



Planning Division

PLANNING COMMISSION STAFF REPORT

TO: Planning Commission
FROM: Winston Wright, Associate Planner
DATE: November 20, 2008

SUBJECT: Planning and Zoning Permit Nos. 07-620-06 (General Plan Amendment); 07-630-04 (Northeast Community Specific Plan Amendment); 07-570-05 (Zone Change); 07-300-15 (Tentative Subdivision Map for Tract No. 5768); and 07-500-15 (Special Use Permit) for the Rose Ranch Commercial Project Located at the Southwest Corner of the Rose Avenue and Gonzales Road Intersection.

1) Recommendation: That the Planning Commission:

- a) Adopt a resolution certifying the Final Subsequent Environmental Impact Report prepared for the Rose Ranch Commercial Project (EIR 08-02/SCH #2003051045), subject to certain findings and conditions; and
- b) Adopt a resolution recommending that the City Council approve Planning and Zoning Permit No. 07-620-06 for a General Plan Amendment, subject to certain findings and conditions; and
- c) Adopt a resolution recommending that the City Council approve Planning and Zoning Permit No. 07-630-04 for a Specific Plan Amendment, subject to certain findings and conditions; and
- d) Adopt a resolution recommending that the City Council approve Planning and Zoning Permit No. 07-570-05 for a Zone Change, subject to certain findings and conditions.
- e) Adopt a resolution recommending that the City Council approve Planning and Zoning Permit No. 07-300-15 for Tentative Subdivision Map for Tract No. 5768, subject to certain findings and conditions; and
- f) Adopt a resolution approving Planning and Zoning Permit No. 07-500-15 for a Special Use Permit, subject to certain findings and conditions.

2) Project Description and Applicant: The proposed Rose Ranch Commercial Project involves the construction of 77,697 square feet of retail and commercial space in 10 single-story buildings on a vacant 9.89 acre property located on the southwest corner of the Rose Avenue and Gonzales Road intersection. The proposed shopping center would be anchored by a *Fresh and Easy Neighborhood Market* (13,935 square feet) and a *Walgreens* (14,820 square foot) with a drive-through pharmacy. Additionally, the project proposes a 7,035 square foot restaurant space, a 4,928 square foot bank, and 36,979 square feet of multi-tenant

specialty retail space. The General Plan and Northeast Community Specific Plan Amendments are requested to change the land use designation from Low-Medium Residential (8-12 dwelling units/acre) to General Commercial. The Zone Change would adjust the current zoning from Multi-Family Residential Planned Development (R2-PD) to General Commercial Planned Development (C2-PD). The Tentative Subdivision Map is requested to divide the site into ten parcels. The Special Use Permit would entitle the development with the use of a drive-through pharmacy at the *Walgreens* and allow the general sale of alcohol for off-site consumption (ABC Type 21) in both the *Fresh and Easy Neighborhood Market* and the *Walgreens*. A subsequent environmental impact report (EIR No. 08-02) has been prepared for the proposed project and its certification will also be considered. Filed by Parkstone Companies, on behalf of the owner John McGrath Family Partnership, 860 E. Hampshire Road, Suite U, Westlake Village, CA 91361.

- 3) **Existing & Surrounding Land Uses:** The 9.89 acre property is vacant with the exception of a water well which remains from past agricultural use.

LOCATION	ZONING	GENERAL PLAN	EXISTING LAND USE
Project Site	Multi-family Planned Development (R2-PD)	Residential Low-Medium (8-12 DU/Acre)	Vacant
North	Business Research Park (BRP)	Specialized Commercial	<i>Shopping at the Rose</i> (freeway oriented commercial retail)
South	Multi-family Planned Development (R2-PD)	Residential Low-Medium (8-12 DU/Acre)	Single-family residences
East	Business Research Park (BRP)	Public/Semi Public Facility	<i>St. John's Regional Hospital</i>
West	Multi-family Planned Development (R2-PD)	Residential Low-Medium (8-12 DU/Acre)	Single-family residences

- 4) **Background Information:** The project site is part of the Northeast Community Specific Plan (NECSP) and is currently designated for Residential Low-Medium uses (8-12 dwelling units per acre). The NECSP was adopted on February 8, 1994 by the City Council via Resolution 10,684. Since its adoption the specific plan has undergone five amendments.

Amendment No. 3, known as the Daily Ranch project, was adopted by the City Council on September 25, 2001 via Resolution No. 12,035. Daily Ranch included the development of 15 acres of land designated by the NECSP for General Commercial use with a residential overlay of 155 dwelling units. This 15 acre area is the only land designated for General Commercial in the NECSP. The only other commercially designated property within the NECSP still having potential for commercial uses is a six acre area at the northeastern corner of Camino del Sol and Rose Avenue (designated as Neighborhood Commercial), however this property is under a Williamson Act Contract (agricultural preserve) and is not annexed into the City of Oxnard.

On September 18, 2007, the City Council reviewed the project through a pre-application and gave initial comments. The City Council generally supported a center comprised of neighborhood serving uses as an appropriate use for the site, and noted that a commercial project could reduce cross-town traffic in the predominately residential NECSP. Additional review of proposed setbacks and an analysis of traffic impacts to Rose Avenue and Gonzales Road were requested of staff.

- 5) Environmental Determination:** The proposed development is subject to review in accordance with the California Environmental Quality Act (CEQA). An initial study was prepared for the Rose Ranch Shopping Center to analyze potentially significant adverse environmental effects of the proposed project. Eleven areas of concern were identified as potentially being affected: aesthetics, air quality, hazards & hazardous materials, hydrology & water quality, land use & planning, noise, population & housing, public services, recreation, transportation & traffic, and utilities & service systems. Based on the characteristics of the project, the City determined that a project environmental impact report should be prepared.

A Notice of Preparation of a Draft Subsequent Environmental Impact Report (DSEIR) was distributed to Responsible and Trustee Agencies on January 4, 2008. Areas of concern as indicated in agency responses to the Notice of Preparation include the following:

- 1) Hydrology and water quality relative to the quantity and quality of runoff pursuant to concerns of the Ventura County Watershed Protection District.
- 2) Railroad Safety at the Gonzales Road and Rose Avenue at-grade crossings pursuant to concerns of the Public Utilities Commission.
- 3) Traffic impacts to Ventura County's Regional Road Network pursuant to concerns of the Ventura County Public Works Agency.
- 4) Air Quality analysis and identification of impacts relative to ozone precursors and carbon monoxide pursuant to the concerns of the Ventura County Air Pollution Control District.
- 5) Bus stop placement and development pursuant to the concerns of Gold Coast Transit.
- 6) Traffic impacts and mitigation measures pursuant to the concerns of Caltrans.

On July 18, 2008, DSEIR for the Rose Ranch Commercial Project (EIR No. 08-02/SCH No. 2003051045) was made available for public review. On August 21, 2008, the DSEIR was presented to the Planning Commission at a public hearing. The public review period lasted 48 days and ended on September 4, 2008. In a letter dated September 3, 2008, the Governor's Office of Planning and Research acknowledged that the City complied with the State Clearinghouse review requirements for draft environmental documents and indicated that no state agencies submitted comments.

The City received five comment letters on the DSEIR from other agencies. Three of the five letters are from agencies that concur with the DSEIR findings. Two letters were received from agencies asking for clarification: 1) The Ventura County Transportation Department requested the analysis to address specific impacts on County roadways; and 2) the Ventura County Engineering Services wanted an analysis on soil liquefaction. Responses to all written

comments and a response to the comments made by the Planning Commission at the August 21, 2008 public hearing are in Section 8.0 of the Final Subsequent Impact Report for the Rose Ranch Commercial Project (EIR 08-02/SCH #2003051045).

6) Analysis:

- a) **General Discussion:** The Program EIR prepared for the NECSP in 1993, adequately addressed the cumulative impacts for the build-out of the NECSP. The NECSP EIR determined that the adverse environmental impacts caused by the build-out of the NECSP could be mitigated to a level that would be less than significant. Furthermore, it was determined that the City of Oxnard could provide sufficient services and that the City's infrastructure was adequate to accommodate the build-out of the NECSP. This is important because the Rose Ranch Commercial Project would not intensify the commercial land uses beyond what was already anticipated in the NECSP.

The fifteen acres of land designated by the NECSP for General Commercial was developed with 155 dwelling units (Daily Ranch). The Rose Ranch Commercial Project proposes to amend the NECSP in order to convert 10 acres from Residential Low-Medium uses to General Commercial. This would reduce the residential build-out of the NECSP by 118 dwellings units and reestablish the balance of commercial services within the NECSP that was initially anticipated. Therefore, the project would be a job-generating use, rather than a population-generating use, and would avoid an increase in population growth that would occur if the project site were built out in accordance with the existing 2020 General Plan and the NECSP land use designations.

The Final Subsequent Environmental Impact Report prepared for the project (EIR 08-02) notes that the project would have a beneficial impact by providing 188 jobs that would be filled by local residents rather than commuters. While the project may have localized traffic impacts caused by users of the center entering the project site, it would provide relief to the regional roadway system by providing local services and jobs, thereby reducing the trip distance required for shopping and employment. Additionally, the project would provide improvements to the Gonzales Road/Rose Avenue intersection that would mitigate the localized traffic impact caused by the project to a less than significant level.

- b) **Northeast Community Specific Plan Compliance:** The goals of the NECSP include the following: 1) encourage neighborhood interaction; 2) provide a balanced mix of uses; 3) provide a balanced mix of housing and employment opportunities; 4) ensure that public facilities, social services, and human services are available to serve the community; 5) provide a pedestrian-oriented environment; 6) blend the NECSP into the adjacent communities; 7) ensure project compatibility with adjacent communities; 8) provide a positive fiscal impact to the City of Oxnard; 9) provide a mix of housing to serve market demand and to address affordable housing; and 10) develop a model community with an emphasis on energy efficiency, environmental quality, and sustainability. The Rose Ranch Commercial Project corresponds to all of the NECSP goals.

The proposed project adequately addresses automobile circulation and surpasses the parking requirements of the City Code; the project also provides two improved public bus stops, improved public sidewalks in the Gonzales and Rose right-of-ways, a new sidewalk connection to the West Village Neighborhood at the southeast corner of the project site, and a new pedestrian/bicycle path connection to the West Village Neighborhood at the southwest corner of the project site. The Rose Ranch Shopping Center would provide commercial services desired by the community, 188 jobs, and two transit stops within convenient walking distance of residential areas (Community Principal Nos. 1, 2, 3, & 5). By providing job generating uses and commercial services the project reduces long distance commuting and, with the addition of a new transit stop, relieves congestion on regional roadways. By directing vehicles to Gonzales Road and Rose Avenue and providing pedestrian and bicycle connections to the West Village Neighborhood, the project discourages high speed through traffic in the adjacent community and promotes neighborhood cohesiveness by providing safe areas to walk and ride a bike, thereby encouraging neighbor interaction (Objective No.1 and Community Principal No. 11). By providing outdoor plazas and seating places the Rose Ranch Commercial Project also draws the attention and presence of people by making attractive gathering places available to the public. In turn, this limits traffic impacts, reduces air pollution, and promotes energy efficiency. By providing neighborhood services, local economic opportunities, improved public bus stops, and public gathering places within convenient walking distance to residential areas the Rose Ranch Commercial Project complies with the goals and objectives of NECSP.

c) General Plan Consistency:

POLICY	DISCUSSION
<p><i>Commercial Land Uses (page V-54): 'The primary measure for regulating the intensity of development of nonresidential uses is the floor area ratio (FAR) shown in Table V-10 for each category of nonresidential use. The FAR is defined as the ratio of gross leasable floor area of structures on a particular parcel to the total gross land of the parcel on which the structures are located. Table V-10 recommends a FAR of .30:1 for the General Commercial designation.'</i></p>	<p>According to the 2020 General Plan, one can anticipate that the leasable floor area of a commercial project on a General Commercial designated parcel would equal 30 percent of the total gross land area of that parcel. In other words, one could expect that a commercial project on a 9.89 acre parcel designated General Commercial would have 129,000 square feet of leasable floor area. The FAR of the Rose Ranch Shopping Center is 18 percent. If the land use designation is amended to allow General Commercial uses on the subject site, the Rose Ranch Shopping Center would be 40 percent less intense than what the 2020 General Plan anticipates for a parcel of similar size.</p>
<p><i>Circulation Element Policy #28 (page VI-26) states that "The City shall require the installation of sidewalks with all new roadway construction and significant reconstruction of existing roadways."</i></p> <p><i>Circulation Element Policy #31 (page VI-27) states that "Pedestrian and bicycle paths shall be constructed between employment centers and contiguous residential areas."</i></p>	<p>New sidewalks and landscape parkways are proposed in the expanded public right-of-ways along Gonzales and Rose Avenue. A new sidewalk connection is proposed at the southeast corner of the project site and a new bicycle/pedestrian connection is proposed at the southwest corner of the project site. These connections would directly connect the West Village Neighborhood to the Rose Ranch Shopping Center.</p>

Zoning Standards			
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Parking lot landscape strip adjacent to public street [Sec. 16-641(A)]	A ten-foot wide landscape strip shall be provided along the property lines parallel to any public street when the parking or circulation area abuts such street.	A landscape strip at least ten feet wide is provided along the property lines parallel to Gonzales Road and Rose Avenue when the parking or circulation area abuts these streets.	YES
Parking lot landscape fingers [Sec. 16-641(B)]	Landscape fingers required every 10 spaces.	Landscape fingers or end-planters are provided at least every 10 spaces.	YES
Peripheral parking lot landscaping [Sec. 16-641(C)]	<ul style="list-style-type: none"> • Five-foot wide landscape strip abutting property line • One tree for each 40 linear feet • Automatic irrigation 	<ul style="list-style-type: none"> • Six-foot wide landscape strip abutting property line • One tree for each 20 linear feet • Automatic irrigation 	YES
Zone Wall [Sec. 16-641(D)(3)]	A six foot tall masonry wall should separate project from residentially zoned property.	A six foot tall masonry wall separates the project from the residential area to the west and south	YES
Loading [Sec. 16-644]	Three loading spaces of 12 feet wide and 40 feet long	<ul style="list-style-type: none"> • 12' W X 40' L loading area behind <i>Walgreens</i> • 12' W X 40' L loading area behind <i>Fresh and Easy</i> • 12' W X 65' L loading area behind Bldg. 9 & 10 • Three 10' W X 19' L "UPS Type" 	YES
Drive-Through [Sec. 16-647]	<ul style="list-style-type: none"> • Separated from circulation area • Distinctly marked • Pedestrian access to entrance should not cross drive-through lane 	<ul style="list-style-type: none"> • Separated from circulation area • Distinctly marked • Pedestrian access to entrance does not cross drive-through lane 	YES
Trash enclosures	In accordance with City Code, number and size to be determined by Solid Waste Division. Enclosures should be integrated into the project's design.	Trash enclosures have been designed in accordance with City Code and are designed to blend into the architectural theme of the project.	YES
Rooftop equipment	May not protrude above height of parapet.	All equipment is screened from view and setback from the edge of the parapets.	YES

Zoning Standards			
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Lighting	Theme-coordinated & decorative	Wall mounted fixtures & acorn street standards	YES
Utility Meters	Screened or integrated into building design	Utility plan provided illustrating screening	YES
Northeast Community Specific Plan Development Standards & Design Guidelines			
General Commercial [NECSP 3.2]	<ul style="list-style-type: none"> • Community level service establishments • Pedestrian level relationship to West Village Neighborhood 	<ul style="list-style-type: none"> • Community level service establishments • Pedestrian level relationship to West Village Neighborhood 	YES
Architectural Design Criteria [NECSP 4.3.3]	<ul style="list-style-type: none"> • Contemporary architecture • Pedestrian emphasis 	<ul style="list-style-type: none"> • Contemporary architecture • Pedestrian emphasis 	YES
Design Guidelines [NECSP 4.5.4]	<ul style="list-style-type: none"> • Pedestrian-oriented w/ buildings oriented to streets and public sidewalk • Parking screened from view • Compatible with adjacent residential 	<ul style="list-style-type: none"> • Pedestrian oriented w/ buildings designed to address street and public sidewalks blend into site design • Parking screened by buildings and landscaping • Not out of scale with adjacent neighborhood 	YES

e) **Site Design:** Buildings in the Rose Ranch Shopping Center are situated along the periphery of the site, with parking located mostly in the center. Sidewalks, outdoor activity areas, and landscaping ring the development with a variety of planting areas, hardscape elements, and two public art plazas. A bank building and two multi-tenant buildings are positioned along the northern property line at Gonzales Road and a multi-tenant building is sited along the eastern property line at Rose Avenue. The public sidewalk adjacent to Gonzales Road and Rose Avenue blends into the private walkways to

provide uninterrupted pedestrian access to the site between the buildings. Additionally, pedestrian walkways ring the customer parking area in the center of the site. The inner walkways run in front of the stores and range from 8 to 20 feet wide. These walkways open up into several outdoor seating areas and plazas.

The *Fresh and Easy Neighborhood Market*, the *Walgreens*, and several specialty retail tenant spaces are positioned at the southern portion of the site. A restaurant and a retail building are positioned along the western portion of the site. A six foot wall, landscaping, and a service drive buffer the adjacent residential areas to the south and west. The buildings are situated at least 100 feet from the residential lots. The perimeter zone wall has a single ten-foot wide entry at the southwest corner of the property. A path marker that is common in the NECSP area to designate community paths in the greenbelts will be located over this entrance (Condition No. 145). A new six-foot wide sidewalk will be provided at the southeast corner of the subject property where the zone wall terminates adjacent to the Rose Avenue right-of-way. The wall would help insulate the residential area from noise generated at the shopping center, while allowing pedestrian or bicycle access.

- f) **Traffic, Circulation and Parking:** The traffic study prepared for the Rose Ranch Commercial Project indicates that project generated traffic would degrade the level of service (LOS) of the Gonzales Road/Rose Avenue intersection from a LOS C to LOS D and would involve an ICU increase of 0.04. This constitutes a significant impact at this intersection. To address this, the developer will provide improvements to the Gonzales Road/Rose Avenue intersection to mitigate this impact such that the intersection will operate at a LOS C once the improvements are implemented. The operation of the Gonzales Road/Rose Avenue intersection would be improved by converting an eastbound through lane to a left-turn lane, thereby providing triple left-turns on the eastbound approach. With the triple left-turns, two through lanes, and an exclusive right-turn lane on the eastbound approach the resulting volume/capacity and level of service would be 0.63/LOS "B" during the A.M. peak hour period and 0.77/LOS "C" during the P.M. peak hour period. Impacts would not be significant at any other study area intersections.

Access to the Rose Ranch Shopping Center would be provided by a signalized driveway on Gonzales Road and two un-signalized driveways on Rose Avenue. The Gonzales driveway, located opposite of the *WalMart* and *Shopping at the Rose*, would allow left-turns inbound, right-turns in and right-turns out. The Rose Avenue driveways will allow right-turns in and right-turns out only. Due to the existing medians on Gonzales Road and Rose Avenue left-turns outbound would not be allowed.

A signal would be added to the Gonzales Road driveway to prevent westbound left-turn traffic entering the site from extending out of the turn pocket and blocking the through lanes. The signal would also resolve the eastbound left-turn traffic entering *Shopping at the Rose* which often blocks the eastbound through lanes on Gonzales Road. The project was analyzed with and without the traffic signal. With the appropriate signal timing, coordination between three adjacent signals (Snow/Gonzales, proposed driveway/Gonzales, and Rose/Gonzales) can be implemented such that there is little interruption for traffic flow going eastbound and westbound on Gonzales Road.

The driveway on Rose Avenue near the southern boundary of the site provides access to an employee parking area and loading areas for the *Fresh and Easy Neighborhood Market*, the *Walgreens*, and the restaurant. By utilizing this driveway, delivery vehicles serving the *Fresh and Easy Neighborhood Market*, the *Walgreens*, and the restaurant can be separated from the central customer parking areas.

The project proposes 362 parking spaces of which 71 spaces are designated for employees. Customer parking is located in the center of the site and employee parking is located at the southwestern corner of the property. The Association managing the shopping center will require that tenant businesses direct employees to park in this area.

- g) Building Design:** The project architecture is contemporary in nature with large glass storefronts facing the adjacent roadways and the inner pedestrian areas. Wall treatments include smooth plaster finishes, a variety of cladding types, tile, brick and colored sheet metal. Each building has a unique color combination and finishing details. Every tenant space has a canopy at the entrance to tie the buildings together, yet the canopies vary in depth. The style of the buildings is coordinated; however, each building is distinct in order to give a sense that the buildings were constructed over a period of time. For instance, the bank building has a red brick façade and the restaurant has jade colored wall cladding with slate texture.

The rooflines of the buildings vary in height. Parapets are added to screen equipment and add interest. The buildings undulate in depth to break up massing and to accentuate entries, seating alcoves, and landscape areas. An effort was made to provide interest to each side of the buildings. Landscape green screens and landscape planters are added in front of walls that would otherwise be blank. Glass store fronts, eaves, and plazas areas were added the street side of the project so that the project would not turn its back to the passing public. The buildings are pushed to the edge of the setback requirement along Gonzales Road and Rose Avenue with walkways, plazas, and seating added, instead of landscaping, in order to create "an urban scene" and pedestrian engagement.

- h) Signs:** The NECSP requires a master sign program to be approved for all commercial developments. The specific plan calls for pedestrian-oriented signage which may include directories, information kiosks, under arcade signs, and building signs. The sign program proposed with this project includes a variety of recommend fonts and colors that are compatible with the building (See ATTACHMENT C). In addition, the architect took care to design a sign program with quality standards and placement requirements that add interest to tenant spaces without detracting from the buildings' architecture. Future signs shall comply with the provisions of the City Code and the proposed Rose Ranch sign program.
- i) Landscaping and Open Space:** As designed, the project exceeds the City's landscape requirements. The NECSP Streetscape Guidelines require 36" box-size *Magnolia grandiflora* trees to be planted every 30 feet along Gonzales Road and Rose Avenue (NECSP 5.5.3). The project meets this requirement. A minimum ten-foot wide landscape strip shall be provided along the property lines parallel to any public street when the parking area abuts such street and five percent of the parking area shall be landscaped [16-641(A)]. The project exceeds these requirements by providing a 15-foot wide landscape strip adjacent to Gonzales Road and Rose Avenue where the parking area abuts these streets and 16 percent of the parking area is landscaped. For every ten spaces in a single-loaded parking bay row, at least one perpendicular landscape planter shall be provided, having a minimum dimension of 9 feet by 19 feet [16-641(B)]. The project exceeds this requirement by providing more than the required finger planters. For every 20 parking spaces in double-loaded parking spaces at least one landscape planter shall be provided, having minimum dimensions of 9 feet by 40 feet [Sec. 16-641(B)]. The project exceeds this requirement by placing additional planter areas in the center of customer parking area that includes an advance water filtration system. For commercial projects, a five foot landscape strip between the parking area and the abutting property line shall be provided with at least one tree planted every forty feet [Sec. 16-641(C)]. The project exceeds this requirement by providing a six foot landscape strip along the southern and western property lines with a tree planted every 35 feet. Where the left turn pocket on Gonzales Road impacts the mature palms in the median, the palms will be relocated to the terminus of Terronez Place at Gonzales Road immediately adjacent to the site or within a different median along Gonzales Road (Condition No. 24).
- j) Green Building:** The project architect and applicant designed the project with numerous green building features:
- i) All of the buildings feature a higher glazing area for natural light, thereby reducing artificial lighting needs and eliminating the heat gain from that artificial lighting;
 - ii) The roof overhangs and canopies provided on the buildings reduce direct sunlight and heat gain, thereby reducing air conditioning needs;
 - iii) Where canopies occur at transom windows, they will reflect natural daylight in to the spaces (known as light shelves), reducing artificial lighting requirements, heat gain from lighting and reduce energy consumption;

- iv) Many of the materials used for construction contain a high recycle content and in turn can be recycled themselves (sheet metal, recycled glass insulation, fiber cement cladding, steel columns and steel beams);
- v) Dual paneled windows with low "e" film reduce heat gain and reduce air conditioning needs;
- vi) "Cool roof" over tenant spaces to reflect heat away from interior and foil faced roof sheathing to reduce heat gain to reduce air conditioning needs;
- vii) High efficiency HVAC (EnergyStar certified) with economizers to take advantage of cooler temperate climate in Oxnard and reduce electricity demand;
- viii) Operable windows for cross-ventilation and operable skylights to exhaust rising hot air to reduce air conditioning needs;
- ix) Advanced site water filtration and percolation to minimize run-off pollution into storm water system;
- x) Low flow drip irrigation landscape irrigation system and drought tolerant and/or native plant species to minimize irrigation demand;
- xi) Low & no VOC paints, sealers, adhesives, and formaldehyde free insulation to promote indoor air quality;
- xii) Ultra low flow plumbing fixtures and tankless water heaters to reduce water and gas needs; and
- xiii) High efficiency compact fluorescent and LED lighting for interior and exterior spaces.

