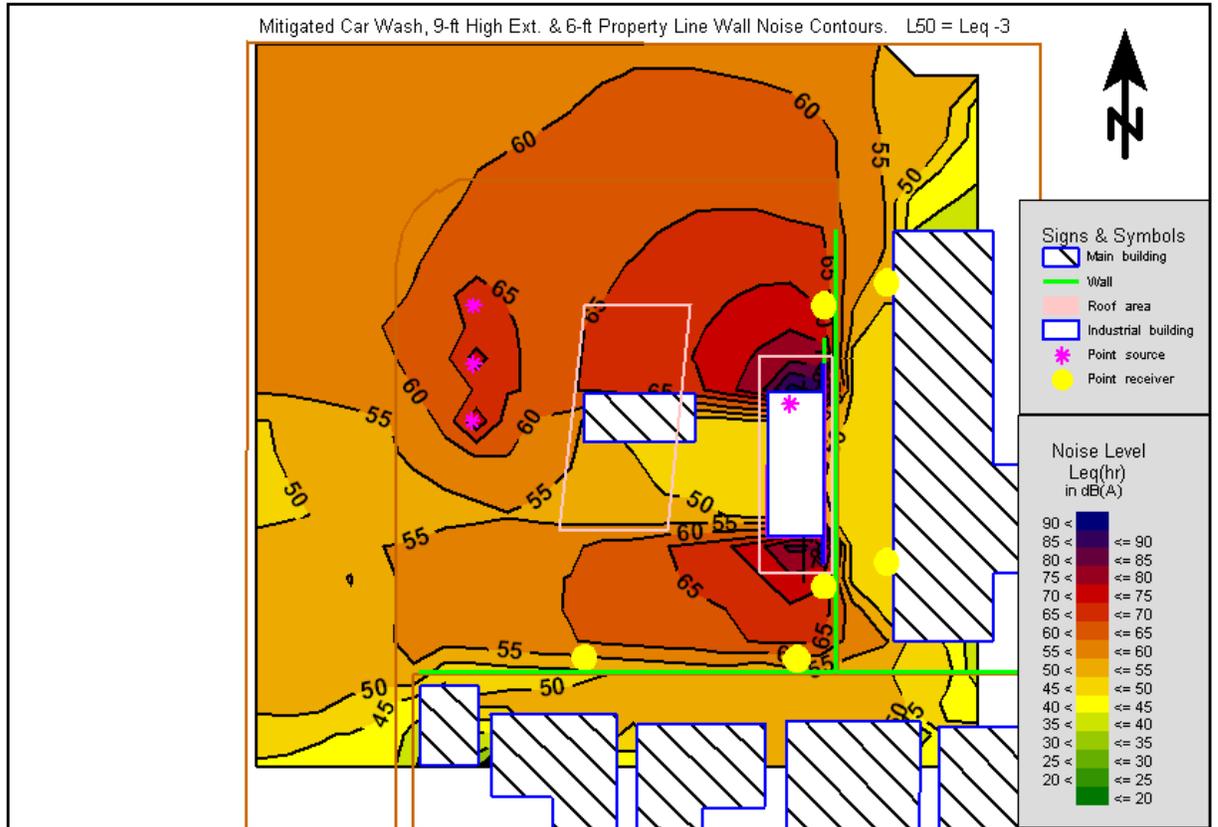


Figure 6. Mitigated Car Wash Contours with 11-ft long, 12-ft high Tunnel Extension

Proposed New Oxnard Car Wash Noise Study

A P P E N D I X A
Ambient Hourly Leq and Daily CNEL

Day	Date	Start Time	SLM 1	SLM 2	SLM 3	SLM 4	SLM 5	SLM 6	Comments
			Leq(hr)	Leq(hr)	Leq(hr)	Leq(hr)	Leq(hr)	Leq(hr)	
Thu	3-Mar	21:00	59	61	60	65	started	started	
		22:00	57	57	56	60	later	later	
		23:00	55	56	55	58			
Fri	4-Mar	0:00	57	58	57	61			
		1:00	52	53	52	56			
		2:00	51	51	51	54			
		3:00	50	51	50	54			
		4:00	53	54	53	58			
		5:00	56	57	56	60			
		6:00	61	61	61	65			
		7:00	62	63	63	66			Planned starting hour of operation
		8:00	61	62	62	67			Planned operating hour
		9:00	60	62	61	65			Planned operating hour
		10:00	60	61	60	65			Planned operating hour
		11:00	60	62	61	65			Planned operating hour
		12:00	60	61	61	65			Planned operating hour
		13:00	60	62	61	66			Planned operating hour
		14:00	61	63	62	65			Planned operating hour
		15:00	62	63	63	67			Planned operating hour
		16:00	62	64	63	66			Planned operating hour
		17:00	68	72	71	69			Planned operating hour
		18:00	62	64	63	66			Planned operating hour
		19:00	62	62	61	66			Planned operating hour
		20:00	60	62	61	64			Planned ending hour of operation.
		21:00	59	60	59	63	59	63	Sites 5 & 6 measured with fixed
		22:00	59	60	60	63	60	63	setup during nighttime hours..
		23:00	59	60	59	64	60	64	
	24-hour	CNEL	65	66	65	69	--	--	Daily ambient CNEL
Sat	5-Mar	0:00	56	56	55	60	56	60	
		1:00	56	57	55	58	54	57	
		2:00	54	58	58	56	53	57	
		3:00	52	52	52	55	50	54	
		4:00	51	52	51	55	51	55	
		5:00	56	57	57	60	57	61	
		6:00	58	61	63	63	64	62	<i>Sites 5 & 6 measured manually</i>
		7:00	59	59	59	63	74	69	<i>until manager gave permission.</i>
		8:00	60	60	60	64	59	64	
		9:00	60	61	61	65	60	66	
		10:00	61	62	61	66	63	67	
		11:00	61	62	62	66	60	66	
		12:00	60	62	61	66	61	66	
		13:00	64	66	64	69	65	67	Given permission by Sr. Care Mgr.
		14:00	61	63	62	66	69	65	Sites 5 & 6 measured with fixed

Proposed New Oxnard Car Wash Noise Study

Day	Date	Start Time	SLM 1	SLM 2	SLM 3	SLM 4	SLM 5	SLM 6	Comments
			Leq(hr)	Leq(hr)	Leq(hr)	Leq(hr)	Leq(hr)	Leq(hr)	
		15:00	61	62	61	66	71	68	setup hereafter.
		16:00	61	62	62	66	69	65	
		17:00	62	64	63	68	64	69	
		18:00	66	65	65	69	65	70	
		19:00	62	62	61	65	62	64	
		20:00	61	61	61	65	63	67	
		21:00	59	59	58	62	59	62	
		22:00	57	58	57	61	57	61	
		23:00	56	56	55	60	56	59	
	24-hour	CNEL	64	65	65	68	67	68	Daily ambient CNEL
Sun	6-Mar	0:00	54	55	54	58	55	58	
		1:00	54	54	53	57	53	56	
		2:00	52	52	51	55	52	56	
		3:00	51	50	50	53	49	53	
		4:00	50	50	49	54	50	54	
		5:00	52	53	52	56	53	56	
		6:00	55	57	56	60	61	59	
		7:00	56	58	57	62	61	65	
		8:00	57	58	57	62	57	62	
		9:00	60	61	61	64	60	65	
		10:00	60	62	62	65	62	66	
		11:00	60	61	61	65	59	65	
		12:00	61	63	62	66	62	67	
		13:00	61	63	63	67	63	67	
		14:00	61	62	62	66	62	66	
		15:00	61	62	62	66	65	67	
		16:00	62	64	64	71	65	75	
		17:00	60	61	61	66	64	65	
		18:00	61	63	62	62	61	68	
		19:00	59	60	60	61	60	64	
		20:00	58	59	58	61	58	63	
		21:00	60	61	60	66	60	64	
		22:00	56	58	57	62	57	61	
		23:00	54	55	55	66	55	58	
	24-hour	CNEL	62	63	63	68	64	68	Daily ambient CNEL
Mon	7-Mar	0:00	52	54	53	69	53	56	
		1:00	51	52	51	67	51	54	
		2:00	50	51	51	68	50	52	
		3:00	49	51	50	66	51	54	
		4:00	55	57	56	60	56	60	
		5:00	58	59	59	63	60	64	
		6:00	61	63	63	66	65	66	
		7:00	62	68	70	68	78	69	
		8:00	61	63	62	66	64	67	

Note: Bold hours are planned hours of car wash operation.
 Bold levels are the daily ambient CNEL values for each measurement location.