In addition to these features, the applicant has agreed to exceed Title 24, California's Energy Efficiency Standards, by at least 15% via a performance-based computer analysis (Condition No 101).

- 7) Development Advisory Committee:** The Development Advisory Committee (DAC) reviewed this project on February 13, 2008 and April 23, 2008. After each DAC meeting the project was refined to address DAC member concerns. Recommendations of the DAC are included in the attached resolution(s).
- 8) Police Report Conclusion Related to General Alcohol Sale:** The statistical analysis shows the area to have a crime rate that is much higher than the city-wide average (138%) but that many of the incidents are attributed to calls at St. John's Hospital and not necessarily a true indicator of the problems in the area. When the crime rate was calculated without including the reported events at St. John's, the average crime rate drops to approximately 50% above the citywide average. Theft-related events nearby are of some concern but the area is generally not considered to be a policing problem. Properly regulated, the addition of the Off-Sale businesses is not likely to aggravate existing police problems.

There are no similar uses within 350 feet of the proposed site (other than to each other) and no existing issue of undue concentration by local standards. The guidelines for the Department of Alcoholic Beverage Control (ABC) use census tract populations to determine the "allowable" number of alcohol outlets in a particular census tract. In this case, there is no undue concentration by state standards.

The primary concerns are having two similar outlets so near to each other and the relatively close proximity to Pacifica High School. The Police Department believes that the potential negative impacts of this use can be effectively mitigated through the adoption of all of the standard and special conditions of operation detailed in the attached Planning Commission resolution. It is the experience of the Police Department that similar uses, when responsibly operated and adequately conditioned, do not typically increase policing problems.

- 9) Community Workshop:** On May 8, 2008, the applicant mailed notices of the Community Workshop to all property owners within the West Village, East Village, and Rio Lindo Neighborhoods. The applicant also posted a notice on the project site with a brief description of the project and contact information. The Community Workshop was conducted on May 19, 2008. Five community members attended the workshop in order to get information about the Rose Ranch Shopping Center. Four of the attendees indicated strong support for the project as it would provide needed services to the area. One attendee was concerned about the amount of traffic the project would produce and was concerned that Pacifica High School students might congregate at the shopping center and create a nuisance.
- 10) Appeal Procedure:** In accordance with Section 16-545 of the City Code, the Planning Commission's action may be appealed to the City Council not later than 18 days after the decision date. Appeal forms may be obtained from the City Clerk and must be submitted with the appropriate fees before the end of the appeal period.

Attachments:

- A. Maps (Vicinity, General Plan, Zoning)
- B. Reduced Project Plans
- C. Master Sign Program
- D. Police Report and Conditions
- E. Final Subsequent Environmental Impact Report (EIR 08-02/SCH#2003051045)
- F. Resolutions

Prepared by: WW
WW

Approved by: SM
SM

Attachment A: Maps



Oxnard Planning
May 13, 2008

PZ 07-500-15, 07-300-12,
07-620-06, 07-570-05, 07-630-04
Location: SW Corner of Rose Av & Gonzales Rd
APN: 215006112
Rose Ranch Shopping Center
Parkstone Companies

0 45 90 180 270 360 Feet

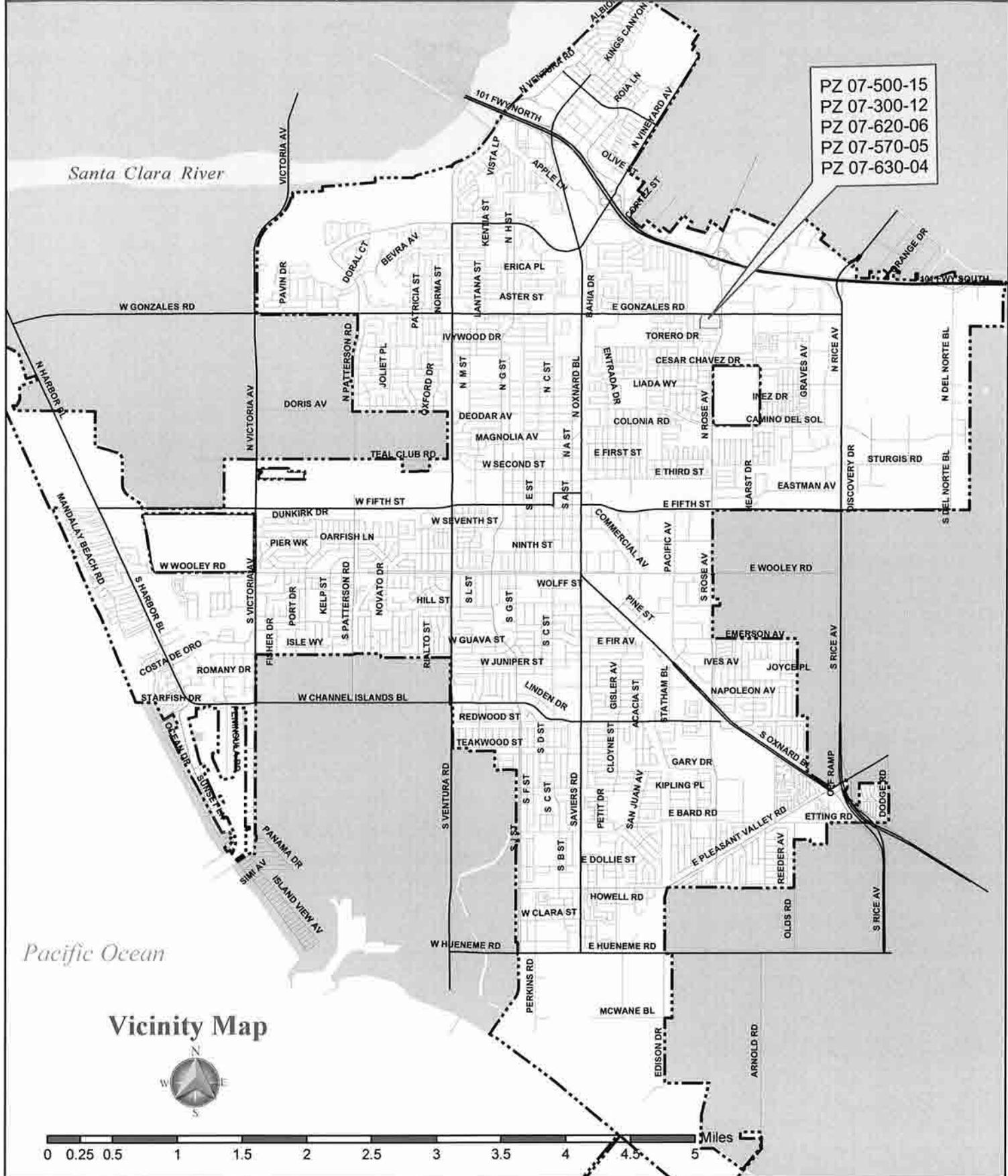
Aerial Map

2003 Aerial



1:2,589

PZ 07-500-15
 PZ 07-300-12
 PZ 07-620-06
 PZ 07-570-05
 PZ 07-630-04

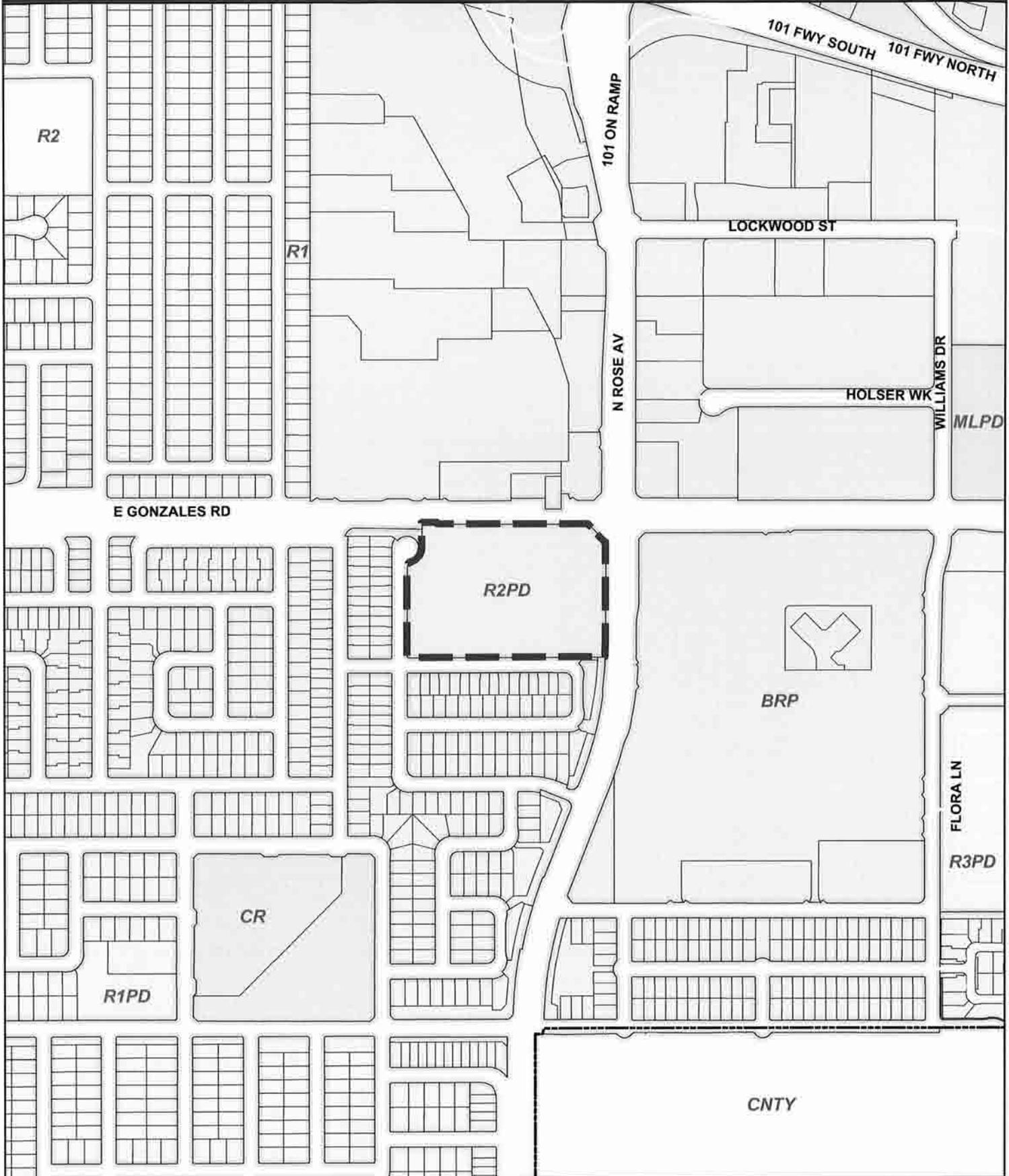


Vicinity Map



PZ 07-500-15, 07-300-12,
 07-620-06, 07-570-05, 07-630-04
 Location: SW Corner of Rose Av & Gonzales Rd
 APN: 215006112
 Rose Ranch Shopping Center
 Parkstone Companies

Zone Map



PZ 07-500-15, 07-300-12,
07-620-06, 07-570-05, 07-630-04
Location: SW Corner of Rose Av & Gonzales Rd
APN: 215006112
Rose Ranch Shopping Center
Parkstone Companies

0 125 250 500 750 1,000 Feet

Zone Map



General Plan Map



PZ 07-500-15, 07-300-12,
07-620-06, 07-570-05, 07-630-04
Location: SW Corner of Rose Av & Gonzales Rd
APN: 215006112
Rose Ranch Shopping Center
Parkstone Companies

0 125 250 500 750 1,000 Feet

General Plan Map



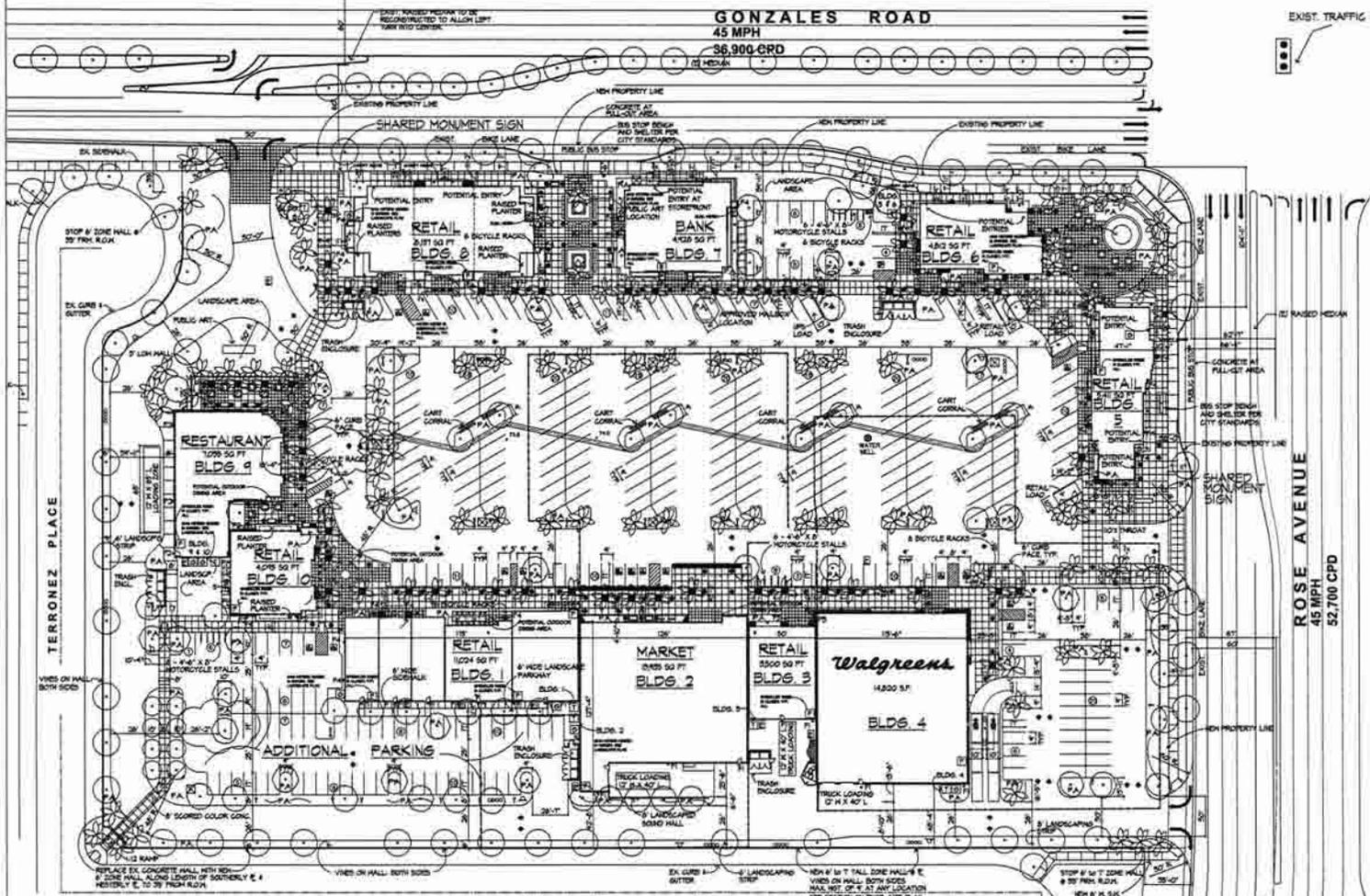
Attachment B: Plans

ADJACENT COMMERCIAL

SERVICE STATION

GONZALES ROAD
45 MPH
36,900 CPD

EXIST. TRAFFIC



Area Summary	Area
Retail Building #1	10,847/25'
Retail Building #2	13,935/25'
Retail Building #3	3,500/25'
Retail Building #4	14,820/25'
Retail Building #5	5,411/25'
Retail Building #6	4,812/25'
Retail Building #7	4,928/25'
Retail Building #8	8,137/25'
Retail Building #9	7,035/10'
Retail Building #10	4,025/25'
Totals	77,897
Parking Required	
Parking Provided	
Building Areas	77,897
Land Area	430,570
Land to Building Ratio	6.65 to 1

VALEROSA WAY
SITE PLAN 1" = 40'-0"
REVISED 2 LINE 2008

HARDSCAPE LEGEND

- PRIMARY FIELD COLOR AT PATIO, WALKS
3/4" SQ. SAN GUT SCORE PATTERN
- DAVIS STAIN - "GOLDENHEAT" STAIN
- SECONDARY FIELD AT STORE ENTRIES & AS SHOWS
OF 3/4" SAN GUT SCORE PATTERN
- DAVIS CONCRETE STAIN - "VALATTIAN"
- ACCENT COLOR - USED IN BOTH PRIMARY
AND ACCENT AREAS
AND AT DRIVWAY ENTRIES TO THE SITE
OF 3/4" SAN GUT SCORE PATTERN
- DAVIS CONCRETE STAIN - "VINTAGE SHEER STAIN"

LEGEND

- 1 ELECTRICAL TRANSFORMER
- 2 ELECTRIC METER ONLY, PANEL, ROODE
- 3 MONITORING WELL LOCATIONS (IF POSSIBLE LOCATIONS PROPOSED)
- 4 FIRE SPRINKLER SERVICE
- 5 WATER METER, IN BARRICADE WALK AT SIDEWALK
- 6 FIRE HYDRANT
- 7 GAS METERS, HOODS, IN SWIM
- 8 FINE SPRINKLER RISK IN CLOSEST NODE OF BLDG
- 9 SEE LANDSCAPE PLAN

LIGHT FIXTURE LEGEND

- 1 WOOD OR 100MM HPS ON 12' HIGH POLE
- 2 WOOD OR 200MM HPS ON 12' HIGH POLE
- 3 HALO RECESSED CAN WITH 100W FLOOR, WITH PRESSE-LENS, TYP. ALL CANOPY OVERHANGS
- 4 WOOD WALL MOUNT BIES 4" X 10" WITH CUT OFF INDICATED BY ARCS BEHIND
- 5 300MM 2400K-70H 5-T HPS DOWNLIGHT HYDROCOAT FINISH LOCATED IN ADV. SIDEWALK
- 6 300MM 2400K-70H 5-T HPS WITH BRONZE FINISH LOCATED IN ADV. SIDEWALK
- 7 300MM 2400K-70H 5-T HPS WITH BRONZE FINISH LOCATED IN ADV. SIDEWALK
- 8 300MM 2400K-70H 5-T HPS WITH BRONZE FINISH LOCATED IN ADV. SIDEWALK
- 9 WOOD PA BOLLARD 100MM IN 5000 LENS

AREA SUMMARY

- 00025 RETAIL BLDG AREAS: 10,847 S.F.
- 00026 RETAIL, PARKING: 10,847 S.F. (250' x 250' SPACES)
- 00028 RESTAURANT BLDG AREAS: 1,025 S.F.
- 00029 RESTAURANT PARKING: 1,025 S.F. (100' x 100' SPACES)
- 00030 PARKING: 1,025 SPACES
- 00031 PARKING PROVIDED: 1,025 SPACES
- 00032 CANALS, 2 RETAIL, 2 MARKET, 2 PARKING, 2 HYDROCYCLES
- 00033 BICYCLE RACKS