Proposed New Oxnard Car Wash Noise Study

APPENDIX B-1
Ambient Lmax and L% (L1.67 to L50)

Day	Date	Start Time	SLM 1 Location					SLM 2 Location					SLM 3 Location				
			Lmax	L1.67	L8.33	L25	L50	Lmax	L1.67	L8.33	L25	L50	Lmax	L1.67	L8.33	L25	L50
Thursday	3-Mar	21:00	87	74	66	63	60	88	75	63	59	57	86	66	62	59	57
		22:00	79	66	64	61	58	74	61	59	55	53	74	63	59	56	54
		23:00	78	65	62	59	56	77	64	58	54	52	74	62	58	55	52
Friday	4-Mar	0:00	88	75	65	61	58	83	71	60	57	54	82	64	58	54	49
		1:00	75	62	59	56	53	78	66	55	52	49	76	61	55	50	46
		2:00	75	62	59	55	52	70	58	53	51	47	72	60	55	49	45
		3:00	71	58	58	54	52	71	58	54	50	48	69	59	55	49	45
		4:00	73	61	60	56	53	76	63	56	53	50	74	61	57	53	48
		5:00	79	66	64	60	58	75	63	59	56	53	71	64	60	57	54
		6:00	84	71	68	64	62	81	68	63	60	58	79	68	64	61	59
		7:00	92	80	70	67	64	89	76	65	62	59	88	69	65	62	60
		8:00	86	73	69	65	62	82	69	64	62	59	81	67	64	62	60
		9:00	81	68	68	65	61	78	66	64	60	58	76	68	64	61	59
		10:00	88	75	68	64	61	82	69	63	60	57	76	67	63	60	58
		11:00	82	69	67	64	62	83	70	64	60	57	86	68	64	61	58
		12:00	79	67	68	64	62	76	64	63	61	58	77	67	64	61	59
		13:00	81	68	68	65	62	82	70	64	60	58	77	68	64	61	59
		14:00	87	75	68	66	62	83	70	65	61	59	81	68	65	62	60
		15:00	86	73	69	66	63	78	66	65	62	59	81	69	65	63	61
		16:00	80	68	70	66	63	77	65	66	63	60	83	69	66	64	62
		17:00	89	77	75	72	70	94	81	74	71	69	90	83	70	64	61
		18:00	88	76	69	66	63	82	70	65	62	60	81	70	65	62	60
		19:00	90	78	68	66	63	87	74	65	61	58	83	68	64	61	59
		20:00	86	74	68	65	63	84	71	64	61	58	83	68	63	60	57
		21:00	81	68	67	63	60	78	65	62	59	56	79	66	62	59	57
		22:00	85	72	67	63	61	83	70	62	59	57	80	66	62	60	57
		23:00	91	79	66	63	61	85	72	62	59	56	84	66	60	57	54
Saturday	5-Mar	0:00	82	69	63	60	57	77	64	59	56	53	75	64	59	55	52
		1:00	81	68	63	60	57	77	64	60	56	53	77	62	58	55	51
		2:00	73	60	61	58	55	73	61	60	57	54	72	63	63	61	54
		3:00	78	65	60	57	54	69	56	55	51	48	69	61	56	51	47
		4:00	71	59	59	56	53	70	57	54	51	48	73	59	55	50	47
		5:00	84	71	64	60	58	81	68	59	56	53	82	64	59	55	52
		6:00	81	68	65	62	59	88	75	63	60	57	90	70	62	58	55
		7:00	84	71	66	63	60	76	63	61	58	56	75	66	62	59	57
		8:00	76	64	66	64	61	79	66	62	59	56	73	66	62	60	58
		9:00	85	72	67	64	62	80	67	64	60	58	78	68	64	61	59
		10:00	82	70	68	65	62	78	65	64	61	58	76	68	64	61	59
		11:00	90	77	68	65	62	86	73	64	62	58	82	69	65	62	59
		12:00	81	69	68	64	62	78	66	63	60	58	76	68	64	61	59
		13:00	94	81	71	68	65	90	78	67	65	61	84	72	65	62	60
		14:00	87	74	69	65	62	82	70	65	61	59	80	69	64	62	60
		15:00	81	69	68	65	62	81	69	64	62	58	77	69	64	62	59
		16:00	87	74	68	65	63	76	63	64	62	58	79	69	64	62	59
		17:00	86	74	70	66	63	88	75	66	63	60	84	71	65	62	60
		18:00	98	85	73	70	67	91	78	67	64	61	91	71	65	63	61
		19:00	94	81	70	66	63	83	71	64	61	58	85	67	63	60	58
		20:00	88	76	68	66	62	84	72	64	61	58	81	68	62	59	57

Proposed New Oxnard Car Wash Noise Study

Day	Date	Start Time	SLM 1 Location					SLM 2 Location					SLM 3 Location				
			Lmax	L1.67	L8.33	L25	L50	Lmax	L1.67	L8.33	L25	L50	Lmax	L1.67	L8.33	L25	L50
Saturday	5-Mar	21:00	80	67	66	62	60	76	63	61	58	55	73	66	62	59	56
		22:00	79	67	64	61	58	77	65	60	57	54	76	64	61	58	55
		23:00	75	63	63	60	57	72	59	59	55	53	70	63	59	56	53
Sunday	6-Mar	0:00	75	62	62	59	56	76	63	57	54	52	72	63	58	54	51
		1:00	73	61	62	58	56	69	57	56	53	50	67	62	57	54	49
		2:00	72	60	59	56	53	72	59	54	51	48	70	59	55	51	46
		3:00	72	60	58	54	51	69	57	53	49	47	68	58	54	48	43
		4:00	70	57	57	53	51	67	54	52	48	46	66	58	54	48	44
		5:00	80	68	59	56	53	78	66	55	52	49	77	60	55	51	47
		6:00	80	67	62	59	57	75	62	59	56	53	76	63	60	56	53
		7:00	79	66	64	61	58	83	71	61	57	55	80	64	60	57	53
		8:00	74	62	64	61	59	70	57	60	57	54	72	63	61	58	56
		9:00	82	70	67	63	60	83	71	63	60	57	81	67	63	61	59
		10:00	84	71	67	65	61	80	68	64	61	58	80	69	64	62	60
		11:00	82	70	67	64	62	79	67	63	60	58	81	68	63	61	59
		12:00	87	75	69	65	63	85	73	64	61	59	84	70	65	62	60
		13:00	81	69	68	65	62	79	66	65	62	59	80	70	66	63	61
		14:00	80	67	68	65	62	82	70	64	62	59	80	68	64	62	61
		15:00	82	69	68	65	62	79	67	64	61	58	80	69	64	62	60
		16:00	91	78	69	67	64	89	76	67	63	61	87	71	66	63	62
17:00	79	67	67	64	62	73	61	63	61	57	77	67	64	62	59		
18:00	88	75	68	65	62	87	75	65	61	58	88	68	63	60	58		
19:00	80	67	67	64	60	77	64	62	59	56	75	67	63	60	58		
20:00	81	69	65	61	59	78	65	61	58	55	77	65	61	59	56		
		21:00	88	75	67	64	62	84	72	63	60	58	83	69	62	58	55
		22:00	79	67	63	61	58	78	65	60	56	54	76	65	61	57	54
		23:00	80	67	62	59	56	74	62	58	55	52	75	62	58	55	52
Monday	7-Mar	0:00	72	59	59	57	54	69	57	55	52	50	68	61	57	53	51
		1:00	73	61	59	56	53	70	57	54	51	48	66	60	55	51	48
		2:00	73	60	57	54	51	67	55	53	50	47	69	59	54	50	47
		3:00	70	58	56	52	50	67	54	52	49	47	65	58	54	50	48
		4:00	79	67	62	58	56	76	64	59	55	53	74	63	59	56	53
		5:00	74	61	65	62	59	73	61	61	58	55	73	65	63	60	58
		6:00	80	67	68	66	63	81	68	65	62	59	80	70	66	63	60
		7:00	84	71	70	66	63	91	79	69	66	64	94	81	67	63	61
8:00	79	66	68	65	62	81	68	65	61	59	82	68	65	62	60		

Note: Bold hours are planned hours of car wash operation.