ROSE RANCH SHOPPING CENTER
By Parklane Companies
11110000
11110000
11110000



FIRMITAS ARCHITECTURE & PLANNING

254 E. MAIN STREET, SUITE C
VENTURA, CA 93001
P: 005-648-2394
F: 005-648-2396
WWW.FIRMITAS-ARCH.COM

Plan Book Fixtures

BLDG	AREA	TYPE	QTY	DATE	BY
B102	AREA 1	TYPE 1	1	10/10/09	AM
B103	AREA 2	TYPE 2	2	10/10/09	AM
B104	AREA 3	TYPE 3	3	10/10/09	AM
B105	AREA 4	TYPE 4	4	10/10/09	AM
B106	AREA 5	TYPE 5	5	10/10/09	AM
B107	AREA 6	TYPE 6	6	10/10/09	AM
B108	AREA 7	TYPE 7	7	10/10/09	AM
B109	AREA 8	TYPE 8	8	10/10/09	AM
B110	AREA 9	TYPE 9	9	10/10/09	AM
B111	AREA 10	TYPE 10	10	10/10/09	AM
B112	AREA 11	TYPE 11	11	10/10/09	AM
B113	AREA 12	TYPE 12	12	10/10/09	AM
B114	AREA 13	TYPE 13	13	10/10/09	AM
B115	AREA 14	TYPE 14	14	10/10/09	AM
B116	AREA 15	TYPE 15	15	10/10/09	AM
B117	AREA 16	TYPE 16	16	10/10/09	AM
B118	AREA 17	TYPE 17	17	10/10/09	AM
B119	AREA 18	TYPE 18	18	10/10/09	AM
B120	AREA 19	TYPE 19	19	10/10/09	AM
B121	AREA 20	TYPE 20	20	10/10/09	AM
B122	AREA 21	TYPE 21	21	10/10/09	AM
B123	AREA 22	TYPE 22	22	10/10/09	AM
B124	AREA 23	TYPE 23	23	10/10/09	AM
B125	AREA 24	TYPE 24	24	10/10/09	AM
B126	AREA 25	TYPE 25	25	10/10/09	AM
B127	AREA 26	TYPE 26	26	10/10/09	AM
B128	AREA 27	TYPE 27	27	10/10/09	AM
B129	AREA 28	TYPE 28	28	10/10/09	AM
B130	AREA 29	TYPE 29	29	10/10/09	AM
B131	AREA 30	TYPE 30	30	10/10/09	AM
B132	AREA 31	TYPE 31	31	10/10/09	AM
B133	AREA 32	TYPE 32	32	10/10/09	AM
B134	AREA 33	TYPE 33	33	10/10/09	AM
B135	AREA 34	TYPE 34	34	10/10/09	AM
B136	AREA 35	TYPE 35	35	10/10/09	AM
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B144	AREA 43	TYPE 43	43	10/10/09	AM
B145	AREA 44	TYPE 44	44	10/10/09	AM
B146	AREA 45	TYPE 45	45	10/10/09	AM
B147	AREA 46	TYPE 46	46	10/10/09	AM
B148	AREA 47	TYPE 47	47	10/10/09	AM
B149	AREA 48	TYPE 48	48	10/10/09	AM
B150	AREA 49	TYPE 49	49	10/10/09	AM
B151	AREA 50	TYPE 50	50	10/10/09	AM
B152	AREA 51	TYPE 51	51	10/10/09	AM
B153	AREA 52	TYPE 52	52	10/10/09	AM
B154	AREA 53	TYPE 53	53	10/10/09	AM
B155	AREA 54	TYPE 54	54	10/10/09	AM
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B157	AREA 56	TYPE 56	56	10/10/09	AM
B158	AREA 57	TYPE 57	57	10/10/09	AM
B159	AREA 58	TYPE 58	58	10/10/09	AM
B160	AREA 59	TYPE 59	59	10/10/09	AM
B161	AREA 60	TYPE 60	60	10/10/09	AM
B162	AREA 61	TYPE 61	61	10/10/09	AM
B163	AREA 62	TYPE 62	62	10/10/09	AM
B164	AREA 63	TYPE 63	63	10/10/09	AM
B165	AREA 64	TYPE 64	64	10/10/09	AM
B166	AREA 65	TYPE 65	65	10/10/09	AM
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B171	AREA 70	TYPE 70	70	10/10/09	AM
B172	AREA 71	TYPE 71	71	10/10/09	AM
B173	AREA 72	TYPE 72	72	10/10/09	AM
B174	AREA 73	TYPE 73	73	10/10/09	AM
B175	AREA 74	TYPE 74	74	10/10/09	AM
B176	AREA 75	TYPE 75	75	10/10/09	AM
B177	AREA 76	TYPE 76	76	10/10/09	AM
B178	AREA 77	TYPE 77	77	10/10/09	AM
B179	AREA 78	TYPE 78	78	10/10/09	AM
B180	AREA 79	TYPE 79	79	10/10/09	AM
B181	AREA 80	TYPE 80	80	10/10/09	AM
B182	AREA 81	TYPE 81	81	10/10/09	AM
B183	AREA 82	TYPE 82	82	10/10/09	AM
B184	AREA 83	TYPE 83	83	10/10/09	AM
B185	AREA 84	TYPE 84	84	10/10/09	AM
B186	AREA 85	TYPE 85	85	10/10/09	AM
B187	AREA 86	TYPE 86	86	10/10/09	AM
B188	AREA 87	TYPE 87	87	10/10/09	AM
B189	AREA 88	TYPE 88	88	10/10/09	AM
B190	AREA 89	TYPE 89	89	10/10/09	AM
B191	AREA 90	TYPE 90	90	10/10/09	AM
B192	AREA 91	TYPE 91	91	10/10/09	AM
B193	AREA 92	TYPE 92	92	10/10/09	AM
B194	AREA 93	TYPE 93	93	10/10/09	AM
B195	AREA 94	TYPE 94	94	10/10/09	AM
B196	AREA 95	TYPE 95	95	10/10/09	AM
B197	AREA 96	TYPE 96	96	10/10/09	AM
B198	AREA 97	TYPE 97	97	10/10/09	AM
B199	AREA 98	TYPE 98	98	10/10/09	AM
B200	AREA 99	TYPE 99	99	10/10/09	AM
B201	AREA 100	TYPE 100	100	10/10/09	AM



FIXTURE F-1



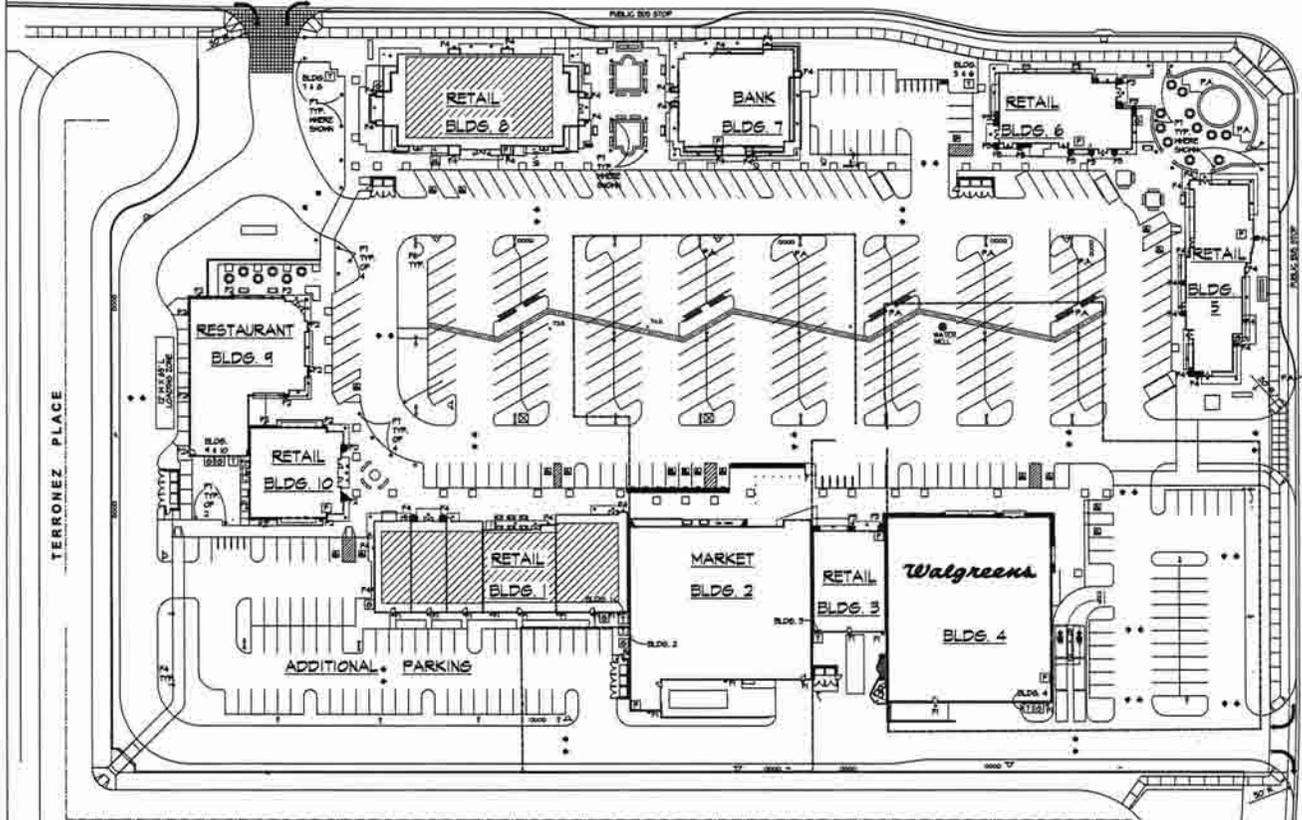
FIXTURE F-2



FIXTURE F-3



FIXTURE F-4



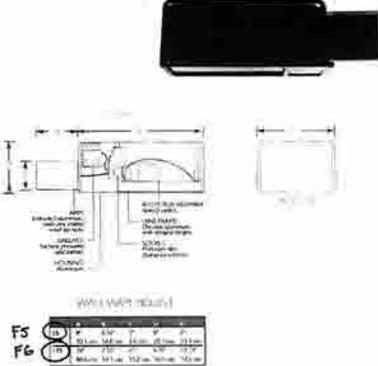
VALEROSA WAY LIGHTING PLAN
CREATED 24 APRIL 2009



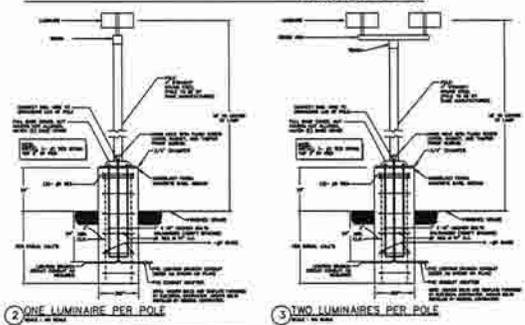
- LEGEND**
- ⊠ ELECTRICAL TRANSFORMER
 - ⊡ MONITORING WELL LOCATIONS (IF POSSIBLE LOCATIONS PROPOSED)
 - ⊞ FIRE SPRINKLER SERVICE
 - ⊟ FIRE HYDRANT
 - ⊠ ELECTRIC METER ONLY, PANEL, SERVICE
 - ⊡ POSSIBLE LOCATIONS PROPOSED
 - ⊞ WATER METER, IN SUBGRADE VAULT AT SIDEWALK
 - ⊟ GAS METER, MOUNTED IN SERVICE
 - ⊠ FIRE SPRINKLER RISER IN CLOSET NEAR END OF BLDG.
 - ⊡ LANDSCAPE PLAN

- LIGHT FIXTURE LEGEND**
- #1 HADCO HALL HONEY BEE 2 1/2" 50W E-WITH CUT OFF MOUNTED 10' ADV. BRACE
 - #2 BEGA 2400-10H 2-1/2" 100W DOWNLIGHT PERFORATED FINISH LOCATED 4' ADV. SIDEWALK
 - #3 BEGA 8810-10H 2-1/2" 100W DOWNLIGHT PERFORATED FINISH LOCATED 4' ADV. SIDEWALK
 - #4 BEGA 8420-20H 2-1/2" 100W DOWNLIGHT PERFORATED FINISH LOCATED 4' ADV. SIDEWALK
 - #5 HADCO 20 100W HPS ON 12' HIGH POLE
 - #6 HADCO 20 250W HPS ON 12' HIGH POLE
 - #7 HADCO FB BOLLARD 30W 1H 3400 LUMENS
 - #8 HALO REDUCED CAN 10H 100W FLUOR. WITH PRISM. LOW TYP. ALL CANOPY OVERHANGS

AREA SUMMARY



FIXTURE F-5 & 6



FIXTURE F-7



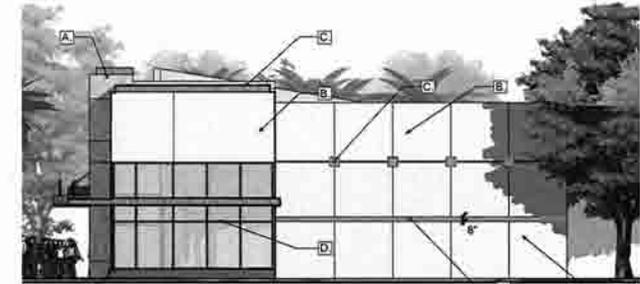
FIXTURE F-8

Faulconer Associates
ARCHITECTS & PLANNERS
300 S. MAIN STREET, SUITE 100
TERRACE, CALIFORNIA 94555
PH: 925-463-1111 FAX: 925-463-1112

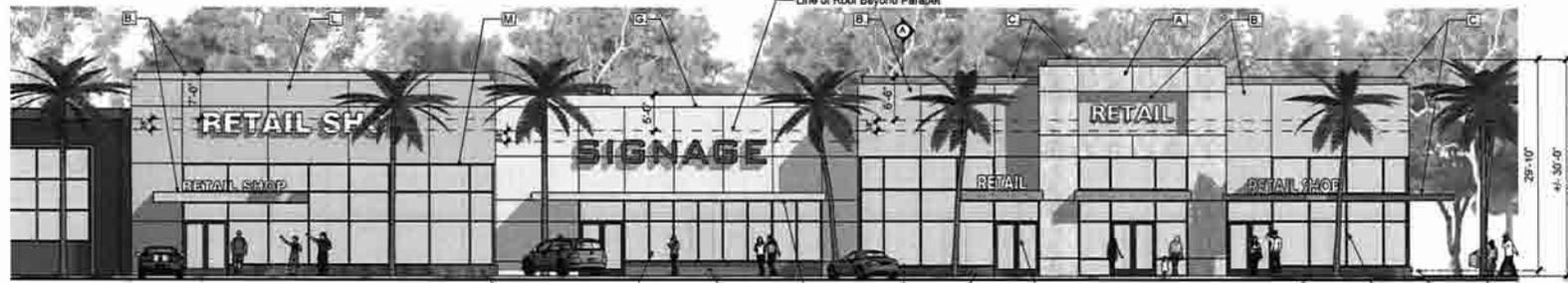
ROSE RANCH SHOPPING CENTER by Faulconer Companies
400 S. MAIN STREET, SUITE 100
TERRACE, CALIFORNIA 94555
PH: 925-463-1111 FAX: 925-463-1112



South Elevation 1/8" = 1'-0"



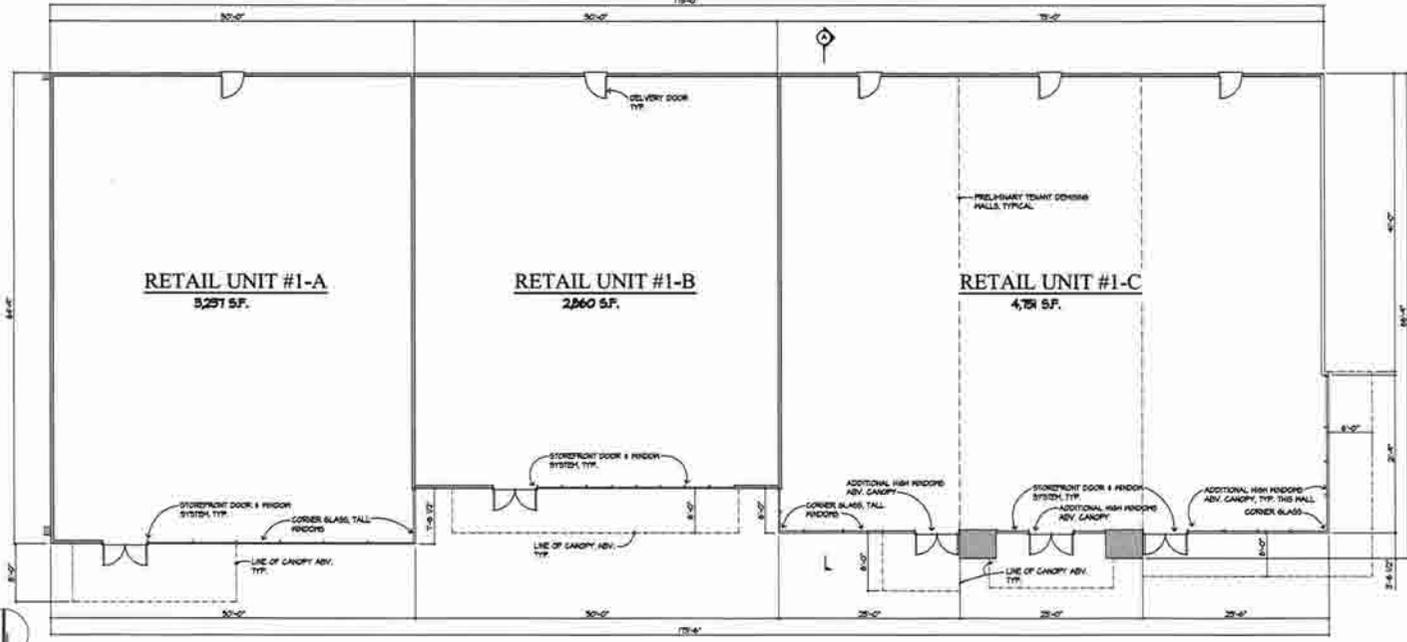
West Elevation 1/8" = 1'-0"



North Elevation 1/8" = 1'-0"

Materials Legend:

- WALL CLADDING:**
CEP "Petra" Cladding Panels
- A.** No. 313 Docket with River Slate texture
- CEMENT PLASTER - PRIMARY WALL COLOR**
- B.** La Habra X056 "Southern Moss" Float 20/00 (smooth)
- SHEET METAL**
- C.** Pre-Patna 20 oz. Copper band or medallion
- STOREFRONT FRAME**
- D.** Dunn Edwards DE 6231 "Shaker Gray"
- TILE AT BASE**
- E.** Daltile S201 "Sandstone" 18" Square
- STOREFRONT GLAZING**
- F.** PPG Solera
- CEMENT PLASTER - PRIMARY WALL COLOR**
- G.** La Habra X25 "Sandstone" Float 20/00 (smooth)
- CANOPY FASCIA**
- H.** Mill Finish 24 ga Aluminum
- STOREFRONT FRAME**
- J.** Dunn Edwards DE 5084
- TILE**
- K.** Daltile S212 "Sandstone" Slate texture
- CEMENT PLASTER - PRIMARY COLOR**
- L.** La Habra X1000 Clay Float 20/00 (smooth)
- STOREFRONT FRAME**
- M.** Dunn Edwards DE 6276 "Stone Clay"
- TILE**
- N.** Daltile L736 Capitan Steel Stone 18" SQ. Honed Finish
- CEMENT PLASTER - PRIMARY COLOR**
- P.** La Habra X0580 Sierra Tan Float 20/00 (smooth)
- STOREFRONT FRAME**
- Q.** Mill Finish Aluminum
- TRANSOM GLAZING**
- R.** Transcom Panel polycarbonate glazing with 484 Finish aluminum framing
- WALL CLADDING**
- S.** Trespa Melcon NAD95ST
- CEMENT PLASTER - PRIMARY COLOR**
- T.** La Habra XX 130 Clay Float 20/00 (smooth)
- LANDSCAPE TRELLIS FEATURE**
- U.** "GreenScreen" with "vintage green" finish
- CEMENT PLASTER - PRIMARY COLOR**
- V.** La Habra X404 "Artbrook" Float 20/00 (smooth)
- WALL CLADDING**
- W.** Trespa Melcon Cladding NW 0718T
- X.** CEP Petraclad Cladding Panels Jade 001 River Slate Texture
- Y.** CEP Petraclad Cladding Panels Mocha 002 River Slate Texture
- Z.** CEP Petraclad Cladding Panels Parchment 011 River Slate Texture
- AA.** Trespa Melcon A11 & A15T
- CEMENT PLASTER - PRIMARY COLOR**
- BB.** La Habra XX 278 "Trabuco" Float 20/00 (smooth)



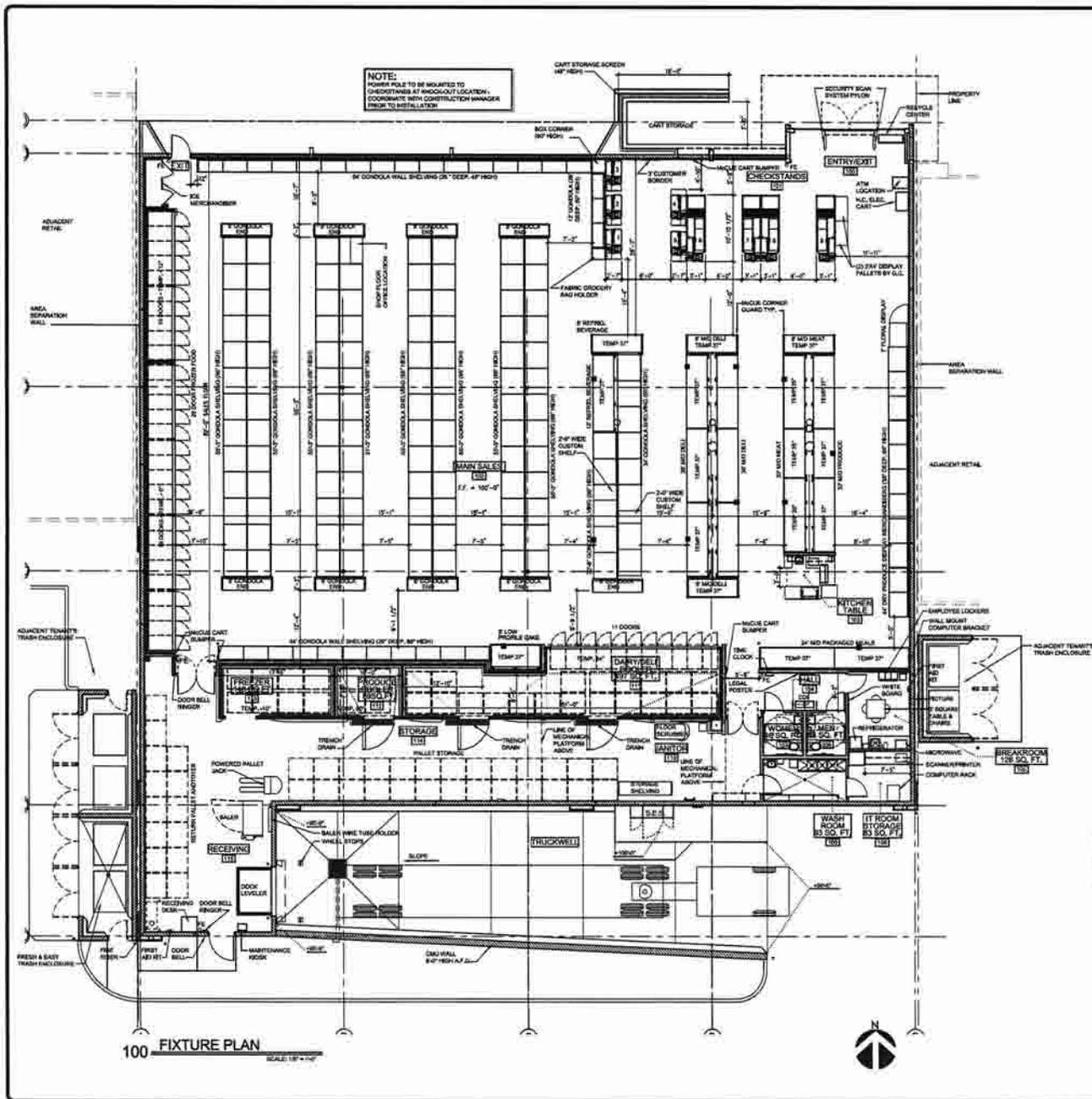
Retail Building #1 Floor Plan Scale: 1/8" = 1'-0"

FIRMITAS
ARCHITECTURE
& PLANNING
1600 MARKET STREET, VISALIA, CA 93277

Developer:
PARKSTONE COMPANIES
ARCHITECTURE
Westlake Village, CA 91361
(805) 373-8808

Rose Ranch
Shopping Center
Rose & Gonzales, Oxnard, CA

NOT TO SCALE. THESE ARCHITECTURAL DRAWINGS ARE THE PROPERTY OF FIRMITAS ARCHITECTURE AND PLANNING. NO PART OF THESE ARCHITECTURAL DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FIRMITAS ARCHITECTURE AND PLANNING. ANY VIOLATION OF THESE TERMS SHALL BE SUBJECT TO LEGAL ACTION. THESE ARCHITECTURAL DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF FIRMITAS ARCHITECTURE AND PLANNING.



NOTE:
POWER POLE TO BE MOUNTED TO
CONCRETE WALL AT PROPOSED LOCATION.
COORDINATE WITH CONSTRUCTION MANAGER
PRIOR TO INSTALLATION.

FIXTURE PLAN SUMMARY

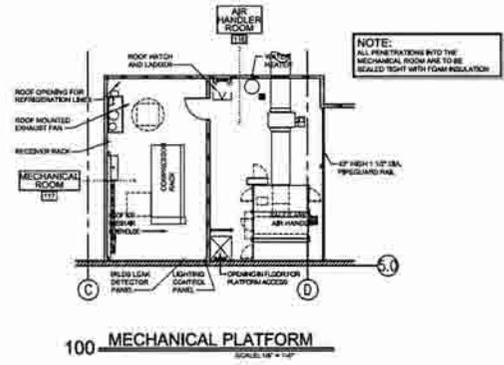
STORE LOCATION:			
City Name:	Proposed	Prototype	Difference
BUILDING (Building Ground Floor (Sq. Ft.))	13,969	13,969	0
Meat/Fish Room (at ground level) and/or Backroom (Sq. Ft.)	784	857	-73
TOTAL BUILDING (SQ.FT.)	14,754	14,826	-72
Sales Area (Sq. Ft.)	10,254	10,244	10
SALES AREA / BLDG. GROUND FLOOR (%)	72.3%	72.3%	0
Backroom Area (Sq. Ft.)	1,971	1,997	-26
BACKROOM AREA / BLDG. GROUND FLOOR (%)	14.2%	14.4%	-0.2%
SHELVING (Grocery Shelving (Cases))	436.55	436.55	0.00
Grocery Shelving (Stands)	112	95	17
Alcohol Shelving (Cases)	92.04	62	30.04
Bakery Shelving	44	44	0
HBA Shelving	38	50	-12
TOTAL SHELVING (LIN.FT.)	856	692	164
CASES (Refrigerated Dairy / Dairy)	156	156	0
Refrigerated Produce	33	32	1
Refrigerated Meat / Seafood	33	32	1
Refrigerated Beer / Wine	12	12	0
Refrigerated Bakery	6	6	0
Frozen Foods (20 Doors) + Ice	73	80	-7
TOTAL CASES (LIN.FT.)	313	322	-9
FIXTURES (Produce)	14	14	0
Floor	1	1	0
TOTAL FIXTURES (LIN.FT.)	15	15	0
TOTAL LINEAR FOOTAGES (CASES, FIXTURES & SHLVG)	1,684	1,063	621
REFRIG & FREEZER (Dairy / Deli Counter)	497	497	0
Produce Cooler	38	38	0
Freezer	143	143	0
BOXES	143	143	0
TOTAL REFRIG/FREEZER STORAGE (SQ.FT.)	724	724	0
ROOMS (Break room)	126	126	0
IT Room	43	43	0
Wash Room	30	30	0
Women's Restroom	24	24	0
Men's Restroom	46	46	0
Hill	150	136	14
TOTAL ROOM SIZES (SQ.FT.)	624	624	0

APPROVAL SIGNATURES

NAME:	DATE:

REVISIONS

DELTA #	DESCRIPTION	DATE



FIXTURE PLAN

PROJECT TITLE:
FRESH & EASY # 1225
RVC DONALDSON BLVD & ROSE AVENUE
DONALDSON, LA

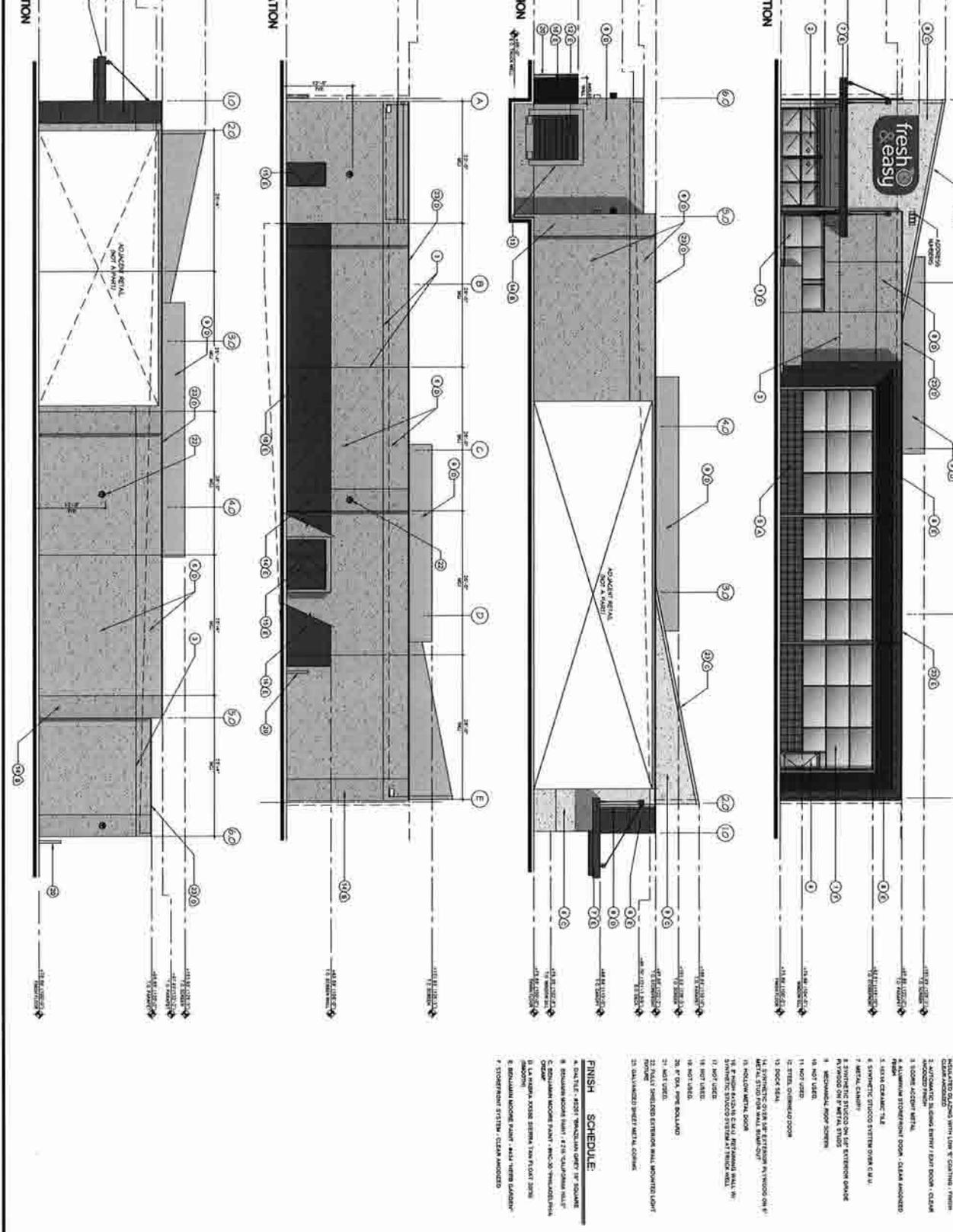
DATE:
05-06-08

JOB NO.:
061204

SHEET NO.:
F1

ADOPIF ZEMBA, AIA & ASSOCIATES, INC.
5015 W. 120th St. Suite 110
New Orleans, LA 70127
Tel: 504.835.1234 Fax: 504.835.1235 Email: czemba@adoz.com

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KEYED NOTES:

- 1. ALUMINUM STOREFRONT WINDOW SYSTEM - 1" RATED GLAZING WITH LOW-E COATING - FINISH TO MATCH EXISTING
- 2. ALUMINUM STOREFRONT WINDOW SYSTEM - 1" RATED GLAZING WITH LOW-E COATING - FINISH TO MATCH EXISTING
- 3. ALUMINUM STOREFRONT WINDOW SYSTEM - 1" RATED GLAZING WITH LOW-E COATING - FINISH TO MATCH EXISTING
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- 20. ALUMINUM STOREFRONT WINDOW SYSTEM - 1" RATED GLAZING WITH LOW-E COATING - FINISH TO MATCH EXISTING
- 21. ALUMINUM STOREFRONT WINDOW SYSTEM - 1" RATED GLAZING WITH LOW-E COATING - FINISH TO MATCH EXISTING
- 22. ALUMINUM STOREFRONT WINDOW SYSTEM - 1" RATED GLAZING WITH LOW-E COATING - FINISH TO MATCH EXISTING

FINISH SCHEDULE:

- 1. GYPSUM BOARD
- 2. GYPSUM BOARD
- 3. GYPSUM BOARD
- 4. GYPSUM BOARD
- 5. GYPSUM BOARD
- 6. GYPSUM BOARD
- 7. GYPSUM BOARD
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- 17. GYPSUM BOARD
- 18. GYPSUM BOARD
- 19. GYPSUM BOARD
- 20. GYPSUM BOARD
- 21. GYPSUM BOARD
- 22. GYPSUM BOARD

	<p>PROPOSED EXTERIOR ELEVATIONS</p> <p>TESCO - GONZALES & ROSE, OXNARD, CA</p> <p>TESCO USA 2100 PARK PLACE, SUITE 300 EL SEGUINO, CA 90248</p>	<p>ADOLPH ZIEMBA, AIA & ASSOCIATES, INC. 601 SOUTH GLENDALE BLVD., SUITE 402 EL SEGUINO, CA 90248 Tel: (916) 841-2005 Fax: (916) 841-7702 Email: adz@adolphziemba.com</p>	<p>PAM ARCHITECTURAL MANAGEMENT</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">NO.</td> <td style="width: 10%;">DATE</td> <td style="width: 10%;">REVISION</td> <td style="width: 10%;">BY</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISION	BY				
NO.	DATE	REVISION	BY									

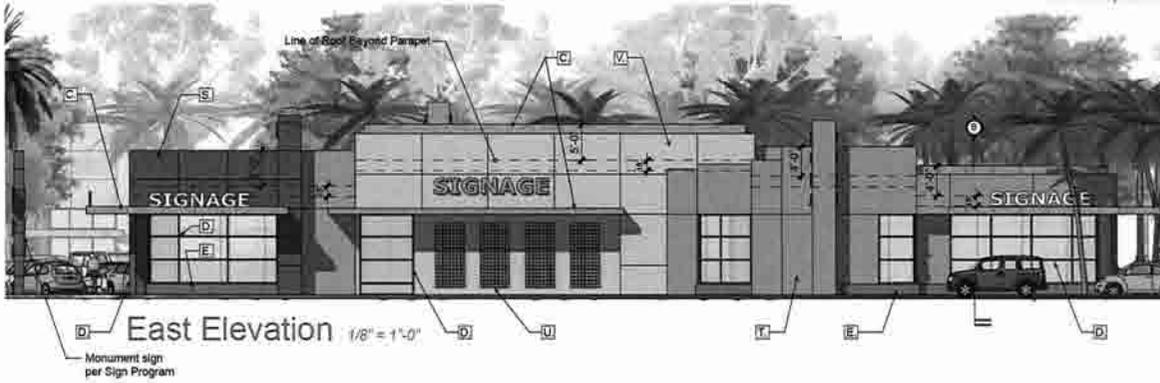
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West Elevation 1/8" = 1'-0"



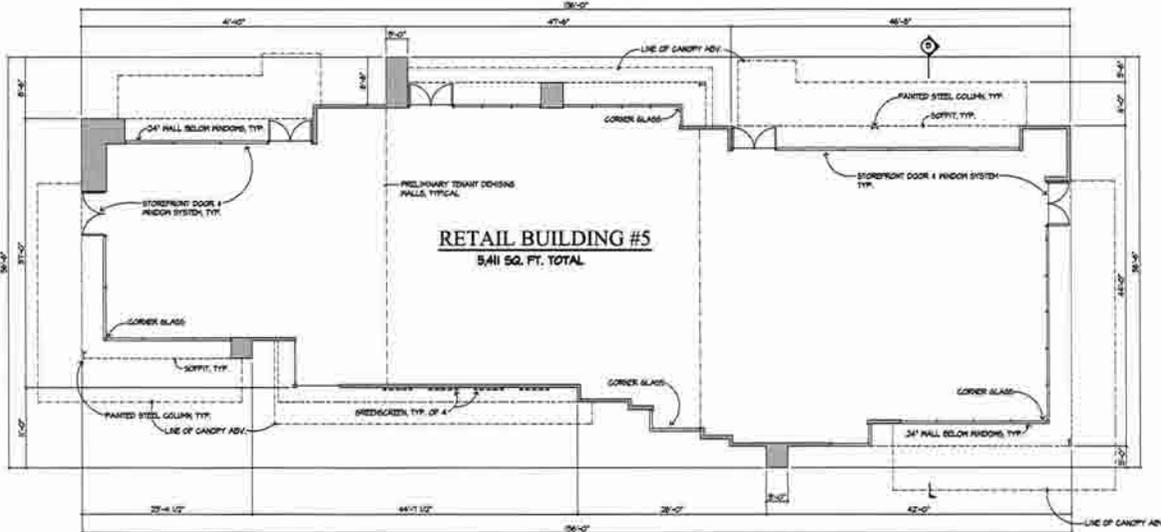
South Elevation 1/8" = 1'-0"



East Elevation 1/8" = 1'-0"



North Elevation 1/8" = 1'-0"



Retail Building #5 Floor Plan Scale: 1/8" = 1'-0"

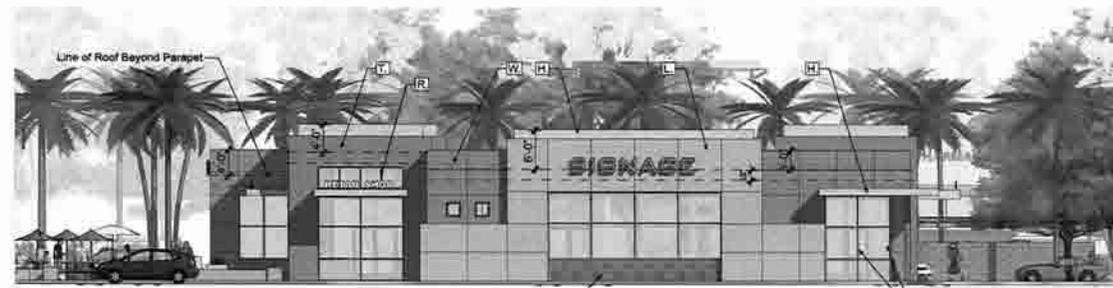
Materials Legend:

- WALL CLADDING:**
 CEP "Petrarch" Cladding Panels
 A. No. 515 Dorset with Raven Stone texture
CEMENT PLASTER - PRIMARY WALL COLOR
 B. La Habra X36 "Southern Mist" Flat 2020 (Smooth)
SHEET METAL
 C. 1/4" Panels 20 oz. Copper panel or stainless
STOREFRONT FRAME
 D. Dunn Edwards DE 6231 "Shaker Gray"
TILE AT BASE
 E. DalTile S212 "Granite Grey 10" Square
STOREFRONT GLAZING
 F. PPG Solarex
CEMENT PLASTER - PRIMARY WALL COLOR
 G. La Habra X30 "Sandstone" Flat 2020 (Smooth)
CANOPY FASCIA
 H. Mill finish 24 ga. Aluminum
STOREFRONT FRAME
 J. Dunn Edwards DE 5084
TILE
 K. Dal Tile S212 "Sandstone" Stone texture
CEMENT PLASTER - PRIMARY COLOR
 L. La Habra X330 Clay Flat 2020 (Smooth)
STOREFRONT FRAME
 M. Dunn Edwards DE 5278 "Stone Creek"
TILE
 N. Dal Tile L756 "Carpan Sheet Stone 18" Sq. Honed Finish
CEMENT PLASTER - PRIMARY COLOR
 P. La Habra X330 "Serra Tan" Flat 2020 (Smooth)
STOREFRONT FRAME
 Q. Mill finish Aluminum
TRANSOM GLAZING
 R. Translucent Kwikwall polycarbonate glazing with Mill Finish aluminum framing
WALL CLADDING
 S. Trespa Melton NA691/T
CEMENT PLASTER - PRIMARY COLOR
 T. La Habra X330 Clay Flat 2020 (Smooth)
LANDSCAPE TRELIS FEATURE
 U. "GreenScreen" with "winkle green" finish
CEMENT PLASTER - PRIMARY COLOR
 V. La Habra X334 "Yellow" Flat 2020 (Smooth)
WALL CLADDING
 W. Trespa Melton Cladding LW 07/ST
 X. CEP Petrarch Cladding Panels Jade 001 River Stone Texture
 Y. CEP Petrarch Cladding Panels Mocha 002 River Stone Texture
 Z. CEP Petrarch Cladding Panels Parchment 011 River Stone Texture
 AA. Trespa Melton A11 4 45/T
CEMENT PLASTER - PRIMARY COLOR
 BB. La Habra X31 276 "Trabuco" Flat 2020 (Smooth)

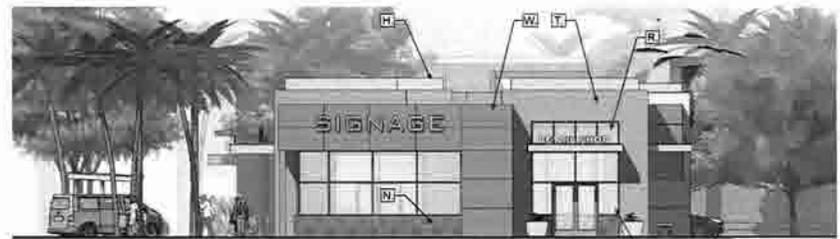
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 ARCHITECTURE
 & PLANNING
 10000 W. 15th Ave., Suite 100
 Westminster, CA 92683
 Tel: 714.835.1100
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 MANUFACTURE
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 10000 W. 15th Ave., Suite 100
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 Tel: 714.835.1100
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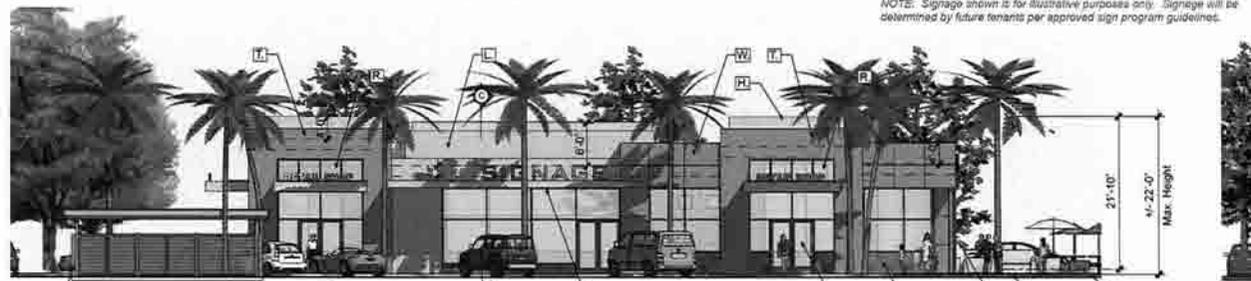
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North Elevation 1/8" = 1'-0"



East Elevation 1/8" = 1'-0"



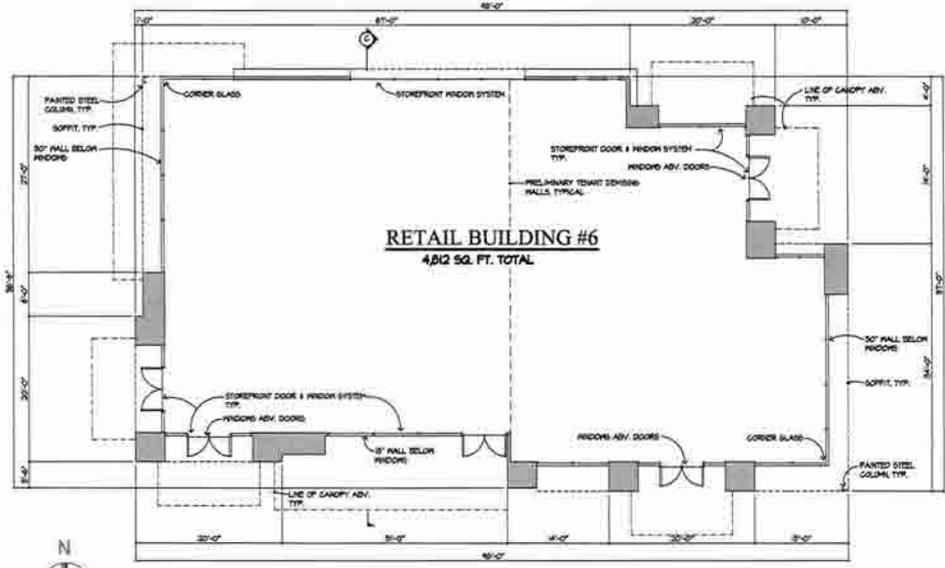
South Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"

NOTE: Signage shown is for illustrative purposes only. Signage will be determined by future tenants per approved sign program guidelines.