Bold levels are the lowest ambient L50 values for each measurement location during operating hours.

Proposed New Oxnard Car Wash Noise Study

APPENDIX B-2
Ambient Lmax and L% (L1.67 to L50)

Day	Date	Start Time	SLM 4 Location					SLM 5 Location					SLM 6 Location							
			Lmax	L1.67	L8.33	L25	L50	Lmax	L1.67	L8.33	L25	L50	Lmax	L1.67	L8.33	L25	L50			
Thursday	3-Mar	21:00	94	70	64	61	58													
		22:00	76	68	64	60	56													
		23:00	82	67	62	57	53													
Friday	4-Mar	0:00	91	66	61	56	51													
		1:00	83	64	58	52	48													
		2:00	76	63	57	51	47													
		3:00	75	63	57	51	47													
		4:00	83	67	61	55	50													
		5:00	78	68	64	60	57													
		6:00	87	72	69	65	61													
		7:00	87	73	70	67	64													
		8:00	91	73	71	67	64													
		9:00	82	73	68	65	62													
		10:00	86	73	69	65	63													
		11:00	83	73	68	65	63													
		12:00	85	73	68	66	63													
		13:00	87	73	68	66	63													
		14:00	82	72	68	66	64													
		15:00	84	74	70	67	65													
		16:00	84	73	69	67	65													
		17:00	97	76	70	67	65													
		18:00	88	74	69	66	63													
		19:00	92	73	68	65	62													
		20:00	84	72	67	64	60													
		21:00	94	70	64	61	58													
		22:00	76	68	64	60	56													
		23:00	82	67	62	57	53													
Saturday	5-Mar	0:00	91	66	61	56	51													
		1:00	83	64	58	52	48													
		2:00	76	63	57	51	47													
		3:00	75	63	57	51	47													
		4:00	83	67	61	55	50													
		5:00	78	68	64	60	57													
		6:00	87	72	69	65	61													
		7:00	87	73	70	67	64													
		8:00	91	73	71	67	64													
		9:00	82	73	68	65	62													
		10:00	86	73	69	65	63													
		11:00	83	73	68	65	63													
		12:00	85	73	68	66	63													
		13:00	87	73	68	66	63													
		14:00	82	72	68	66	64								87	75	68	65	62	
		15:00	84	74	70	67	65								92	79	70	67	64	
		16:00	84	73	69	67	65								85	73	68	64	62	
		17:00	97	76	70	67	65	90	73	65	61	59	97	85	71	68	65			
		18:00	88	74	69	66	63	94	73	65	61	59	100	87	73	69	66			
		19:00	92	73	68	65	62	82	73	63	59	56	83	70	66	64	60			
		20:00	84	72	67	64	60	88	71	64	60	56	91	78	68	66	63			

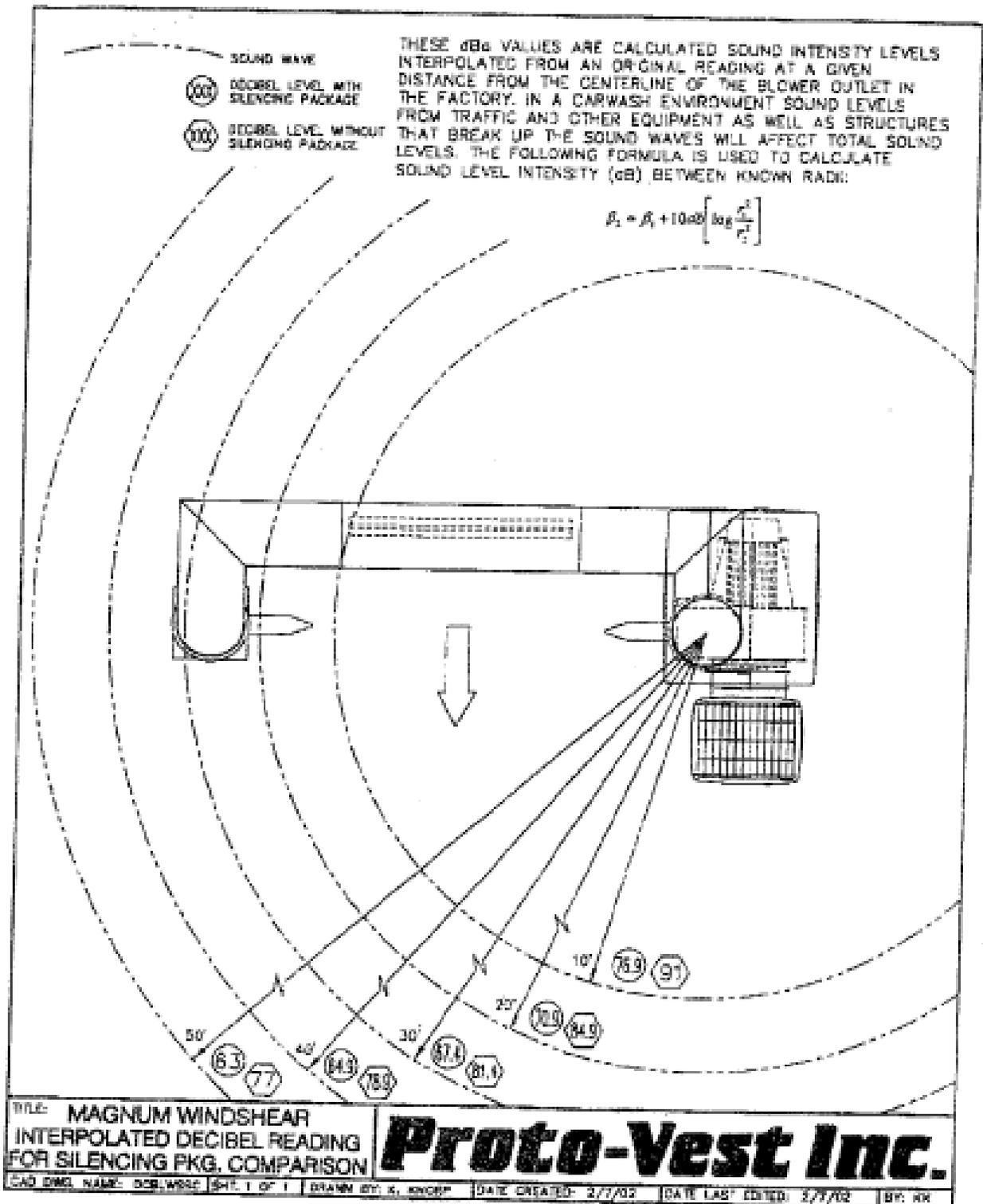
Proposed New Oxnard Car Wash Noise Study