Trash Enclosure: Ground Face block w/ steel frame and metal roof



Retail Building #6 Floor Plan Scale: 1/8" = 1'-0"

Materials Legend:

- WALL CLADDING:**
 CEP "Petracon" Cladding Panels
 A. No. 519 Corvel with River Stone texture
- CEMENT PLASTER - PRIMARY WALL COLOR**
 B. La Habra X036 "Southern Moss" Flat 2030 (Smooth)
- SHEET METAL**
 C. Pre-Palma 20 oz. Copper panel or modification
- STOREFRONT FRAME**
 D. Dunn Edwards DE 6231 "Shaker Gray"
- TILE AT BASE**
 E. Dal'ne 6201 (Brazilian Grey 16" Square)
- STOREFRONT GLAZING**
 F. PPG Soloclas
- CEMENT PLASTER - PRIMARY WALL COLOR**
 G. La Habra X25 "Sensiback" Flat 2030 (Smooth)
- CANOPY FASCIA**
 H. Mill finish 24 ga Aluminum
- STOREFRONT FRAME**
 J. Dunn Edwards DE 6084
- TILE**
 K. Dal'ne 6212 "Sandstone" Stone texture
- CEMENT PLASTER - PRIMARY WALL COLOR**
 L. La Habra 14 X830 Clay Flat 2030 (Smooth)
- STOREFRONT FRAME**
 M. Dunn Edwards DE 6278 "Stone Creek"
- TILE**
 N. Dal'ne 1756 Canyon River Stone 16" SQ. Honed Finish
- CEMENT PLASTER - PRIMARY COLOR**
 P. La Habra X0500 Sierra Tan Flat 2030 (Smooth)
- STOREFRONT FRAME**
 Q. Mill finish Aluminum
- TRANSOM GLAZING**
 R. Translucent Kaseal polycarbonate glazing with Mill Finish aluminum framing
- WALL CLADDING**
 S. Trespa Melcon H4891ST
- CEMENT PLASTER - PRIMARY COLOR**
 T. La Habra XX 630 Clay Flat 2030 (Smooth)
- LANDSCAPE TRELLIS FEATURE**
 U. "GreenScreen" with "winesap green" finish
- CEMENT PLASTER - PRIMARY COLOR**
 V. La Habra X434 "Flatbrook" Flat 2030 (Smooth)
- WALL CLADDING**
 W. Trespa Melcon H4891ST
 X. CEP Petracon Cladding Panels Jade 001 River Stone Texture
 Y. CEP Petracon Cladding Panels Mocha R02 River Stone Texture
 Z. CEP Petracon Cladding Panels Parchment 011 River Stone Texture
 AA. Trespa Melcon A11-4 485T
- CEMENT PLASTER - PRIMARY COLOR**
 BB. La Habra XX 278 "Trabuco" Flat 2030 (Smooth)

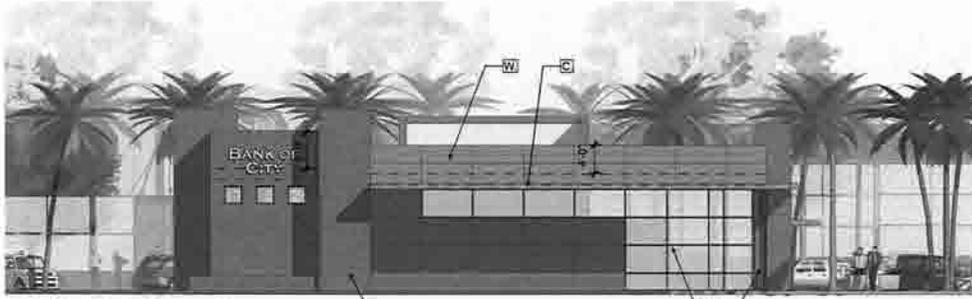
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 (561) 832-1111

Reviewed by:
PIERCEPENNER SMITH
 ARCHITECTS
 Westlake Village, CA 91361
 (805) 373-8858

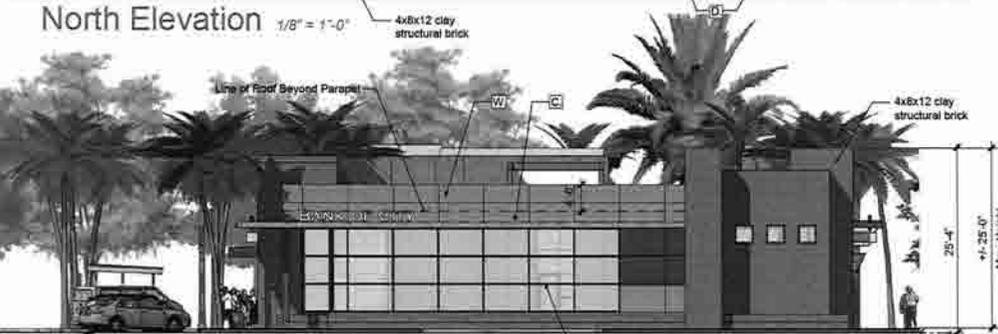
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 Shopping Center
 Rose & Gonzalez, Oxnard, CA

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North Elevation 1/8" = 1'-0"

4x8x12 clay structural brick



East Elevation 1/8" = 1'-0"

F.F. = 76.00'
AVG. CURB HT. = 75.68'



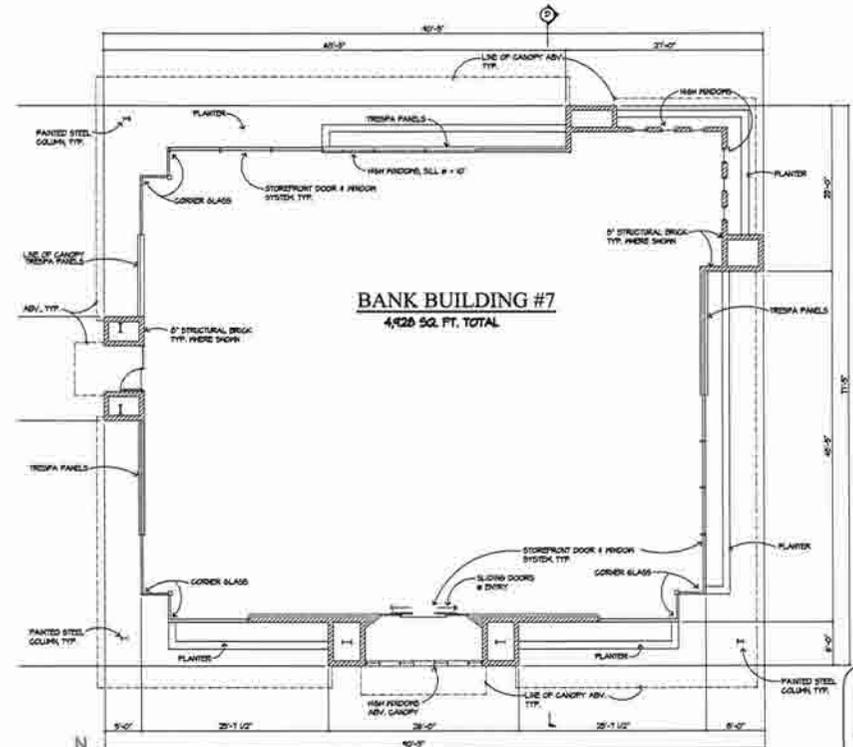
South Elevation 1/8" = 1'-0"

4x8x12 clay structural brick



West Elevation 1/8" = 1'-0"

4x8x12 clay structural brick



BANK BUILDING #7
4,926 SQ. FT. TOTAL



Building #7 Floor Plan Scale: 1/8" = 1'-0"

Materials Legend:

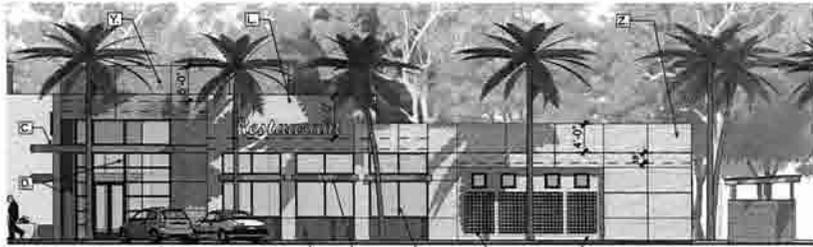
- | | |
|--|--|
| <p>WALL CLADDING:
CEP "Petraarch" Cladding Panels
A. No. 519 Desert with Raven Slate texture</p> <p>CEMENT PLASTER - PRIMARY WALL COLOR
B. La Habra X696 "Southern Moss" Flat 20/30 (Smooth)</p> <p>SHEET METAL
C. Pre-Patina 20 cc. Copper blend or oxidation</p> <p>STOREFRONT FRAME
D. Dunn Edwards DE 6231 "Strater Gray"</p> <p>TILE AT BASE
E. DuRoi S201 Brazton Grey 16" Square</p> <p>STOREFRONT GLAZING
F. PPG 50000</p> <p>CEMENT PLASTER - PRIMARY WALL COLOR
G. La Habra X25 "Sandstone" Flat 20/30 (Smooth)</p> <p>CANOPY FASCIA
H. Mill Iron 24 ga. Aluminum</p> <p>STOREFRONT FRAME
J. Dunn Edwards OE 6084</p> <p>TILE
K. D&L Tile S212 "Sandstone" Slate texture</p> <p>CEMENT PLASTER - PRIMARY WALL COLOR
L. La Habra X6 X350 Clay Flat 20/30 (Smooth)</p> <p>STOREFRONT FRAME
M. Dunn Edwards DE 6278 "Stone Green"</p> | <p>TILE
N. Dal Tile L756 Canyon River Stone 18" SQ. Honed Finish</p> <p>CEMENT PLASTER - PRIMARY COLOR
P. La Habra X0460 Sierra Flat 20/30 (Smooth)</p> <p>STOREFRONT FRAME
Q. Mill Iron Aluminum</p> <p>TRANSOM GLAZING
R. Translucent Kawall polycarbonate glazing
With Mill Finish aluminum framing</p> <p>WALL CLADDING
S. Tespa Moleen NA09/ST</p> <p>CEMENT PLASTER - PRIMARY COLOR
T. La Habra XX 630 Clay Flat 20/30 (Smooth)</p> <p>LANDSCAPE TRELLIS FEATURE
U. "GreenScreen" with "terracotta green" finish</p> <p>CEMENT PLASTER - PRIMARY COLOR
V. La Habra X434 "Flatbrook" Flat 20/30 (Smooth)</p> <p>WALL CLADDING
W. Tespa Moleen Cladding NW 07/ST
X. CEP Petraarch Cladding Panels Jade 001 Raven Slate Texture
Y. CEP Petraarch Cladding Panels Mojave 002 Raven Slate Texture
Z. CEP Petraarch Cladding Panels Parchment 011 Raven Slate Texture
AA. Tespa Moleen A11 & 45T</p> <p>CEMENT PLASTER - PRIMARY COLOR
BB. La Habra XX 278 "Tussock" Flat 20/30 (Smooth)</p> |
|--|--|

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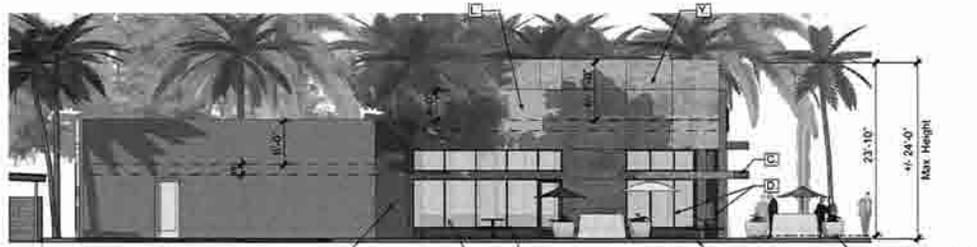


North Elevation 1/8" = 1'-0"

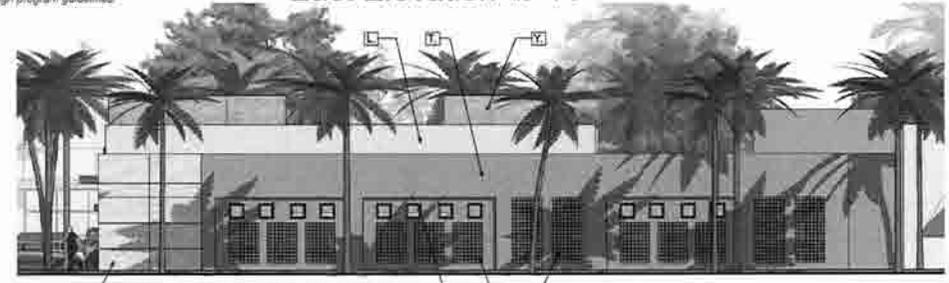
NOTE: Signage shown is for illustrative purposes only. Signage will be determined by future tenants per approved sign program guidelines.



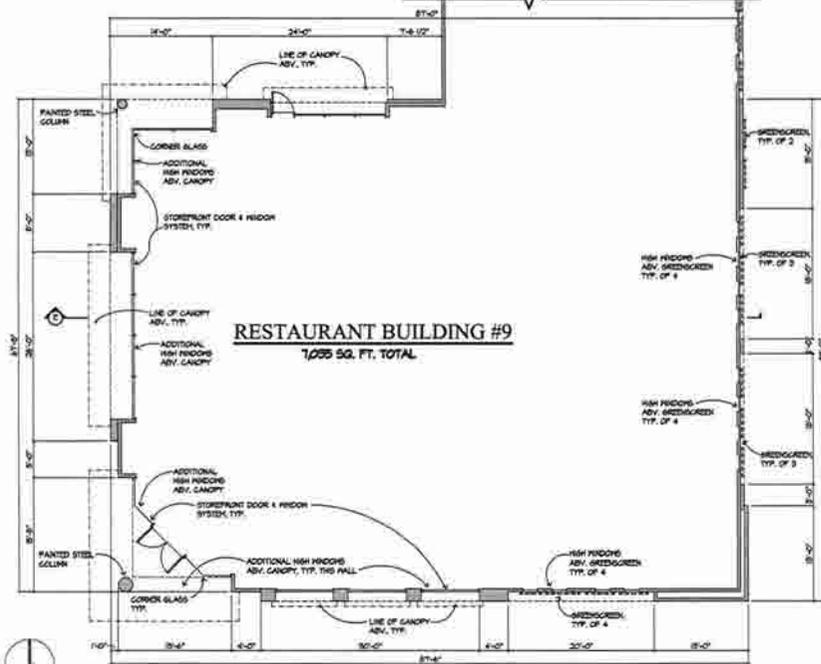
East Elevation 1/8" = 1'-0"



South Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"



Restaurant Building #9 Floor Plan Scale: 1/8" = 1'-0"

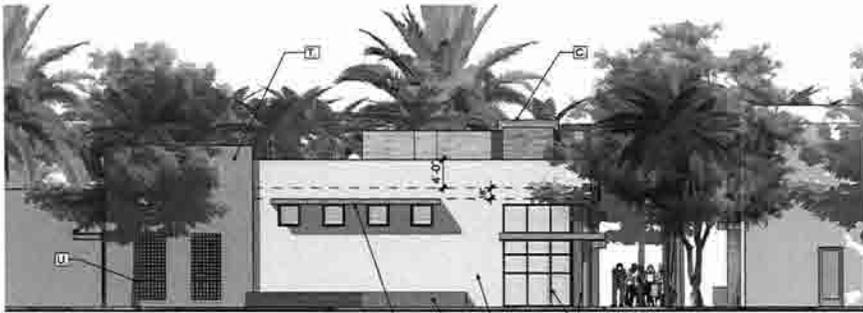
Materials Legend:

- WALL CLADDING:**
 - CEP "Petracor" Cladding Panels
 - A. No. 319 Corset with Raven Slate texture
 - CEMENT PLASTER - PRIMARY WALL COLOR**
 - B. La Habra X696 "Southern Mist" Flat 20/30 (Smooth)
 - SHEET METAL**
 - C. Pro-Polna 20 oz. Copper panel or equivalent
 - STOREFRONT FRAME**
 - D. Dunn Edwards DE 6231 "Shaker Gray"
 - TILE AT BASE**
 - E. Daltile 3201 Brazilian Grey 12" Square
 - STOREFRONT GLAZING**
 - F. PPG Solasea
 - CEMENT PLASTER - PRIMARY WALL COLOR**
 - G. La Habra X25 "Saddleback" Flat 20/30 (Smooth)
 - CANOPY FASCIA**
 - H. Mill Green 24 ga. Aluminum
 - STOREFRONT FRAME**
 - J. Dunn Edwards DE 6084
 - TILE**
 - K. Dal Tile 3212 "Cassino" Slate texture
 - CEMENT PLASTER - PRIMARY WALL COLOR**
 - L. La Habra 1/4 X300 Clay Flat 20/30 (Smooth)
 - STOREFRONT FRAME**
 - M. Dunn Edwards DE 6278 "Stone Creek"
- TILE**
 - N. Dal Tile L756 Canyon Silver Stone 12" SQ. Honey Finish
 - CEMENT PLASTER - PRIMARY COLOR**
 - P. La Habra X0690 Sierra Tan Flat 20/30 (Smooth)
 - STOREFRONT FRAME**
 - Q. Mill Green Aluminum
 - TRANSOM GLAZING**
 - R. Transcort Kawali polyurethane glazing
 - W81 MB Finish aluminum framing
 - WALL CLADDING**
 - S. Trespa Melton HAD9/3T
 - CEMENT PLASTER - PRIMARY COLOR**
 - T. La Habra XX 650 Clay Flat 20/30 (Smooth)
 - LANDSCAPE TRELIS FEATURE**
 - U. "GreenScreens" with "winkle green" finish
 - CEMENT PLASTER - PRIMARY COLOR**
 - V. La Habra xx54 "Flatbrook" Flat 20/30 (Smooth)
 - WALL CLADDING**
 - W. Trespa Melton Cladding NW 07/5T
 - X. CEP Petracor Cladding Panels Jade 001 Raven Slate Texture
 - Y. CEP Petracor Cladding Panels Mocha 002 Raven Slate Texture
 - Z. CEP Petracor Cladding Panels Parment 011 Raven Slate Texture
 - AA. Trespa Melton A11 & 45T
 - CEMENT PLASTER - PRIMARY COLOR**
 - BB. La Habra XX 276 "Traucort" Flat 20/30 (Smooth)

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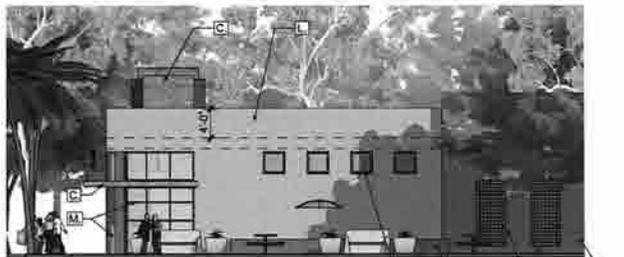
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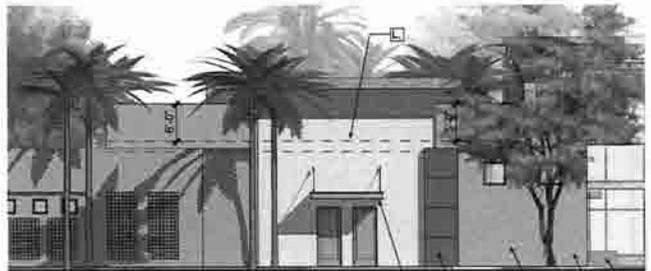
South Elevation 1/8" = 1'-0"



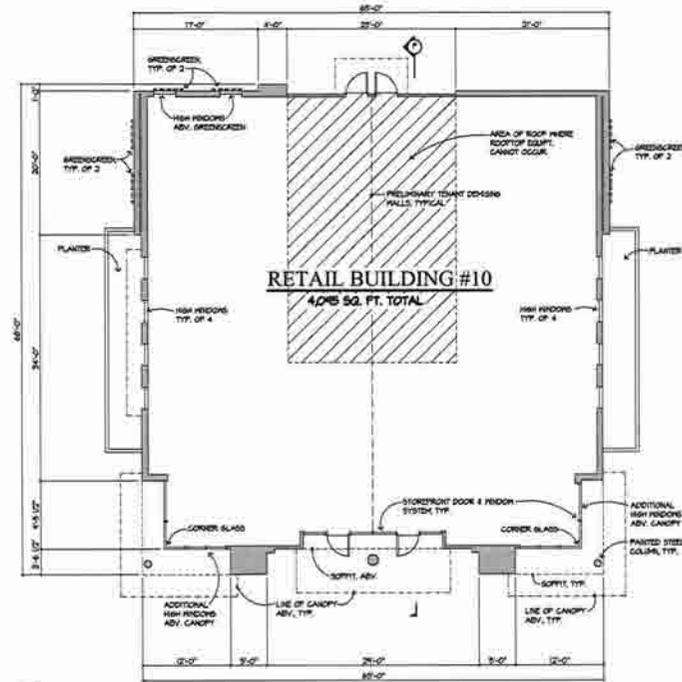
East Elevation 1/8" = 1'-0"



North Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"



Retail Building #10 Floor Plan Scale: 1/8" = 1'-0"

Materials Legend:

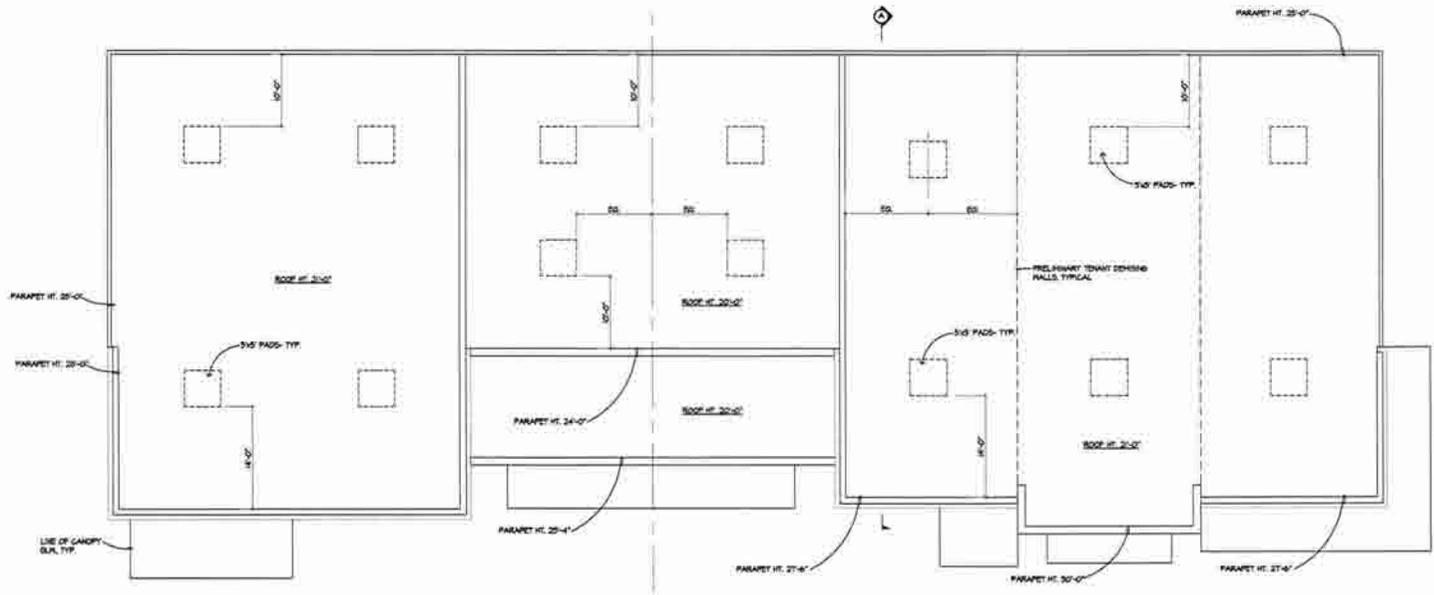
- | | |
|--|---|
| <p>WALL CLADDING:
 CEP "Petrarch" Cladding Panels
 A. No. 519 Dorsal with Raven Slate texture</p> <p>CEMENT PLASTER: PRIMARY WALL COLOR
 B. La Habra X694 "Southern Moss" Flat 2030 (Smooth)</p> <p>SHEET METAL
 C. Pre-Painted 20 oz. Copper coated or stainless</p> <p>STOREFRONT FRAME
 D. Dunn Edwards DE 6201 "Shaker Gray"</p> <p>TILE AT BASE
 E. DalTile S201 Bracken Grey 18" Square</p> <p>STOREFRONT GLAZING
 F. PPG 56666</p> <p>CEMENT PLASTER: PRIMARY WALL COLOR
 G. La Habra X25 Saddleback Flat 2030 (Smooth)</p> <p>CANOPY FASCIA
 H. Mill Iron 24 ga. Aluminum</p> <p>STOREFRONT FRAME
 J. Dunn Edwards DE 6084</p> <p>TILE
 K. Dal Tile S212 "Saddleback" Slate texture</p> <p>CEMENT PLASTER - PRIMARY COLOR
 L. La Habra 1x X330 Clay Flat 2030 (Smooth)</p> <p>STOREFRONT FRAME
 M. Dunn Edwards DE 6278 "Shaw Green"</p> | <p>TILE
 N. Dal Tile L756 Canyon Steel Stone 18" 3GL Honed Finish</p> <p>CEMENT PLASTER - PRIMARY COLOR
 P. La Habra X3260 Sierra Tan Flat 2030 (Smooth)</p> <p>STOREFRONT FRAME
 Q. Mill Iron Aluminum</p> <p>TRANSOM GLAZING
 R. Translucent Kanwall polycarbonate glazing With Mill Finish aluminum framing</p> <p>WALL CLADDING
 S. Trempa Melton H40WST</p> <p>CEMENT PLASTER - PRIMARY COLOR
 T. La Habra X41 830 Clay Flat 2030 (Smooth)</p> <p>LANDSCAPE TRELLIS FEATURE
 U. "GreenScreen" with "amtrak green" finish</p> <p>CEMENT PLASTER - PRIMARY COLOR
 V. La Habra X434 "Flintrock" Flat 2030 (Smooth)</p> <p>WALL CLADDING
 W. Trempa Melton Cladding RW 07/81
 X. CEP Petrarch Cladding Panels Jade 001 Raven Slate Texture
 Y. CEP Petrarch Cladding Panels Melchro 002 Raven Slate Texture
 Z. CEP Petrarch Cladding Panels Parthymont 011 Raven Slate Texture
 AA. Trempa Melton A111 4 4RST</p> <p>CEMENT PLASTER - PRIMARY COLOR
 BB. La Habra X2 278 "Thasour" Flat 2030 (Smooth)</p> |
|--|---|

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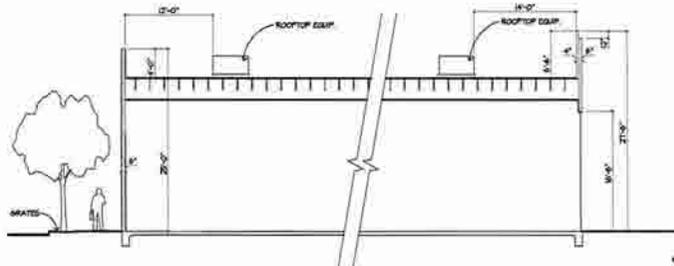
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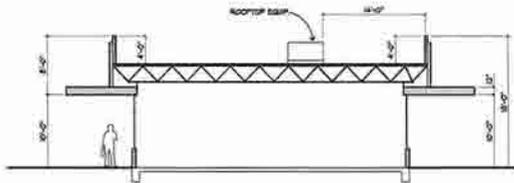
RETAIL BUILDING #1 ROOF PLAN

SCALE: 1/8"=1'-0"



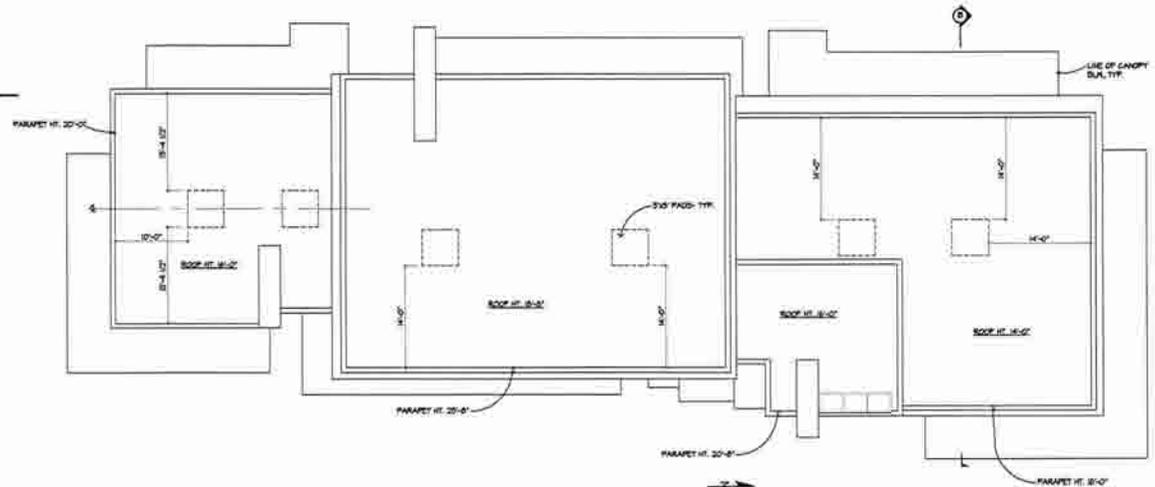
RETAIL BUILDING #1 SECTION A-A

SCALE: 1/8"=1'-0"



RETAIL BUILDING #5 SECTION B-B

SCALE: 1/8"=1'-0"



RETAIL BUILDING #5 ROOF PLAN

SCALE: 1/8"=1'-0"

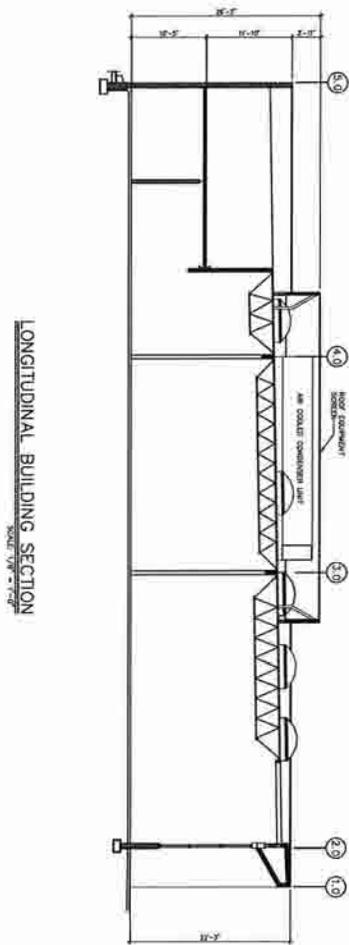
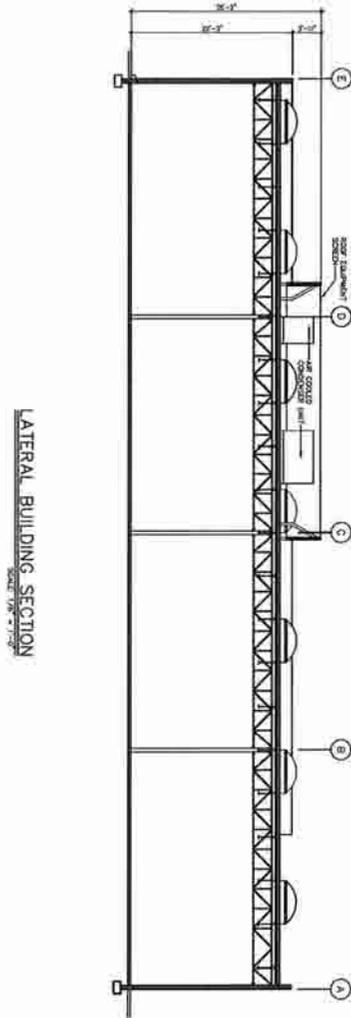
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(303) 373-8888

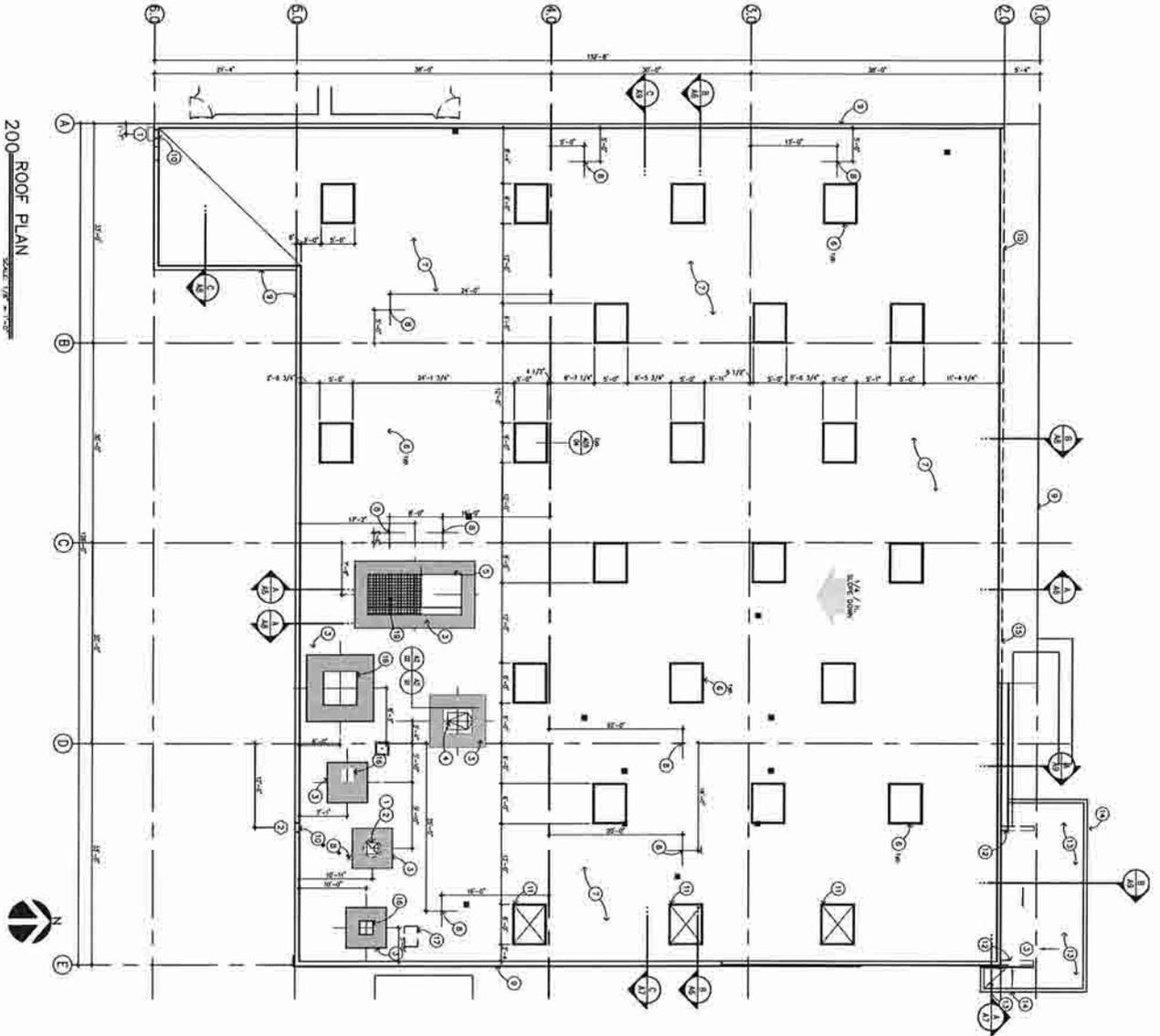
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KEYED NOTES:

1. EXHAUST FAN - SEE DETAIL 04/005
2. EXHAUST FAN AND DUCT - SEE DETAIL 04/006 FROM ROOF MOUNTED RAINWATER DENTS
3. ROOF MOUNTED RAINWATER DENTS
4. ROOF MOUNTED RAINWATER DENTS
5. ROOF MOUNTED RAINWATER DENTS
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17. ROOF MOUNTED RAINWATER DENTS
18. ROOF MOUNTED RAINWATER DENTS
19. ROOF MOUNTED RAINWATER DENTS
20. ROOF MOUNTED RAINWATER DENTS

GENERAL NOTES:

1. SEE ARCHITECT'S/ ENGINEER'S DRAWINGS FOR ADDITIONAL ROOF DETAILS.
2. VERIFY LOCATION OF ALL ROOF PENETRATIONS - MARK TO STRUCTURE.
3. ALL ROOF OR ROOF TO BE PENETRATED OR COVERED SHALL BE PROTECTED BY CURBS.
4. STRUCTURAL MAKE GOOD SHALL BE PROVIDED FOR ALL ROOF PENETRATIONS AND SHALL BE IN ACCORDANCE WITH THE STRUCTURAL MAKE GOOD SPECIFICATIONS AND THE PROJECT FLOOR PLAN - SEE STRUCTURAL.
5. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
6. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
7. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
8. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
9. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
10. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
11. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
12. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
13. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
14. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
15. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
16. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
17. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
18. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
19. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.
20. ALL ROOF PENETRATIONS SHALL BE PROTECTED BY CURBS.

COMPONENTS CALCULATING GRADES ON 5' SPAN ALL DIMENSIONS

NO.	LENGTH	WIDTH	AREA	PERIMETER
1	6"	22.88 SF	6.000 SF	
2	6"	6.945 SF	9.000 SF	
3	4"	4.29 SF	3.200 SF	

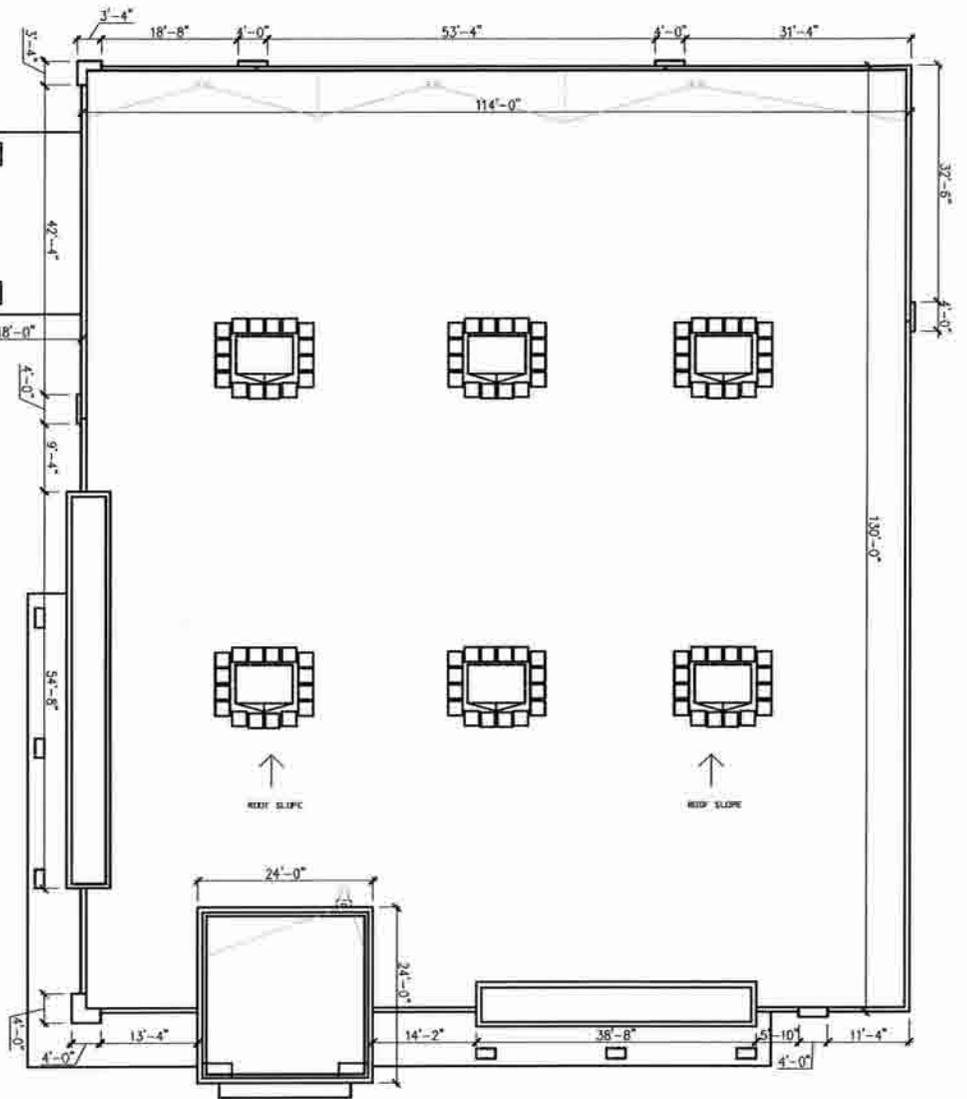
Rose Ranch
Shopping Center
Rose & Gonzales, Oxnard, CA

Developer
PARKSTONE COMPANIES
660 Hampshire Rd. Suite 100
Vista Lake Village, CA 91381
(805) 373-8808

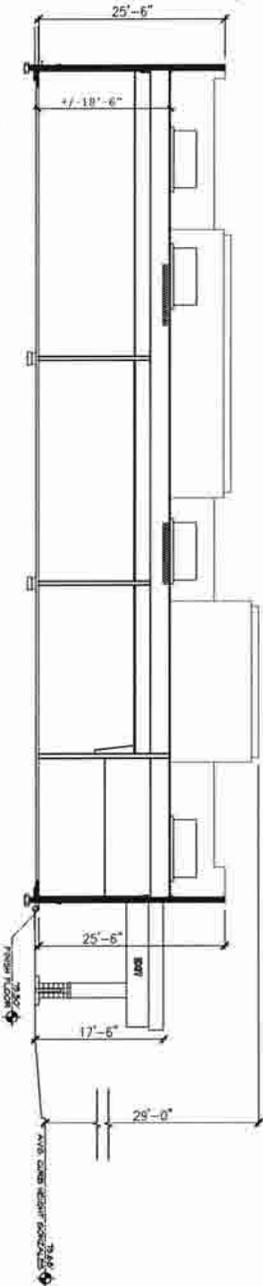
FIRMITAS
ARCHITECTURE
& PLANNING
3450 MAIN ST., SUITE 100
VAN NUYS, CA 91411
(818) 708-8888

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Retail Building #4 Roof Plan Scale: 1/8" = 1'-0"



Retail Building #4 Section Scale: 1/8" = 1'-0"



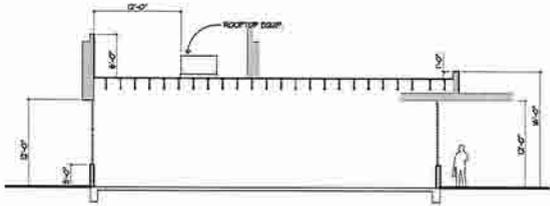
Rose Ranch
Shopping Center
Rose & Gonzales, Oxnard, CA

Developer:
PARKSTONE COMPANIES
660 Hemlock Rd. Suite 117
Wendle Village, CA 91361
(805) 373-8808

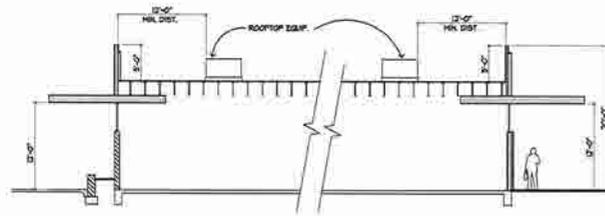
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ARCHITECTURE
& PLANNING

ME MARIE BIRD VINCENZA WAG
JR. BIRDZIN

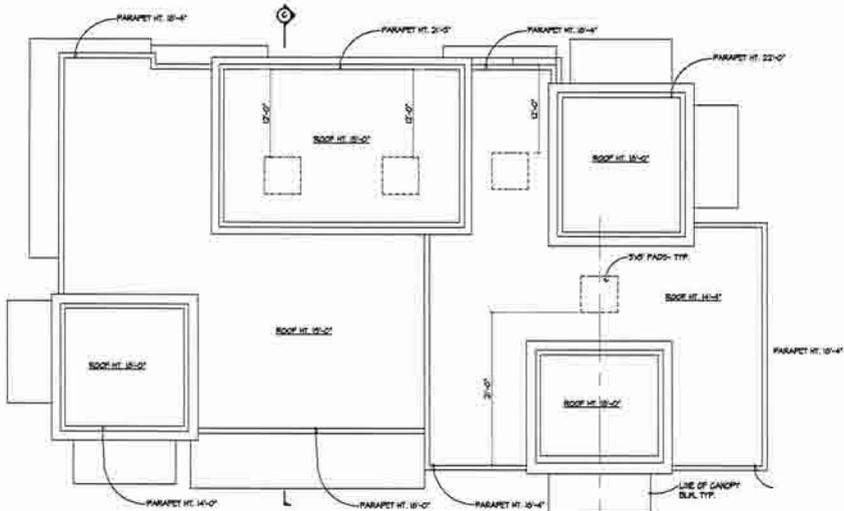
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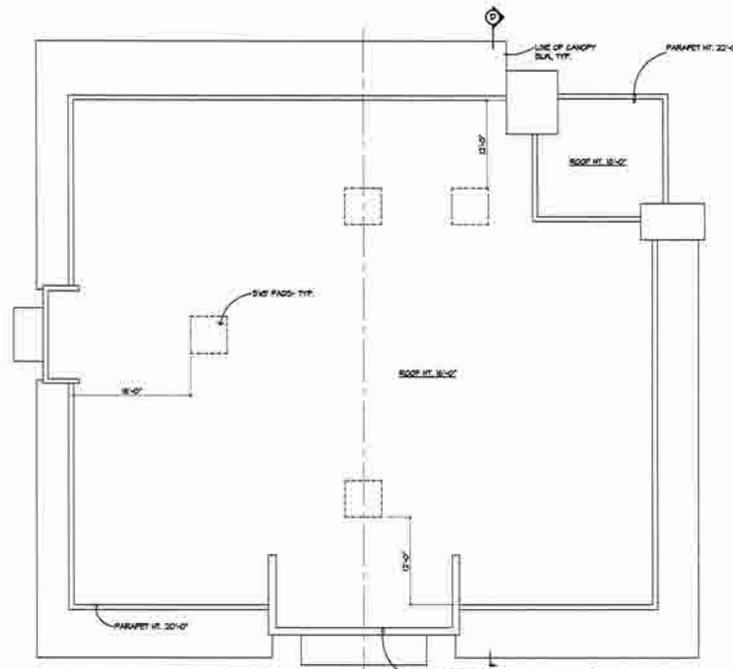
RETAIL BUILDING #6 SECTION C-C SCALE: 1/8"=1'-0"



RETAIL BUILDING #7 SECTION D-D SCALE: 1/8"=1'-0"



RETAIL BUILDING #6 ROOF PLAN SCALE: 1/8"=1'-0"



RETAIL BUILDING (BANK) #7 ROOF PLAN SCALE: 1/8"=1'-0"

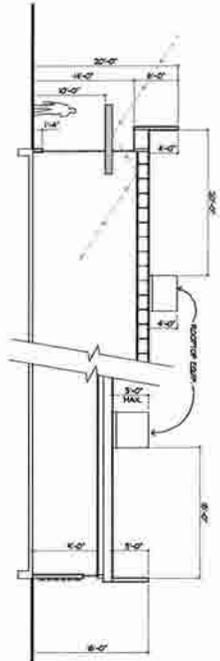
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ARCHITECTURE
& PLANNING

144 N. MADISON AVE. SUITE 100
P.O. BOX 1014
WINTERGARDEN, FL 34981-1014

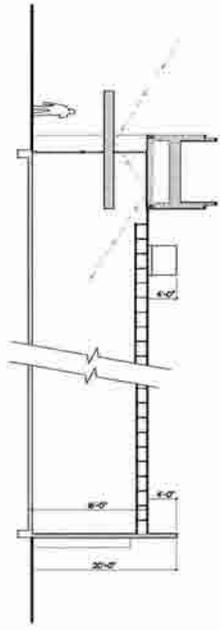
OWNER:
PARKSTONE COMPANIES
500 Thompsons Blvd., 1st
Floor, Suite 100
Oxnard, CA 91321
(805) 373-8058