Day	Date	Start Time	SLM 4 Location					SLM 5 Location					SLM 6 Location				
			Lmax	L1.67	L8.33	L25	L50	Lmax	L1.67	L8.33	L25	L50	Lmax	L1.67	L8.33	L25	L50
Saturday	5-Mar	21:00	79	71	66	63	60	77	67	62	59	55	81	69	64	61	59
		22:00	87	71	66	62	59	75	65	61	57	54	78	66	63	60	58
		23:00	91	70	65	60	57	74	64	60	55	51	77	65	61	58	55
Sunday	6-Mar	0:00	82	68	62	57	53	74	63	58	53	49	78	65	60	58	54
		1:00	84	66	60	55	52	72	62	56	51	48	76	64	59	56	53
		2:00	78	64	59	55	53	78	60	54	49	45	83	70	58	55	52
		3:00	74	64	58	53	49	72	59	53	46	41	75	63	55	52	49
		4:00	76	64	58	53	49	73	60	52	46	42	77	64	56	52	49
		5:00	84	69	63	58	54	71	63	57	50	45	74	62	57	54	52
		6:00	82	72	66	62	58	89	65	59	54	50	77	64	61	59	56
		7:00	82	71	67	63	60	92	65	60	56	52	96	83	68	65	61
		8:00	79	71	67	65	62	73	64	61	57	53	79	66	65	61	58
		9:00	82	72	68	65	62	85	67	62	59	55	91	78	68	65	62
		10:00	82	74	69	66	63	83	71	65	61	58	90	78	68	65	63
		11:00	85	73	69	66	63	80	67	62	59	57	87	74	67	64	61
		12:00	83	73	69	66	64	82	71	64	61	58	88	75	69	66	63
		13:00	93	76	70	67	64	84	72	66	62	60	91	79	70	66	63
		14:00	88	74	69	66	63	81	70	65	62	60	82	70	68	65	62
		15:00	86	74	69	66	63	87	72	65	62	60	85	73	68	65	63
		16:00	89	73	69	65	62	91	72	65	63	60	97	84	77	74	71
17:00	93	75	69	66	63	90	71	63	60	58	82	69	67	64	62		
18:00	96	75	69	66	63	89	67	61	58	55	97	84	70	67	65		
19:00	88	72	67	64	61	78	69	61	58	55	83	71	66	63	60		
20:00	86	74	67	64	60	77	65	62	58	54	80	68	65	62	59		
		21:00	79	70	66	62	59	81	69	62	58	54	86	74	66	63	61
		22:00	75	69	65	61	58	80	64	60	56	53	84	71	63	60	57
		23:00	77	68	63	59	56	76	63	58	54	51	79	67	60	57	55
Monday	7-Mar	0:00	81	67	62	57	53	72	61	56	53	50	76	63	59	55	53
		1:00	76	66	60	56	52	73	58	53	50	47	77	64	55	53	50
		2:00	78	63	58	53	49	69	58	53	49	46	73	61	55	51	48
		3:00	73	63	56	51	46	71	59	54	50	48	74	62	56	53	50
		4:00	75	63	57	51	46	77	65	60	56	53	79	66	62	60	56
		5:00	72	65	61	55	50	83	66	62	59	57	79	67	66	63	60
		6:00	81	69	64	59	55	92	71	66	63	60	82	70	68	65	62
		7:00	86	70	65	61	57	100	91	68	64	61	91	78	72	69	66
8:00	76	69	66	62	59	86	72	67	63	61	86	73	70	67	64		

Note: Bold hours are planned hours of car wash operation.

Bold levels are the lowest ambient L50 values for each measurement location during operating hours.

APPENDIX C





NOTICE OF EXEMPTION

Project Description:

Planning and Zoning Permit No. 08-550-03 (Major Modification to Special Use Permit No. 1255), a request to construct and operate a 1,440 square foot automated carwash at an existing automobile fuel station (Chevron), located at 1860 North Ventura Road. The 60-foot long tunnel will be located to the east of the existing 964 square foot food mart, and the project includes dedication of public-right-of-way for the future widening of Gonzales Road and Ventura Road. A 4-foot wide dedication (no improvements) is proposed along Gonzales Road, and a 17-foot wide dedication along Ventura Road will allow future roadway improvements to accommodate a right turn pocket. Filed by Leon E. Felus on behalf of Mohammad Taherizadegan, 14000 Palawan Way Suite D, Marina Del Rey, California 90292.

Finding:

The Planning Division of the Development Services Department of the City of Oxnard has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, 14 Cal. Code of Regs. 15270]
- No Possibility of Significant Effect [CEQA Guidelines, 14 Cal. Code of Regs. 15061(b)(3)]

Supporting Reasons:

In accordance with Section 15303 of the State California Environmental Quality Act (CEQA) Guidelines, projects involving the "installation of small new equipment and facilities in small structures" may be found to be exempt from the requirements of CEQA. Based on the above exemption and in accordance with CEQA, the Planning Division Manager has determined that there is no substantial evidence that the proposed project may have a significant effect on the environment and that a notice of exemption may be filed

Signature on file with Planning Division

(Date)

Susan L. Martin, AICP
Planning Division Manager

ORIGINAL
FILE COPY

RESOLUTION NO. 7131

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD APPROVING SPECIAL PERMIT NO. 1255 APPLIED FOR BY TAIT AND ASSOCIATES, INCORPORATED, ON BEHALF OF CHEVRON, U.S.A., INCORPORATED, 900 ORANGE FAIR LANE, ANAHEIM, CALIFORNIA 92801 TO DEMOLISH AN EXISTING CHEVRON SERVICE STATION AND CONSTRUCT A NEW 953 SQUARE FOOT CHEVRON MINI-MART STRUCTURE WITH SELF-SERVICE GASOLINE PUMPS/SALES ON AN APPROXIMATE 34,358 SQUARE FOOT PARCEL ZONED C-2-PD (GENERAL COMMERCIAL PLANNED DEVELOPMENT) LOCATED AT THE SOUTHEAST CORNER OF GONZALES ROAD AND NORTH VENTURA ROAD (1860 NORTH VENTURA ROAD) WITHIN THE FREMONT NEIGHBORHOOD OF THE NORTHWEST COMMUNITY, SUBJECT TO CERTAIN CONDITIONS.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for a special permit filed by Tait and Associates, Incorporated on behalf of Chevron, U.S.A. in accordance with Section 34-146 through 34-157-1 of the Oxnard City Code; and

WHEREAS, the Planning Commission finds that, after due study, deliberation and public hearing, the following circumstances exist:

1. That the proposed use is in conformance with the General Plan and other adopted standards of the City of Oxnard.
2. That the proposed use will not adversely affect or be materially detrimental to the adjacent uses, buildings or structures or to the public health, safety or general welfare.
3. That the site for the proposed use is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other items as required.
4. That the site for the proposed use will be served by streets and highways adequate in width and structure to carry the kind and quantity of traffic such use will generate.
5. That the site for the proposed use will be provided with adequate sewerage, water, fire protection and storm drainage facilities.

WHEREAS, the Community Development Director finds that the project is categorically exempt, as defined in the California Administrative Code, as amended, and does not require an Environmental Impact Report or Negative Declaration, as established in the California Environmental Quality Act.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby recommends approval said special permit subject to the following conditions. The decision of the Planning Commission is final unless appealed in accordance with the provisions of Section 34-155 of the Oxnard City Code.

GENERAL

1. The special use permit is granted for the land as described in the application, shown as Exhibit "A," and shall not be transferable from one party to another. (PL)
2. The location of buildings and structures shall substantially conform to Exhibit "A," unless amended specifically by a condition of this resolution, by a major modification or a minor modification. (PL/B)
3. The special use permit shall become null and void within 24 months from the date of its issuance, unless the proposed development or use has been diligently pursued. The issuance of a grading, foundation, or building permit for structural construction shall be minimum requirement for evidence of diligent pursuit. (PL)
4. All conditions of this special use permit shall be complied with prior to the approval of occupancy, unless occupancy is approved by the Community Development Director. (PL/B)
5. The development or use by the developer of any activity or structure authorized by this special use permit shall constitute acceptance of all of the conditions and obligations imposed by the City on this permit. The developer by said acceptance waives any challenge as to the validity of these conditions. (CA)
6. The developer agrees as a condition of approval of this permit to defend, at the sole expense of developer, any action brought against the City based upon approval or use of this permit or, in the alternative, to relinquish this permit. The developer shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such action. The City may, at its sole discretion, participate in the defense of any such action, but such participation shall not relieve permittee of the obligations under this condition. Commencement of construction or operations under this permit shall be deemed to be acceptance by developer of all conditions of this permit. (CA)
7. The elevations of all buildings and structures shall substantially conform to Exhibit "A," unless amended specifically by a condition of this resolution, by a major modification, or a minor modification. (PL) The final building plans submitted with the building permit application shall clearly indicate all building materials and colors to be used in construction. (PL/B)
8. Minor changes or minor increase in the extent of use or size of structure may be approved by the Community Development Director, but any substantial change or increase will require the filing and approval of a major modification by an amended commercial permit by the Planning Commission. (PL)

9. Minor changes in the final design or materials and colors for building and masonry walls may be approved by the Community Development Director with the filing of a minor modification permit to this project. Any request for a minor modification shall be made to the Community Development Director in writing and shall be accompanied by three copies of any plans reflecting the requested modification. (PL)
10. Prior to the issuance of a building permit, a reproduction of all conditions of this permit approval as adopted by resolution of the Planning Commission and City Council shall be part of, and incorporated into, all sets of the construction documents and specifications for this project. A reproduction of all conditions shall be included on each set of the job/construction documents. (PL)
11. The developer shall record with the County Recorder all conditions of this permit approval as adopted by the City as they relate to this property. A copy of the recorded document is to be submitted to the Community Development Department prior to issuance of building permits or initiation of use.

UTILITIES

12. Refuse enclosures shall be constructed in accordance with the approved plate and standards on file in the Public Works Department. Enclosures shall be located as shown in the approved plans. Final location of enclosures shall be subject to the approval of the Public Works Department. Enclosures shall be constructed and finished in a manner to match the major design element of the main structure. Such finish shall be indicated on the building plans and is subject to approval of the Planning Division. (PW, PL/PW, B)
13. On-site and off-site utility service shall be installed underground in accordance with Ordinance No. 2113. Utilities shall be undergrounded to the nearest suitable riser pole as determined by the appropriate utility company. (PL, PW/PW)

PARKING AND ACCESS

14. Off-street parking including number of spaces, stall size, paving, striping, location, and access shall comply with the Oxnard City Code. (PL/B)
15. Curb cut widths and design shall conform to the City Code. (PW, PL/PW)

LANDSCAPING

16. Landscape and irrigation plans prepared in accordance with the commercial Landscape Standards shall be submitted to Parks Division for approval prior to issuance of building permit or initiation of the proposed use. (PK, PL/PK)
17. Landscaping and irrigation shall be installed per plans as approved by the Parks Division. (PK, PL/PK)
18. Landscaping and irrigation installation shall be inspected and approved by Parks Division prior to issuance of Certificate of Occupancy. (PK/PK, B)
19. Continuous maintenance of all landscaped areas, as required by City Code and as specified by Parks Division shall be provided. (PK)
20. All trees shall be 24 inch box size (minimum), all shrubs and vines shall be 5 gallon size (minimum) except as specified by the Parks Division. (PK/PK)

SIGNS

21. The master sign program shall indicate on the site plan and elevations the size, placement, material, and color of all proposed free-standing and building signs. The square footage of all signs for the proposed project shall not exceed 196 square feet as determined by the City Code. Final location of signs shall be in accordance with City Code and shall be subject to review and approval of the Community Development Director. A freestanding (pole) sign shall be prohibited at this site. In lieu of the freestanding sign, a ground monument sign shall be permitted as illustrated on the site plan (sheet 1).

APPURTENANT STRUCTURES

22. No lighting shall be of the type or in a location such that it constitutes a hazard to vehicular traffic, either on private property or on abutting streets. To prevent damage from automobiles, standards shall be mounted on reinforced concrete pedestals or otherwise protected. Under canopy lighting elements shall be recessed or concealed in such a manner as not to be directly visible from a public street. A lighting plan shall be submitted for review and approval of the Community Development Department. (PL/B)
23. All roof heating and/or cooling systems shall be recessed and/or screened from adjoining property to the approval of the Community Development Director. (PL/B)
24. Outdoor storage and display shall not be permitted. (PL/B)

FIRE SAFETY CONDITIONS

25. All vehicle access driveways shall be 25 feet wide, and striped and signs posted to fire land standards. Curbs adjacent to designated fire lanes in parking lots shall be painted red to indicate that parking and stopping in the fire lane is prohibited. (FD/FD, B)
26. No burning of combustible refuse or other flammable materials is permitted on the property. (FD/FD)
27. A permit shall be obtained from the Oxnard Fire Department for the handling, storage, and use of all materials classified as flammable, combustible, radioactive, carcinogenic, or otherwise potentially hazardous to human health. (FD/FD)
28. All roof covering materials shall be of non-combustible or approved fire retardant materials. (FD/FD)

SPECIAL CONDITIONS

29. If developer proposes any grading, the developer shall submit a grading plan prepared by a registered civil engineer and approved by the Public Works Department prior to issuance of the building permit. All landscape mounding shall be shown on the grading plan.
30. If developer proposes any repaving, the developer shall have the parking lot paved in accordance with the City's pave out policy (two inches by four inches minimum) in parking area and three inch on four inch in driveway areas.
31. Developer shall pay all current development fees.
32. Developer shall protect the building pads of all structures from a 100-year storm.
33. Landscape irrigation plan shall be prepared by a licensed professional and approved by the Public Works Department for property water meter size and backflow prevention device prior to issuance of the building permit.
34. The developer shall remove and replace any existing broken, or damaged sidewalk, curb, gutter, or asphalt paving (patch, repair, or overlay) adjacent to property as directed by the Public Works inspector.
35. The developer shall dedicate four feet along Gonzales Road for street purposes.
36. Developer shall make arrangement with the Public Works Department inspector to inspect and test any existing sewer and water service laterals to be used prior to connection and shall make necessary repairs as directed by the inspector.

37. A licensed engineer in the State of California, who is registered in accordance with the appropriate provisions of the Business and Professions Code, shall be retained by the developer to assure that the construction work conforms to the approved improvement plans (public improvements, rough grading, fine grading) and specifications, as well as provides certified "as-built" plans after project completion. Submittal of their certified "as-built" plans will be required prior to and as a condition of final acceptance of the development by the City.
38. The driveway on Gonzales Road closest to the intersection of Gonzales Road and Ventura Road shall be designated as ingress only.
39. The mini-mart design and operation shall comply with the Police Department requisite features list to provide essential security and crime prevention measures.
40. The existing concrete block wall on the entire interior perimeter of the site shall be texture coated to match the material and color of the mini-mart building texture coat.
41. Any subsequent request to secure an alcoholic beverage license for the off-site sale of wine and beer, and in conjunction with the mini-mart will require the approval of a separate special use permit.
42. The restrooms shall be open and available for public use during the hours operation of the mini-mart and self-service gasoline sales.

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 7th day of January, 1988, by the following vote:

AYES: Commissioners: Racine, Flores, Perez, Grey, Elias

NOES: Commissioners: Duff

ABSENT: Commissioners: None



R. Bodine Elias, Clairperson

ATTEST:



Richard J. Maggio, Secretary

RESOLUTION NO. 2012 – ____.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD APPROVING PLANNING AND ZONING PERMIT NO. 08-550-03 (MAJOR MODIFICATION TO SPECIAL USE PERMIT NO. 1255) A REQUEST TO CONSTRUCT AND OPERATE A 1,440 SQUARE FOOT AUTOMATED CARWASH AT AN EXISTING AUTOMOBILE FUEL STATION (CHEVRON), LOCATED AT 1860 NORTH VENTURA ROAD. THE 60-FOOT LONG TUNNEL WILL BE LOCATED TO THE EAST OF THE EXISTING 964 SQUARE FOOT FOOD MART, AND THE PROJECT INCLUDES DEDICATION OF PUBLIC-RIGHT-OF-WAY FOR THE FUTURE WIDENING OF GONZALES ROAD AND VENTURA ROAD. FILED BY LEON E. FELUS ON BEHALF OF MOHAMMAD TAHERIZADEGAN, 14000 PALAWAN WAY SUITE D, MARINA DEL REY, CALIFORNIA 90292.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for Planning and Zoning Permit No. 08-550-03, filed by Leon E. Felus on behalf of Mohammad Taherizadegan in accordance with Section 16-530 through 16-553 of the Oxnard City Code; and

WHEREAS, Section 15303 of Title 14 of the California Code of Regulations exempts the project from the requirement for the preparation of environmental documents imposed by the California Environmental Quality Act; and

WHEREAS, the Planning Commission finds, after due study, deliberation and public hearing, that the following circumstances exist:

1. The proposed use is in conformance with the General Plan and other adopted policies of the City of Oxnard.
2. The proposed use will not adversely affect or be materially detrimental to the adjacent uses, buildings or structures or to the public health, safety or general welfare.
3. The site for the proposed use is adequate in size and shape to accommodate the setbacks, parking, landscaping, and other City standards except as may be specifically excepted by the special findings and conditions of this resolution.
4. The site for the proposed use will be served by streets and highways adequate in width and structure to carry the kind and quantity of traffic such use will generate.
5. The site for the proposed use will be provided with adequate sewerage, water, fire protection and storm drainage facilities.