Rose Ranch
Shopping Center
Rosse & Gonzales, Oxnard, CA

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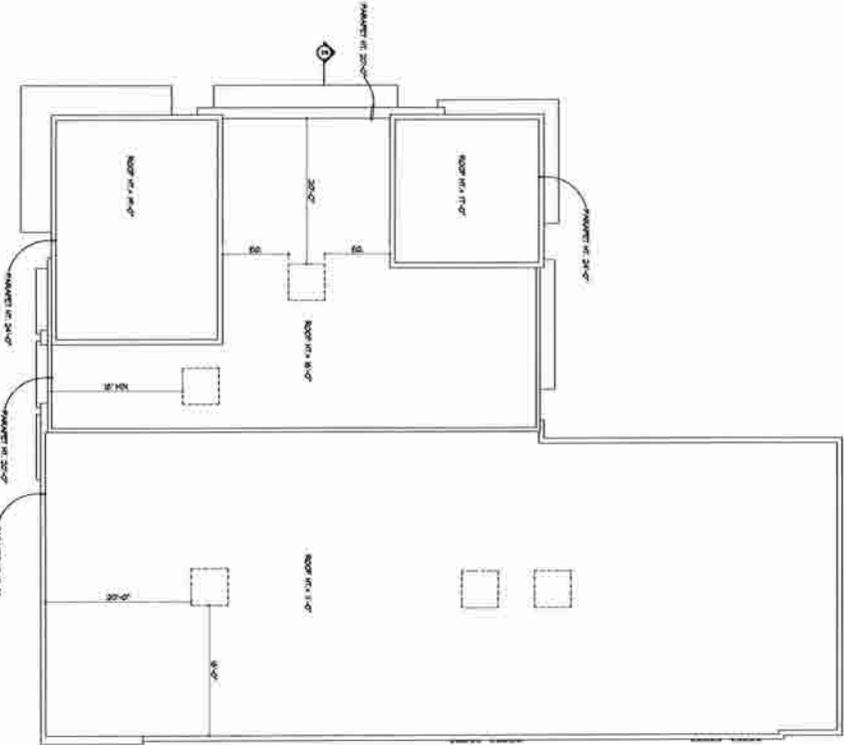


RETAIL BUILDING #9 SECTION E-E
SCALE 1/8"=1'-0"

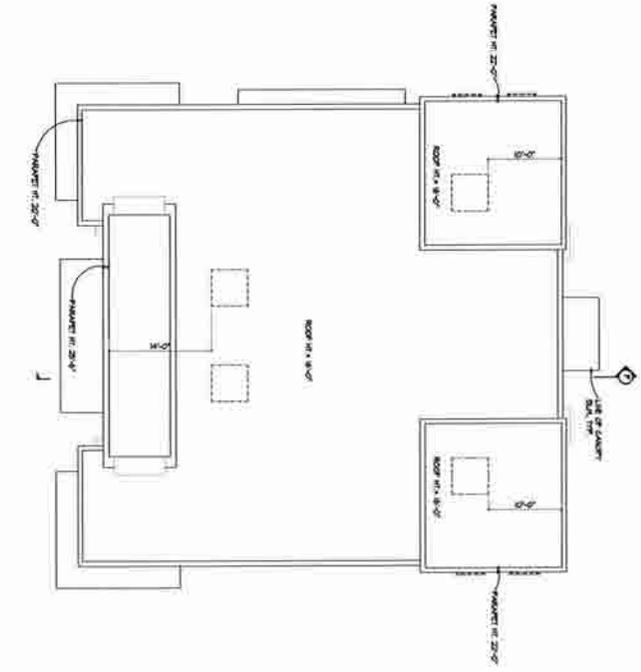


RETAIL BUILDING #10 SECTION F-F
SCALE 1/8"=1'-0"

RETAIL BUILDING #9 ROOF PLAN
SCALE 1/8"=1'-0"

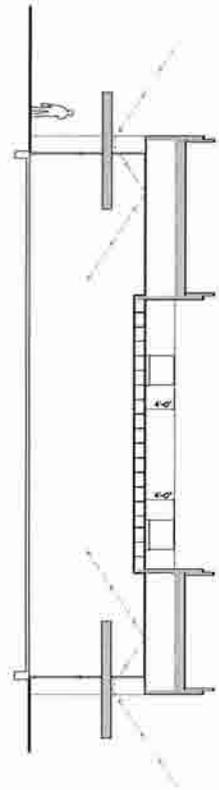


RETAIL BUILDING #10 ROOF PLAN
SCALE 1/8"=1'-0"

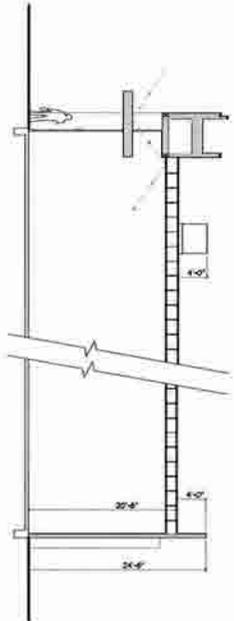


<p>Rose Ranch Shopping Center Rose & Gonzales, Oxnard, CA</p>	<p>Developer: PARKSTONE COMPANIES 850 Hampshire Rd. Suite 101 Woodlake Village, CA 91381 (805) 373-8808</p>	<p>FIRMITAS ARCHITECTURE & PLANNING 394 MADISON DRIVE C. WESTLAKE, CA 90009 (415) 336-4378</p>
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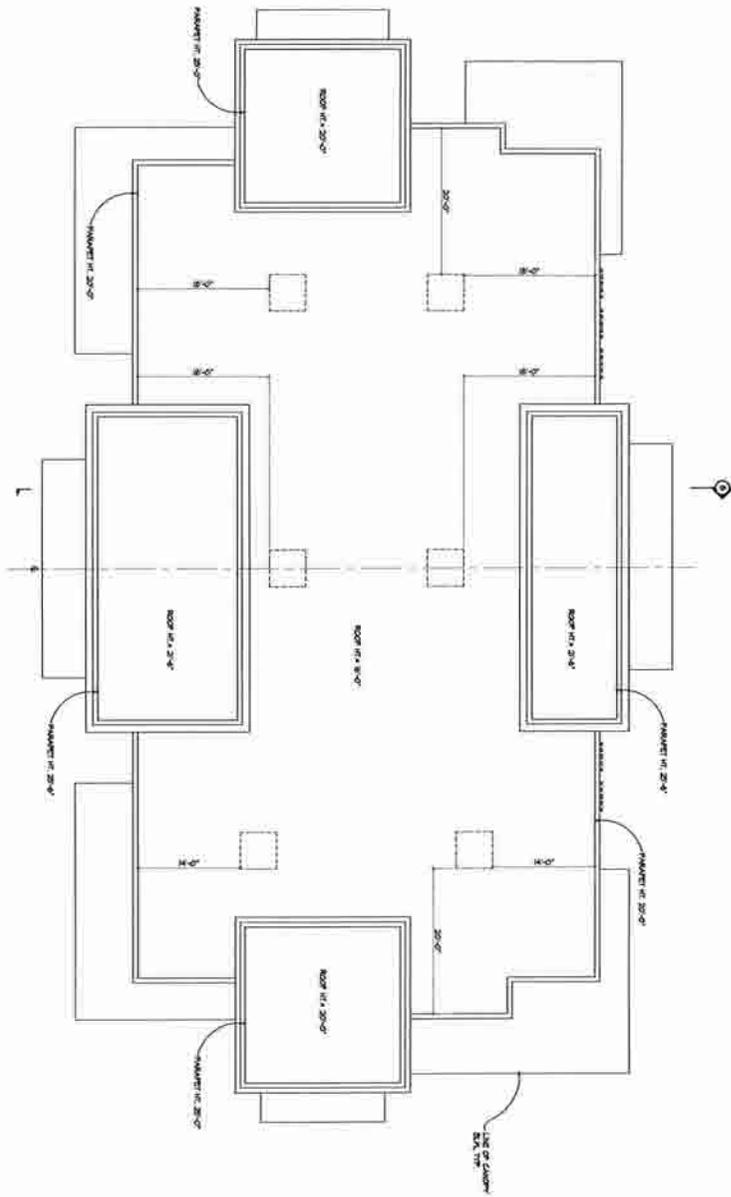
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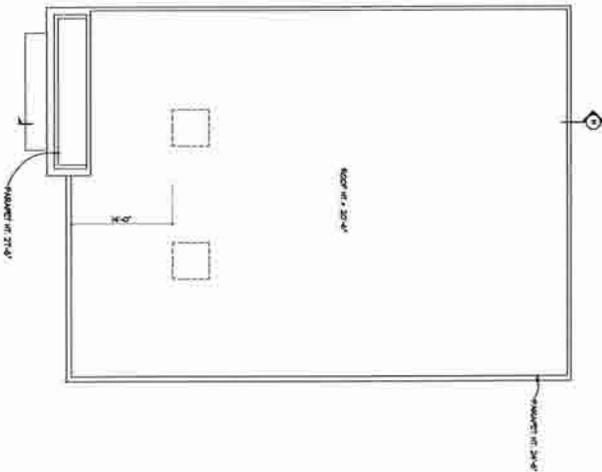
RETAIL BUILDING #8 SECTION G-G SCALE 1/8"=1'-0"



RETAIL BUILDING #3 SECTION H-H SCALE 1/8"=1'-0"



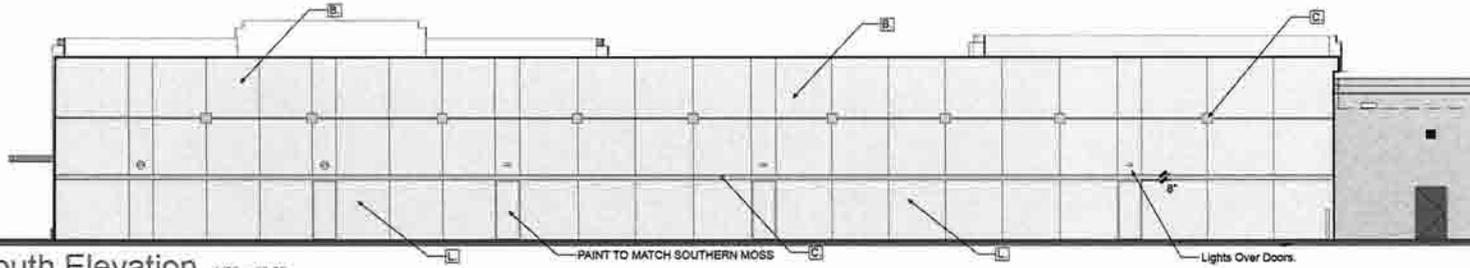
RETAIL BUILDING #8 ROOF PLAN SCALE 1/8"=1'-0"



RETAIL BUILDING #3 ROOF PLAN SCALE 1/8"=1'-0"

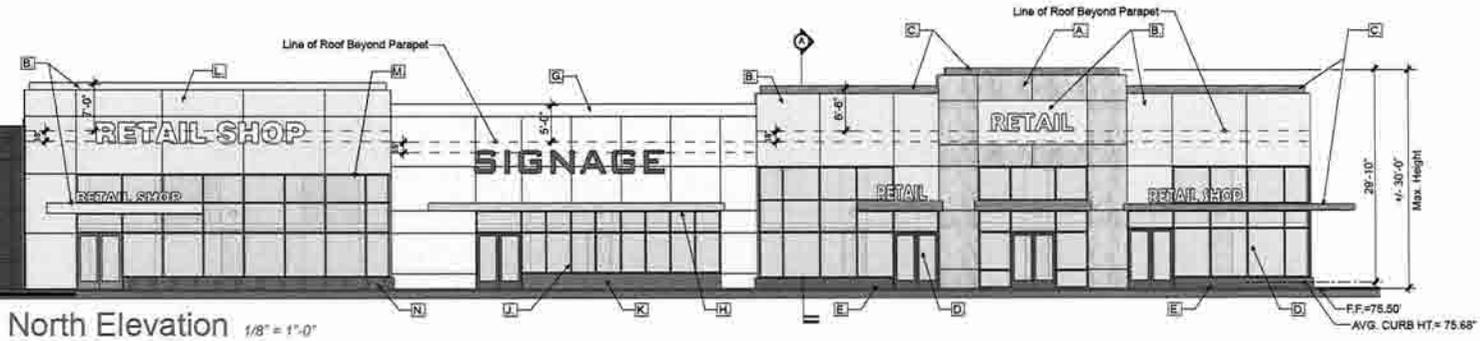
<p>Rose Ranch Shopping Center Rose & Gonzales, Oxnard, CA</p>	<p>Developed by PARKSTONE COMPANIES 600 Hampshire Rd. Suite 117 Westlake Village, CA 91361 (805) 373-8808</p>	<p>FIRMITAS ARCHITECTURE & PLANNING 3442 MADISON BLVD. - VENTURA CA 93140 TEL: 805/241-1174</p>
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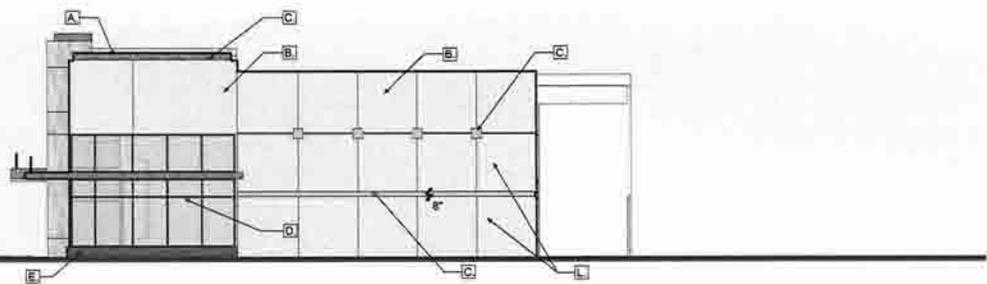


South Elevation 1/8" = 1'-0"

NOTE: Signage shown is for illustrative purposes only. Signage will be determined by future tenants per approved sign program guidelines.



North Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"

Building 1



Materials Legend:

- WALL CLADDING:**
CER "Petrarch" Cladding Panels
A. No. 519 Donnet with Hewn Slate texture
- CEMENT PLASTER - PRIMARY WALL COLOR**
B. La Habra X006 "Southern Moss" Flat 20/30 (Smooth)
- SHEET METAL**
C. Pre-Patina 20 oz. Copper band or medallion.
- STOREFRONT FRAME**
D. Durin Edwards DE 0281 "Silver Gray"
- TILE AT BASE**
E. QuTae 9201 Incaison Grey 16" Square
- STOREFRONT GLAZING**
F. PFG Solencia
- CEMENT PLASTER - PRIMARY WALL COLOR**
G. La Habra X205 "Saddleback" Flat 20/30 (Smooth)
- CANOPY FASCIA**
H. Mill Iron 24 gal. Aluminum
- STOREFRONT FRAME**
J. Durin Edwards DE 0064
- TILE**
K. Dal Tile S212 "Sandstone" Slate texture
- CEMENT PLASTER - PRIMARY COLOR**
L. La Habra X1830 Clay Flat 20/30 (Smooth)
- STOREFRONT FRAME**
M. Durin Edwards DE 0270 "Stone Crest"
- TILE**
N. Dal Tile L756 Caspian Silver Stone 18" SQ. Honed Finish
- CEMENT PLASTER - PRIMARY COLOR**
P. La Habra X0360 Sierra Tan Flat 20/30 (Smooth)
- STOREFRONT FRAME**
Q. Mill Iron Aluminum
- TRANSOM GLAZING**
R. Translucent Kalwall polycarbonate glazing with Mill Finish aluminum framing
- WALL CLADDING**
S. Trespa Meteon HAD95T
- CEMENT PLASTER - PRIMARY COLOR**
T. La Habra XA 830 Clay Flat 20/30 (Smooth)
- LANDSCAPE TRELLIS FEATURE**
U. "GreenScreen" with "artistic green" finish
- CEMENT PLASTER - PRIMARY COLOR**
V. La Habra X434 "Fatbrook" Flat 20/30 (Smooth)
- WALL CLADDING**
W. Trespa Meteon Cladding HW 975T
X. CEP Petrarch Cladding Panels Jade 001 Raven Stone "natural"
Y. CEP Petrarch Cladding Panels Mocha 002 Raven Stone texture
Z. CEP Petrarch Cladding Panels Parchment 011 Raven Stone texture
AA. Trespa Meteon A11 4-4/5T
- CEMENT PLASTER - PRIMARY COLOR**
BB. La Habra XA 276 "Trotter" Flat 20/30 (Smooth)

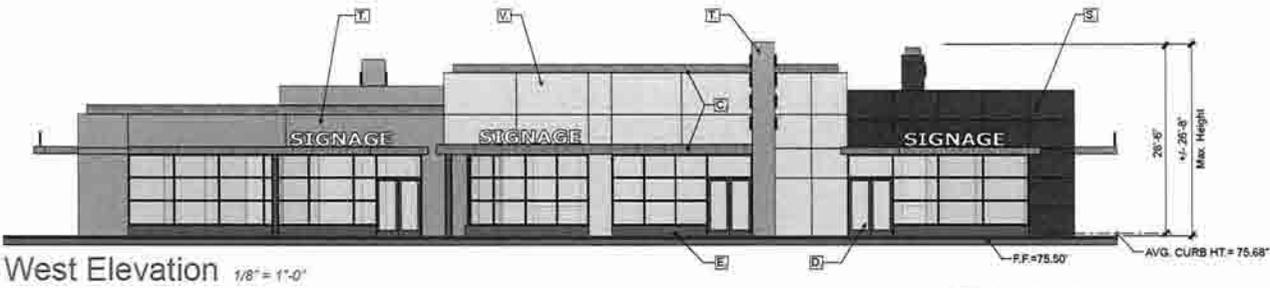
FIRMITAS
ARCHITECTURE
& PLANNING

194 MONTELEONE ST. C. SUITE 1100
HOUSTON, TX 77002
P. 713.865.2244 F. 713.865.2235

OWNER:
PARKSTONE COMPANIES
800 Hampshire Rd, Suite 100
Houston, TX 77060
(832) 373-8808

Rose Ranch
Shopping Center
Rose & Gonzales, Oxnard, CA

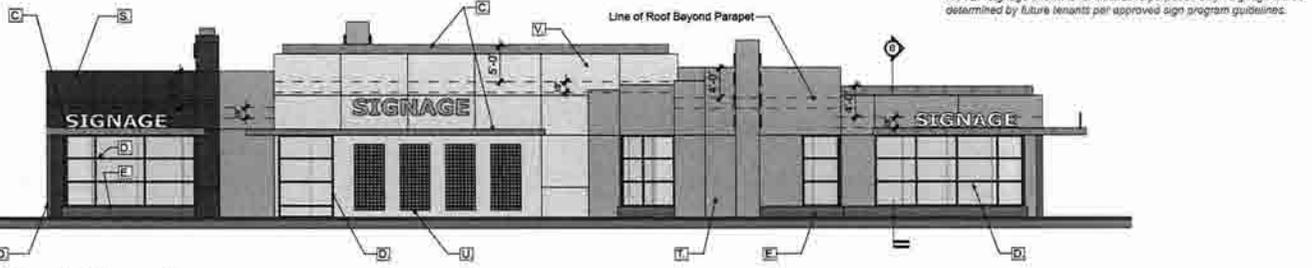
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West Elevation 1/8" = 1'-0"



South Elevation 1/8" = 1'-0"



East Elevation 1/8" = 1'-0"
Building 5



North Elevation 1/8" = 1'-0"



South Elevation 1/8" = 1'-0"



North Elevation 1/8" = 1'-0"
Buildings 2 & 3

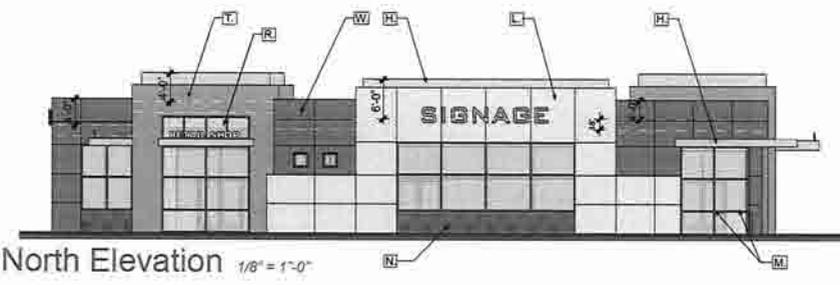
Materials Legend:

- WALL CLADDING:**
CEP "Rehars" Cladding Panels
A. No. 515 Corset with River Stone texture
 - CEMENT PLASTER - PRIMARY WALL COLOR**
B. La Habra X66 "Southern Moss" Flat 2030 (Smooth)
 - SHEET METAL**
C. Pre-Patina 20 oz. Copper band of oxidation
 - STOREFRONT FRAME**
D. Dunn Edwards DE 6231 "Shaker Gray"
 - TILE AT BASE**
E. Daltile 5201 Brassian Grey 16" Square
 - STOREFRONT GLAZING**
F. PPG Salsara
 - CEMENT PLASTER - PRIMARY WALL COLOR**
G. La Habra X25 "Sandstone" Flat 2030 (Smooth)
 - CANOPY FASCIA**
H. Mill finish 24 ga. Aluminum
 - STOREFRONT FRAME**
J. Dunn Edwards DE 6054
 - TILE**
K. Dal Tile 3212 "Sandstone" Stone texture
 - CEMENT PLASTER - PRIMARY COLOR**
L. La Habra 1/4 X300 Clay Flat 2030 (Smooth)
 - STOREFRONT FRAME**
M. Dunn Edwards DE 6278 "Stone Green"
- TILE**
N. Dal Tile L756 Canyon Shell Stone 16" SQ. Honed Finish
 - CEMENT PLASTER - PRIMARY COLOR**
P. La Habra X080 Sierra Tan Flat 2030 (Smooth)
 - STOREFRONT FRAME**
Q. Mill finish Aluminum
 - TRANSOM GLAZING**
R. Translucent Kawall polycarbonate glazing with Mill finish aluminum framing
 - WALL CLADDING**
S. Trespa Melton N4093T
 - CEMENT PLASTER - PRIMARY COLOR**
T. La Habra XX 830 Clay Flat 2030 (Smooth)
 - LANDSCAPE TRELLIS FEATURE**
U. "GreenScreen" with "winkle green" finish
 - CEMENT PLASTER - PRIMARY COLOR**
V. La Habra X434 "Fallbrook" Flat 2030 (Smooth)
 - WALL CLADDING**
W. Trespa Melton Cladding NW 075T
X. CEP Petrearch Cladding Panels Jade 001 River Stone Texture
Y. CEP Petrearch Cladding Panels Mocha 002 River Stone Texture
Z. CEP Petrearch Cladding Panels Parchment 011 River Stone Texture
AA. Trespa Melton A11.4 45T
 - CEMENT PLASTER - PRIMARY COLOR**
BB. La Habra XX 278 "Tribune" Flat 2030 (Smooth)

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& PLANNING
1000 MARKET AVENUE - SUITE 100 - WESTLAKE, CA 91361

OWNER: PARKSTONE COMPANIES
Rose Ranch Shopping Center
Rose & Gonzales, Oxnard, CA

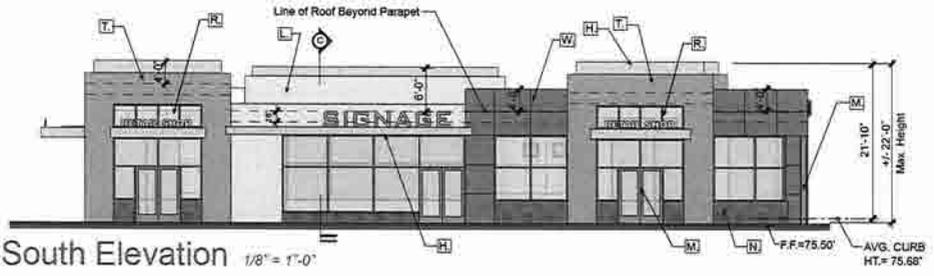
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North Elevation 1/8" = 1'-0"



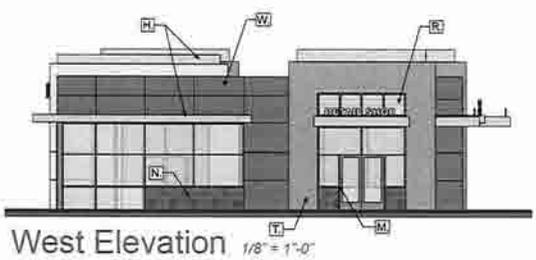
East Elevation 1/8" = 1'-0"



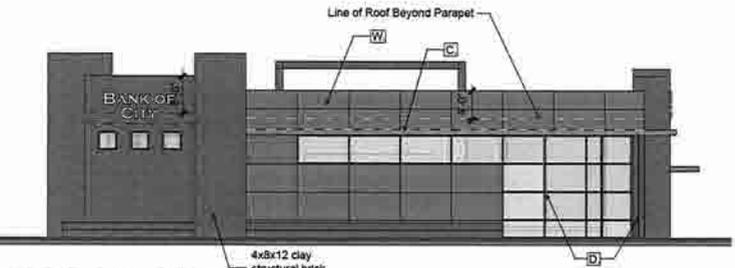
South Elevation 1/8" = 1'-0"

Building 6

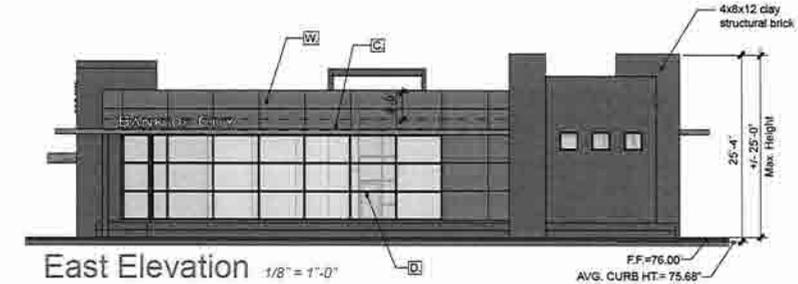
NOTE: Signage shown is for illustrative purposes only. Signage will be determined by future tenants per approved sign program guidelines.