WHEREAS, the Planning Commission finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby approves this permit subject to the following conditions. The decision of the Planning Commission is final unless appealed in accordance with the provisions of Section 16-545 of the Oxnard City Code.

**STANDARD CONDITIONS OF APPROVAL
FOR LAND USE PERMITS**

Note:

The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Landscape Design	CE	Code Compliance

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another. (PL, *G-1*).
2. This permit is granted for the plans dated May 3, 2012, (“the plans”) on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Planning and Environmental Services Manager (“Planning Manager”) or a major modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls. A major modification shall be required for substantial changes or increases in such items. (PL, *G-2*)

3. This permit shall automatically become null and void 36 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. (PL, G-3)
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Development Services Manager allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements. (DS, G-4)
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein. (CA, G-5)
6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. (CA, G-6)
7. Any covenants, conditions, and restrictions (CC&Rs) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&Rs and the City Code or this permit, the City Code or this permit shall prevail. (CA, G-7)
8. Developer shall complete the "Notice of Land Use Restrictions and Conditions" form, using the form provided by the City, for recording with the Ventura County Recorder. Before the City issues building permits, Developer shall submit the original completed, signed and notarized document, together with the required fees to the Planning Manager. (PL, G-8)
9. Developer shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code. (PL/B, G-9)
10. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property. (PL/B, G-10)
11. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit. (B, G-11)
12. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property. (FD, G-12)

13. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief. (FD, G-13)
14. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code. (CA, G-14)
15. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property for which the Code Compliance Division has open cases. (PL, G-15).

LANDSCAPE STANDARD CONDITIONS

16. Before submitting landscape and irrigation plans, Developer shall obtain approval of the Parks and Facilities Superintendent or designee (“Superintendent”) of a plan showing on the project property all existing trees and identifying the trees to be saved, transplanted or removed. (PK, PK-1)
17. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Development Services Division and obtain approval of such plans. (PK/DS, PK-2)
18. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems that have been approved by Parks and Facilities Superintendent. (PK, PK-3)
19. Developer shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so will result in the revocation of this permit and initiation of legal proceedings against Developer. (PK, PK-4)
20. Before the City issues a certificate of occupancy, Developer shall provide a watering schedule to the building owner or manager and to the Parks and Facilities Superintendent. The irrigation system shall include automatic rain shut-off devices, or instructions on how to override the irrigation system during rainy periods. (PK, PK-5)
21. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit. (PK, PK-6)
22. Developer shall install an irrigation system that includes a water sensor shut off device as a water conservation measure. (PK, PK-22)

LANDSCAPE SPECIAL CONDITIONS

23. Developer's Landscape Architect or Architect shall provide the City with written confirmation that they have reviewed the civil engineering construction drawings and that the NPDES requirements are not in conflict with meeting the City's landscape requirements. (PK)
24. All landscaping and irrigation shall comply with Ordinance No. 2822, which adopted the City of Oxnard Landscape Water Conservation Standards. (PK)
25. Staff accepts the Arborist Horticultural Tree Evaluation Report, dated November 22, 2011. Staff agrees that the appraised economic value of the trees removed totals \$10,530.00. (PK)
26. The economic appraisal value of the trees removed (\$10,530.00) shall be put back into new tree sizes for the project and shall be in addition to meeting the City's minimum tree size of 24" box. First priority for increased tree sizes shall be to upsize the Schinus terebinthifolius trees on Ventura Road. Next, upsize the remaining other proposed tree sizes until the full value of the \$10,530.00 is expended. (PK)
27. At the time of Plan Check submittal, the landscape plans shall contain an exhibit titled "Tree Tabulation Chart". The Tree Tabulation Chart shall contain a listing of all existing trees on site and shall refer to them by number as identified in the Arborist's Tree Report. The Tree Tabulation Chart shall clearly list all trees to remain, be removed or transplanted. The Chart shall contain the Arborist's economic appraisal value of each tree(s) removed as well as computations and calculations showing how the value of the removed tree(s) was put back into new tree sizes for the project that are in addition to meeting the City's minimum tree size of 24" box. (PK)
28. No turf is to be used on the site except for possible bio-swale conditions. (PK)
29. A 36" high continuous visual screen shall be provided (at time of planting) to help screen on site cars from the adjacent roadways of Ventura Rd and Gonzales Rd. (PK)
30. Provide tall growing, dense, vertical screen shrubs against the property walls that are associated with the car wash operations in order to provide a buffering to the adjacent existing residential units. (PK)

FIRE DEPARTMENT STANDARD CONDITIONS

31. Developer shall construct all vehicle access driveways on the project property to be at least 26 feet wide. Developer shall mark curbs adjacent to designated fire lanes in parking lots to prohibit stopping and parking in the fire lanes. Developer shall mark all designated fire lanes in accordance with the California Vehicle Code. (FD/B, *F-1*)

32. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Fire Chief and in compliance with the City Code. (FD, F-2)
33. Before the City issues building permits, Developer shall obtain the Fire Chief's approval of a plan to ensure fire equipment access and the availability of water for fire combat operations to all areas of the project property. The Fire Chief shall determine whether or not the plan provides adequate fire protection. (FD/DS, F-3)
34. At Developer's expense, Developer shall obtain two certified fire flow tests for the project property. The first test shall be completed before City approval of building plans and the second shall be completed after construction and prior to the issuance of a certificate of occupancy. A mechanical, civil, or fire protection engineer must certify the tests. Developer shall obtain permits for the tests from the Engineering Division. Developer shall send the results of the tests to the Fire Chief and the City Engineer. (FD/DS, F-4)
35. All structures on the project property shall conform to the minimum standards prescribed in Title 19 of the California Code of Regulations. (FD, F-5)
36. The project shall meet the minimum requirements of the "Fire Protection Planning Guide" published by the Fire Department. (FD, F-6)
37. Developer shall identify all hydrants, standpipes and other fire protection equipment on the project property as required by the Fire Chief. (FD, F-8)
38. Developer shall provide central station monitoring of the fire sprinkler system and all control valves. (FD, F-10)
39. The turning radius of all project property driveways and turnaround areas used for emergency access shall be a minimum of 48 feet outside diameter for a semi-trailer. (FD, F-11)
40. Developer shall provide automatic fire sprinklers as required by the City Code and shall contact the Fire Chief to ascertain the location of all connections. (FD, F-12)
41. Developer shall comply with Certified Unified Program Agency (CUPA) requirements regarding the storage, handling and generation of hazardous materials or waste. Prior to the issuance of building permits, Developer shall contact the CUPA division of the Fire Department to ensure that such requirements are followed. (FD, F-16)

FIRE DEPARTMENT SPECIAL CONDITIONS

42. Fire Department Connections servicing fire sprinkler system shall be located in planter area adjacent to driveway on Ventura Rd. (FD)
43. Developer shall install a new Fire Hydrant at the driveway entrance from Ventura Rd. (FD)

44. Before the city issues a certificate of occupancy, the Developer shall install a Knox Key vault at location to be determined by the Fire Department. (FD)

PLANNING DIVISION STANDARD CONDITIONS

45. Plans submitted by Developer with building permit applications shall show on the building elevation sheets all exterior building materials and colors, including product and finish manufacturer name, color name and number, and surface finish type (such as: stucco with sand finish, plaster with smooth finish) to be used in construction. (PL/B, PL-1)
46. Any application for a minor modification to the project shall be accompanied by four copies of plans reflecting the requested modification, together with applicable processing fees. (PL, PL-2)
47. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project. (PL, PL-3)
48. Before the City issues building permits, Developer shall provide to the Planning Division Manager color photographic reductions (8 1/2" by 11") of full-size colored elevations and any other colored exhibit approved by the Planning Commission. Developer may retain the full-size colored elevations after the reductions are so provided. (PL, PL-4)
49. Developer acknowledges that because of population limitations placed on the City by the Air Quality Management Program, approval of this permit does not guarantee that the City will issue building permits. The City's issuance of building permits may be delayed as a result of implementation of an air quality plan. (PL, PL-5)
50. Developer may not modify any use approved by this permit unless the Planning Division Manager determines that Developer has provided the parking required by the City Code for the modified use. (PL, PL-7)
51. During the plan check review process, the Developer shall provide a lighting plan that provides design details (light standards, bollards, wall mounted packs, etc.) and illumination site information within alleyways, pathways, streetscapes, and open spaces proposed throughout the development. An electrical engineer shall prepare the site lighting plan demonstrating that adequate lighting ranges will be provided throughout the development without creating light spillover, light pollution, or conflicts with surrounding factors such as tree locations, off-site or adjacent lighting. (PL)
52. In order to minimize light and glare on the project property, all parking lot and exterior structure light fixtures shall be high cut-off type that divert lighting downward onto the property and shall not cast light on any adjacent property or roadway. (PL, PL-9)

53. Developer shall provide for dust control at all times during project property preparation and construction activities. (B/DS, *PL-13*)
54. Developer agrees to participate in a water conservation program that includes refitting water fixtures existing on the project property with water conserving devices within residences or businesses in the City's water service area, if such a program is in effect when building permits are issued for this project. Among the requirements of such a program might be refitting existing toilets, faucets, shower heads, landscaping irrigation or other fixtures and items that consume water within the structure. (PL, *PL-14*)
55. Because of water limitations placed upon the City by its water providers, approval of this permit does not guarantee that the City will issue building permits. Issuance of building permits may be delayed as a result of implementation of a water conservation or allocation plan. (PL, *PL-15*)
56. Prior to issuance of building permits, Developer shall pay a document imaging fee for the planning files in an amount calculated by planning staff at the time of building permit review based on fees then in effect. (PL/B, *PL-16*).
57. Developer shall recess or screen roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Developer shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color. (PL/B, *PL-41*)
58. Developer shall install all roof and building drainpipes and downspouts inside building elements. These items shall not be visible on any exterior building elevations. (PL, *PL-42*)
59. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-ways, to the maximum extent feasible. (PL, *PL-43*)
60. Prior to issuance of a certificate of occupancy, Developer shall remove all construction materials and vehicles from the subject property. (PL/B, *PL-47*)
61. Developer shall limit outdoor storage of materials to the locations shown on the project plans. Developer shall screen storage areas from adjacent properties and streets by a wall or similar screening. All fence and wall materials shall match the predominant design and materials of the main structure on the project property. (PL/B, *PL-48*)

62. Developer shall stripe loading zones placed partly or wholly within a structure for loading and unloading activities only and post to prohibit storage or other non-loading activity within the loading zone. (PL/B, *PL-49*)

PLANNING DIVISION SPECIAL CONDITIONS

63. Carwash operations shall be restricted to daily operational hours of 8:00 am and 7:00 pm. (PL)
64. Developer shall participate in the City's Art in Public Places Program by paying the Public Art fee prior to issuance of building permits, in accordance with City Council Resolution No. 14,124. (PL)

ENVIRONMENTAL RESOURCES DIVISION

65. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused or recycled, Developer shall complete and submit a "City of Oxnard C&D Environmental Resources Management & Recycling Plan" ("Plan") to the City for review and approval. The Plan shall provide that at least 50% of the waste generated on the project be diverted from the landfill. The Plan shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The Plan shall be submitted to and approved by the Environmental Resources Division prior to issuance of a building permit. The Plan shall include the following information: material type to be recycled, reused, salvaged or disposed; estimated quantities to be processed; management method used; destination of material including the hauler name and facility location. Developer shall use the Plan form.
66. Developer shall follow the approved "City of Oxnard C&D Environmental Resources Management & Recycling Plan" and provide for the collection, recycling, and/or reuse of materials (i.e., concrete, wood, metal, cardboard, green waste, etc.) and document results during construction and/or demolition of the proposed project. After completion of demolition and/or construction, Developer shall complete and submit the "City of Oxnard C&D Environmental Resources Management & Recycling Report For Work Completed" ("Work Completed Report") and provide legible copies of weight tickets, receipts, or invoices for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, Developer shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused, and the project generating the discarded materials. Developer shall submit and obtain approval of the Work Completed Report prior to issuance of a certificate of occupancy.
67. Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Environmental Resources Division or Developer shall arrange for self-hauling to an authorized facility.

68. Developer shall make provisions to divert at least 50% of the waste material generated during occupancy through source reduction, recycling, reuse, and green waste programs. Developer shall complete and submit a “City of Oxnard C&D Environmental Resources Management & Recycling Occupancy Plan” (“Occupancy Plan”) to the City’s Environmental Resources Division. An Occupancy Plan must be submitted and approved prior to issuance of a certificate of occupancy. A “City of Oxnard C&D Environmental Resources Management & Recycling Occupancy Report” shall be submitted to the Environmental Resources Division annually on the anniversary date of the certificate of occupancy for approval.
69. Developer shall dispose of sewage and solid waste from the project by City’s wastewater and solid waste systems in a manner approved by the City Engineer.

DEVELOPMENT SERVICES DIVISION STANDARD CONDITIONS

70. Developer shall pay plan check and processing fees in effect at the time of construction plan submittal and shall pay development fees, encroachment permit fees, and other applicable fees in effect at the time the City issues building permits. (DS-1)
71. Developer’s Engineer shall design parking lot structural sections based on an analysis of the soils R-value and a traffic index (T.I.) approved by the City Engineer. The minimum structural section for parking lots is two inches of asphalt on four inches of base material. Developer shall show the proposed structural section on the site improvement plans. (DS-2)
72. Developer shall have the site improvement plans prepared on standard Development Services Division mylar by a civil engineer licensed in the State of California. The plans shall incorporate recommendations from soil engineering and geology reports. Prior to issuance of a grading permit, improvement plans must be approved by the City Engineer and the original ink-on-mylar plans filed with the Development Services Division. (DS-3)
73. Developer shall submit improvement plans and drainage calculations that demonstrate that storm drainage from the project property and all upstream areas will be safely conveyed to an approved drainage facility. The design and conveyance route shall be compatible with the City’s Master Plan of Drainage and shall be approved by the City Engineer prior to approval of improvement plans. (DS-4)
74. Developer shall protect building pads from inundation during a 100-year storm. (DS-5)
75. Developer shall remove and replace all improvements that are damaged during construction. (DS-6)
76. Before connecting the project to existing sewer and water service laterals, Developer shall arrange for City staff to inspect such facilities. Developer shall make such repairs to such facilities as City staff determines to be necessary. Developer shall bring all existing water services into compliance with City standards. (DS-7)

77. Each structure shall be served by separate sewer and water services. There shall be no interconnections between structures. (DS-8)
78. Developer shall enter into an agreement, approved as to form by the City Attorney, to install and construct all public improvements required by this permit and by the City Code and shall post security satisfactory to the Finance Director, guaranteeing the installation and construction of all required improvements within the time period specified in the agreement or any approved time extension. (DS-14)
79. A civil engineer licensed in the State of California shall prepare the public improvement plans and documents for this project in accordance with City standards and shall submit all such plans to the City Engineer. Such plans and documents shall include, but not be limited to, grading, street, drainage, sewer, water and other appurtenant improvement plans; a master utility plan showing the layout and location of all on-site and off-site utility improvements that serve the project; construction cost estimates, soils reports, and all pertinent engineering design calculations. City will not accept an application for the final map or parcel map for the project or issue a grading, site improvement or building permit until the City Engineer has approved all improvement plans. (DS-15)
80. Prior to issuance of a site improvement permit, Developer shall provide to the Development Services Division a compact Disc (CD) containing digital copies of the final subdivision map, address map, and civil improvements drawings in DWG format. Prior to improvement bond release, Developer shall provide an updated CD containing all changes that occur during construction. (DS-16)
81. Developer shall provide all necessary easements for streets, highways, alleys, sidewalks, breezeways, parkways, landscaping, utilities, drainage facilities, and other improvements as required by City. If such easements cannot be obtained from the property owner by negotiation, City may acquire them at the expense of Developer by exercise of the power of eminent domain. Developer shall bear all costs of eminent domain proceedings, including appraisal, acquisition, attorney's fees, and court costs. Before City issues a site improvement permit, Developer shall dedicate all required easements to City. (DS-19)
82. Developer shall remove graffiti from the project, including graffiti on offsite public infrastructure under construction by Developer, within 24 hours of its appearance. If Developer fails to remove graffiti in accordance with this condition, the City may at the discretion of the Development Services Manager issue a stop work order until such time as the graffiti is removed. (DS-20)
83. The conditions of this resolution shall prevail over all omissions, conflicting notations, specifications, dimensions, typical sections, and the like, that may or may not be shown on the improvement plans. (DS-21)
84. Developer shall pay the cost of all inspections of on-site and off-site improvements. (DS-22)

85. Developer shall be responsible for all project-related actions of Developer's employees, contractors, subcontractors, and agents until City accepts the improvements. (DS-23)
86. Prior to beginning construction, Developer shall designate in writing an authorized agent who shall have complete authority to represent and to act for Developer. The authorized agent shall be present at the work site whenever work is in progress. Developer or the authorized agent shall make arrangements acceptable to City for any emergency work. When City gives orders to the authorized agent to do work required for the convenience and safety of the general public because of inclement weather or any other cause, and the orders are not immediately acted upon by the authorized agent, City may do or have such work done by others at Developer's expense. (DS-24)
87. "Standard Specifications for Public Works Construction," latest edition, and any modifications thereto by City, and City of Oxnard Standard Land Development Specifications and all applicable City Standard Plans, shall be the project specifications, except as noted otherwise on the approved improvement plans. City reserves the right to upgrade, add to, or revise these specifications and plans and all other City ordinances, policies, and standards. If the improvements required of this project are not completed within 12 months from the date of City's approval of the improvement plans, Developer shall comply with and conform to any and all upgraded, additional or revised specifications, plans, ordinances, policies and standards. (DS-27)
88. Developer shall retain a Civil Engineer licensed in the State of California to ensure that the construction work conforms to the approved improvement plans and specifications and to provide certified "as-built" plans after project completion. Developer's submittal of the certified "as-built" plans is a condition of City's final acceptance of the project. (DS-29)
89. All grading shall conform to City's grading ordinance and any recommendations of Developer's soils engineer that have been approved by the City Engineer. Developer shall conform to all applicable notes specified on the site improvement/grading plan cover sheet and grading permit. (DS-30)
90. Prior to issuance of a site improvement permit, Developer shall provide to the City Engineer easements or written consents from all affected landowners for any diversion of historical flows or change in drainage conditions caused by the project, as evidence that such landowners accept any additional water flowing over their property. (DS-36)
91. Prior to issuance of building permits, Developer shall present to the City Engineer a "Proof of Payment - Authorization for Building Permits" form issued by the Calleguas Municipal Water District. (DS-44)
92. Developer shall install City approved backflow prevention devices for water connections if so ordered by the City Engineer. (DS-45)

93. Developer shall submit a landscape irrigation plan prepared by a licensed professional, showing proper water meter size, backflow prevention devices, and cross-connection control. (DS-59)
94. Developer shall be responsible for and bear the cost of replacement of all existing survey monumentation (e.g., property corners) disturbed or destroyed during construction, and shall file appropriate records with the Ventura County Surveyor's Office. (DS-64)
95. Developer shall provide adequate vehicle sight distance as specified by CalTrans specifications at all driveways and intersections. (TR-71)
96. Developer shall install bike racks in accordance with City standards at locations approved by City Traffic Engineer. (TR-73)

STORMWATER QUALITY CONDITIONS

97. Developer shall construct double-bin trash enclosures (one bin for recycle use) with a solid non-combustible roof (8-foot minimum clearance) that prevents stormwater from entering the refuse bins. Developer shall construct all other components of the trash enclosure in accordance with the approved City Standard Plan on file with the Development Services Division. Developer shall finish the trash enclosure to match the major design elements of the main structure. The finish and roof appearance shall be indicated on the building plans and are subject to approval by the Planning Division. The location and configuration of trash enclosures shall be reviewed and approved by the Environmental Resources Division. All refuse bins on the site shall be stored in an approved trash enclosure. No objects other than refuse bins may be stored in the trash enclosure without the written permission of the Environmental Resources Division. (DS-79)

DEVELOPMENT SERVICES DIVISION SPECIAL CONDITIONS

98. Developer shall dedicate approximately 17 feet of right-of-way along the Ventura Road frontage of the property to accommodate future widening. The dedication shall extend along the entire frontage and shall not have an angle point as is currently indicated on the site plan. (DS)
99. Developer shall dedicate approximately 4 feet of right-of-way along the Gonzales Road frontage of the property to accommodate future widening. Dedication shall include sufficient right-of-way at the intersection to construct a standard disabled access ramp at the intersection when the widening is constructed. (DS)
100. Developer shall construct proposed walkway that connects the public sidewalk to the building entrance of colored enhanced concrete where it is not separated from vehicular areas by a curb. The concrete color shall contrast in color with the adjacent pavement to clearly identify the pedestrian area. (DS)

101. Developer shall construct a concrete apron along the length of the trash enclosure opening that extends a minimum of 15 feet from the face of the enclosure. (DS)
102. This project has been determined to not meet the definition of “Redevelopment” under the 2011 Technical Guidance Manual for Stormwater Quality Control Measures based on the Project Analysis report prepared by the G4 Group dated October 21, 2011. This report shall be updated by the Developer if the assumptions used in preparation of the report change during the construction permitting process. If the Development Services Manager determines that project changes result in the project meeting the definition of “Redevelopment” based on the revised report, Developer shall provide stormwater mitigations as required by the 2010 MS4 stormwater quality permit. (DS)
103. Developer shall design and construct proposed porous concrete pavement in conformance with the 2011 Ventura County Technical Guidance Manual for Stormwater Quality Control Measures “INF-5: Permeable Pavement” standard unless a specific variance is approved by the Development Services Manager. (DS)
104. Developer shall provide site specific analysis and recommendations from a geotechnical engineer for design and implementation of proposed porous concrete pavement and infiltration trenches. Geotechnical Engineering analysis and recommendations shall include, but not necessarily be limited to, determination of site soil infiltration rates, depth to permeable soil layers, methods to reach permeable soil layers, and appropriate compaction rates. Design plans shall implement approved design recommendations. (DS)
105. Developer shall construct all under sidewalk drains in accordance with City Standard Plates or as approved by the Development Services Manager. (DS)
106. Developer acknowledges that at some future date Gonzales Road will be widened along the project frontage. Developer also acknowledges and agrees not to object to the modifications and conversion of the westerly driveway along Gonzales Road from two-way traffic to one-way in only to accommodate this future widening. (TR)

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 3rd day of May 2012, by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

Anthony R. Murguia, Chair

ATTEST: _____
Susan L. Martin, Secretary