West Elevation 1/8" = 1'-0"



North Elevation 1/8" = 1'-0"

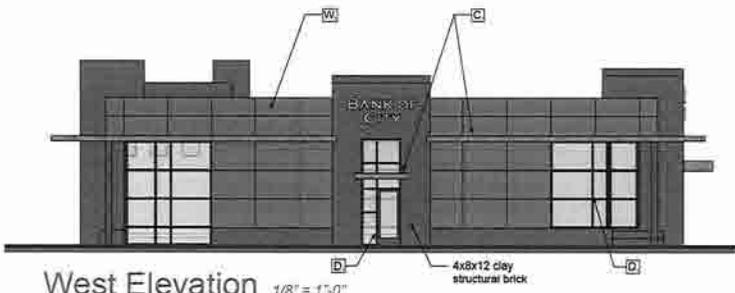


East Elevation 1/8" = 1'-0"



South Elevation 1/8" = 1'-0"

Building 7



West Elevation 1/8" = 1'-0"

Materials Legend:

- WALL CLADDING:**
CEP Petrarck Cladding Panels
A. No. 519 Dorset with Raven Slate texture
- CEMENT PLASTER - PRIMARY WALL COLOR**
B. La Habra X236 "Southern Moss" Float 2000 (smooth)
- SHEET METAL**
C. Pre-Patina 20 oz. Copper band or mediation
- STOREFRONT FRAME**
D. Dunn Edwards DE 6231 "Skuller Grey"
- TILE AT BASE**
E. Daltile S201 Brazilian Grey 16" Square
- STOREFRONT GLAZING**
F. PPG Solesia
- CEMENT PLASTER - PRIMARY WALL COLOR**
G. La Habra X25 Saddleback Float 2000 (smooth)
- CANOPY FASCIA**
H. Mill finish 24 ga. Aluminum
- STOREFRONT FRAME**
J. Dunn Edwards DE 6004
- TILE**
K. Daltile S212 "Sensations" Slate texture
- CEMENT PLASTER - PRIMARY COLOR**
L. La Habra HX830 Clay Float 2000 (smooth)
- STOREFRONT FRAME**
M. Dunn Edwards DE 6278 "Slooe Creek"
- TILE**
N. Daltile L756 Caspian Steel Stone 18" SQ Honed Finish
- CEMENT PLASTER - PRIMARY COLOR**
P. La Habra X2580 Sierra Thin Float 2000 (smooth)
- STOREFRONT FRAME**
Q. Mill finish Aluminum
- TRANSOM GLAZING**
R. Translucent Kahweil polycarbonate glazing with Mill finish aluminum framing
- WALL CLADDING**
S. Trepsa Metson NA095T
- CEMENT PLASTER - PRIMARY COLOR**
T. La Habra XX 130 Clay Float 2000 (Smooth)
- LANDSCAPE TRELLIS FEATURE**
U. "GreenScreen" with "winkie green" finish
- CEMENT PLASTER - PRIMARY COLOR**
V. La Habra 4434 "Fairbrook" Float 2000 (Smooth)
- WALL CLADDING**
W. Trepsa Metson Cladding NW 015T
X. CEP Petrarck Cladding Panels Jade 001 Raven Slate Texture
Y. CEP Petrarck Cladding Panels Mocha 002 Raven Slate Texture
Z. CEP Petrarck Cladding Panels Parchment 011 Raven Slate Texture
AA. Trepsa Metson A11.4.45T
- CEMENT PLASTER - PRIMARY COLOR**
BB. La Habra Xx 278 "Tribeca" Float 2000 (Smooth)

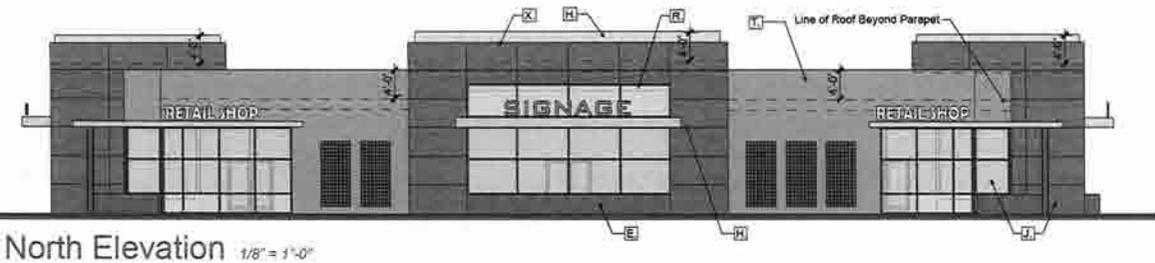
FIRMITAS
ARCHITECTURE
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194 MARINA BLVD. SUITE 100
SAN FRANCISCO, CA 94133
(415) 774-2244
WWW.FIRMITAS.COM

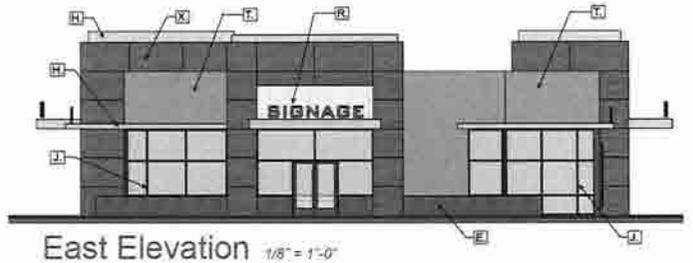
Architect:
PARKSTONE COMPANIES
ARCHITECTURE
& PLANNING
1000 MARINA BLVD. SUITE 100
SAN FRANCISCO, CA 94133
(415) 312-8800

Architect:
Rose Ranch Shopping Center
Rose & Gonzales, Oxnard, CA

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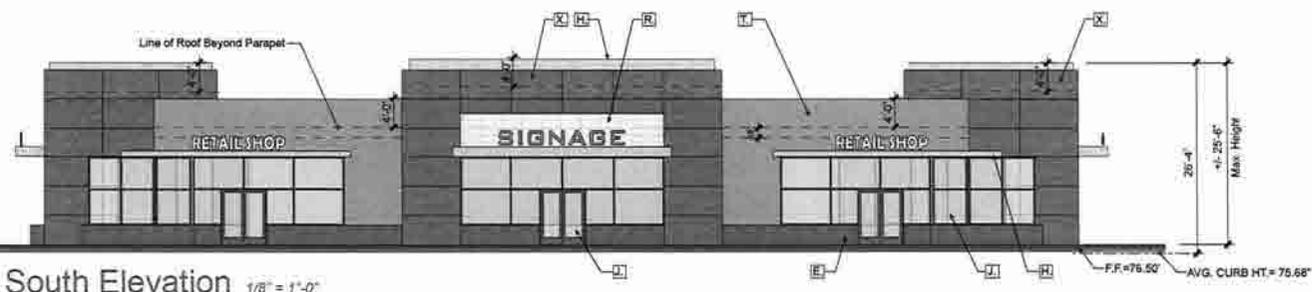


North Elevation 1/8" = 1'-0"

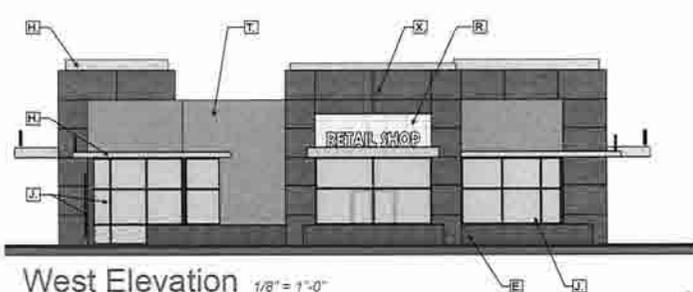


East Elevation 1/8" = 1'-0"

NOTE: Signage shown is for illustrative purposes only. Signage will be determined by future tenants per approved sign program guidelines.



South Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"

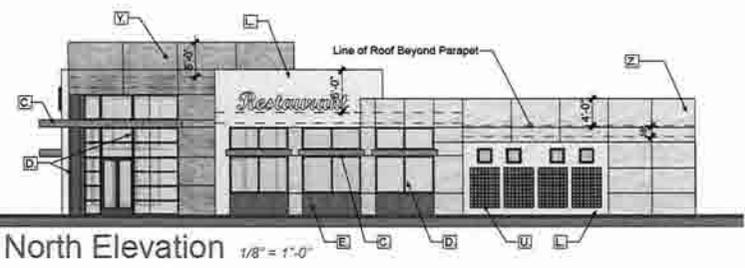
Building 8

Materials Legend:

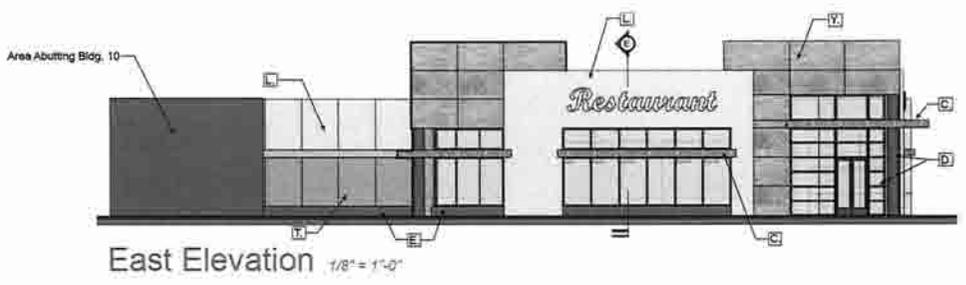
- WALL CLADDING:**
 - CEP "Petra" Cladding Panels
 - A. No. 519 Corset with Raven Stone texture
- CEMENT PLASTER - PRIMARY WALL COLOR**
 - B. La Habra X696 "Southern Moss" Flout 2030 (Smooth)
- SHEET METAL**
 - C. Pre-Patina 20 oz. Copper panel of installation
- STOREFRONT FRAME**
 - D. Quin Edwards DE 6231 "Shaker Gray"
- TILE AT BASE**
 - E. Dal'le S201 Brazilian Gray 11" Square
- STOREFRONT GLAZING**
 - F. PPG Seacore
- CEMENT PLASTER - PRIMARY WALL COLOR**
 - G. La Habra X25 Saddleback Flout 2030 (Smooth)
- CANOPY FASCIA**
 - H. Mill Iron 24 ga. Aluminum
- STOREFRONT FRAME**
 - J. Quin Edwards DE 5084
- TILE**
 - K. Dal'le S212 "Slate" Stone" Slate texture
- CEMENT PLASTER - PRIMARY COLOR**
 - L. La Habra X630 Clay Flout 2030 (Smooth)
- STOREFRONT FRAME**
 - M. Quin Edwards DE 6278 "Stone Green"
- TILE**
 - N. Dal'le L756 Calipari Shell Stone 12" SQ. Hooded Finish
- CEMENT PLASTER - PRIMARY COLOR**
 - P. La Habra X0960 Sierra Tan Flout 2030 (Smooth)
- STOREFRONT FRAME**
 - Q. Mill Iron Aluminum
- TRANSOM GLAZING**
 - R. Translucent Kiewit polycarbonate glazing with Mill Finish aluminum framing
- WALL CLADDING**
 - S. Trempa Melton NAK93T
- CEMENT PLASTER - PRIMARY COLOR**
 - T. La Habra X4 600 Clay Flout 2030 (Smooth)
- LANDSCAPE TRELLIS FEATURE**
 - U. "GreenClavier" with "wreath green" finish
- CEMENT PLASTER - PRIMARY COLOR**
 - V. La Habra X24 "Flatback" Flout 2030 (Smooth)
- WALL CLADDING**
 - W. Trempa Melton Cladding HW 07/ST
 - X. CEP Petraclad Cladding Panels Jade 001 Raven Stone Texture
 - Y. CEP Petraclad Cladding Panels Mocha 002 Raven Stone Texture
 - Z. CEP Petraclad Cladding Panels Parchment 011 Raven Stone Texture
 - AA. Trempa Melton A11.4 4ST
- CEMENT PLASTER - PRIMARY COLOR**
 - BB. La Habra X0 278 "Trabuco" Flout 2030 (Smooth)

FIRMITAS
ARCHITECTURE
& PLANNING
10000 BIRCH AVE. SUITE 100
MIRAMONTE, CA 91301
(818) 373-8208

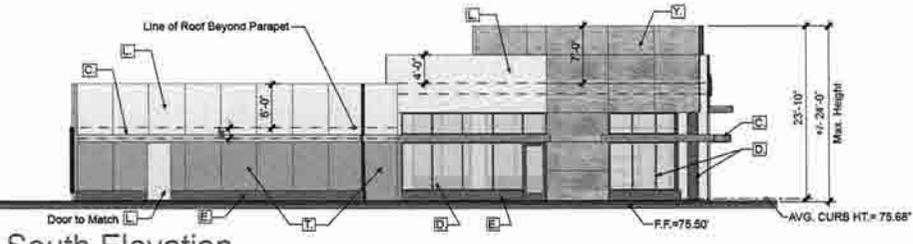
Rose Ranch
Shopping Center
Rose & Gonzales, Oxnard, CA



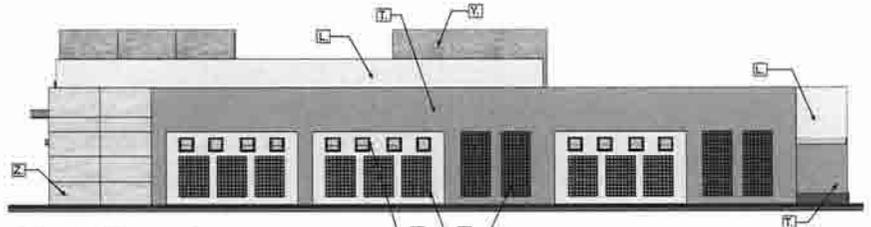
North Elevation 1/8" = 1'-0"



East Elevation 1/8" = 1'-0"



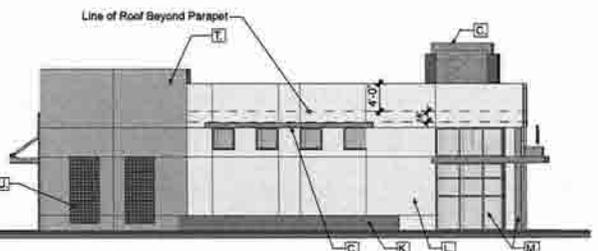
South Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"

Building 9

NOTE: Signage shown is for illustrative purposes only. Signage will be determined by future tenants per approved sign program guidelines.



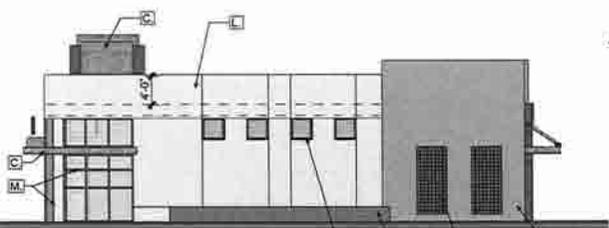
South Elevation 1/8" = 1'-0"



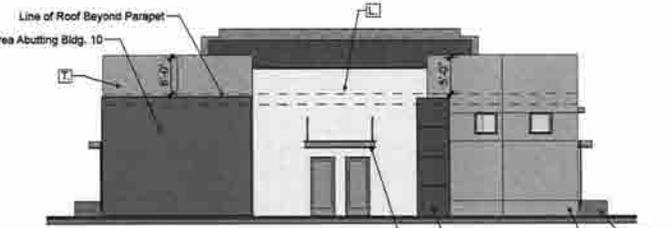
East Elevation 1/8" = 1'-0"

Materials Legend:

- WALL CLADDING:**
 - CEP "Petracon" Cladding Panels
 - A. No. 519 Corstel with River Stone texture
- CEMENT PLASTER - PRIMARY WALL COLOR**
 - B. La Habra MS9 "Southern Moss" Flat 2030 (Smooth)
- SHEET METAL**
 - C. Pre-Patina 20 oz. Copper sand or mezzian
- STOREFRONT FRAME**
 - D. Dunn Edwards DE 6231 "Shaker Gray"
- TILE AT BASE**
 - E. Daltile S201 Brazilian Grey 10" Square
- STOREFRONT GLAZING**
 - F. PPG Solocal
- CEMENT PLASTER - PRIMARY WALL COLOR**
 - G. La Habra X25 "Islandback" Flat 2030 (Smooth)
- CANOPY FASCIA**
 - H. Mill Iron 24 ga. Aluminum
- STOREFRONT FRAME**
 - J. Dunn Edwards DE 6084
- TILE**
 - K. Daltile S212 "Sensations" Stone texture
- CEMENT PLASTER - PRIMARY WALL COLOR**
 - L. La Habra Hs X330 Clay Flat 2030 (Smooth)
- STOREFRONT FRAME**
 - M. Dunn Edwards DE 6274 "Stone Creek"
- TILE**
 - N. Daltile L756 Canyon Shell Stone 12" Sq. Honed Finish
- CEMENT PLASTER - PRIMARY COLOR**
 - P. La Habra X060 Sierra Tan Flat 2030 (Smooth)
- STOREFRONT FRAME**
 - Q. Mill Finish Aluminum
- TRANSOM GLAZING**
 - R. Translucent Kaseal polycarbonate glazing with Mill Finish aluminum framing
- WALL CLADDING**
 - S. Trespa Melcon INA9/ST
- CEMENT PLASTER - PRIMARY COLOR**
 - T. La Habra X1 830 Clay Flat 2030 (Smooth)
- LANDSCAPE TRELLIS FEATURE**
 - U. "GreenGlow" with "mimic grass" finish
- CEMENT PLASTER - PRIMARY COLOR**
 - V. La Habra X434 "Fairbrook" Flat 2030 (Smooth)
- WALL CLADDING**
 - W. Trespa Melcon Cladding HW 07/ST
 - X. CEP Petracon Cladding Panels Jade 001 River Stone Texture
 - Y. CEP Petracon Cladding Panels Mocha 002 River Stone Texture
 - Z. CEP Petracon Cladding Panels Parchment 011 River Stone Texture
 - AA. Trespa Melcon A11 & A5T
- CEMENT PLASTER - PRIMARY COLOR**
 - BB. La Habra XX 278 "Tussock" Flat 2030 (Smooth)



North Elevation 1/8" = 1'-0"



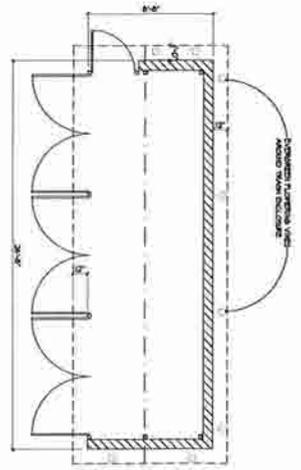
West Elevation 1/8" = 1'-0"

Building 10

FIRMITAS
ARCHITECTURE
& PLANNING
1001 W. 10TH ST., SUITE 1000
SAN ANTONIO, TEXAS 78207
(214) 343-1000

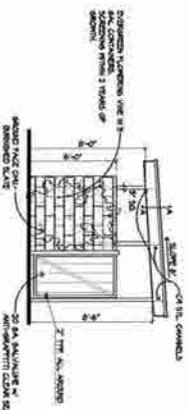
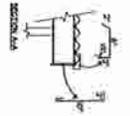
ROSE RANCH
SHOPPING CENTER
ROSE & GONZALES, OXNARD, CA

PARKSTONE COMPANIES
ARCHITECTURE
& PLANNING
10000 W. 10TH ST., SUITE 1000
SAN ANTONIO, TEXAS 78207
(214) 343-1000



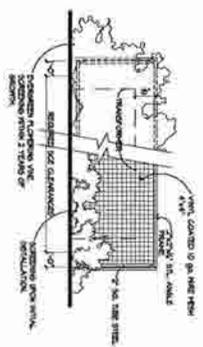
TRASH ENCLOSURE PLAN

SCALE: 1/8"=1'-0"



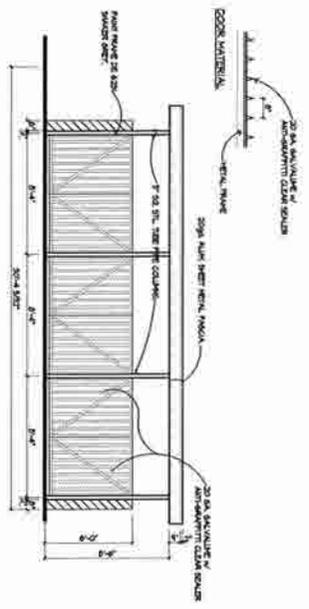
TRASH ENCLOSURE SIDE ELEV.

SCALE: 1/8"=1'-0"



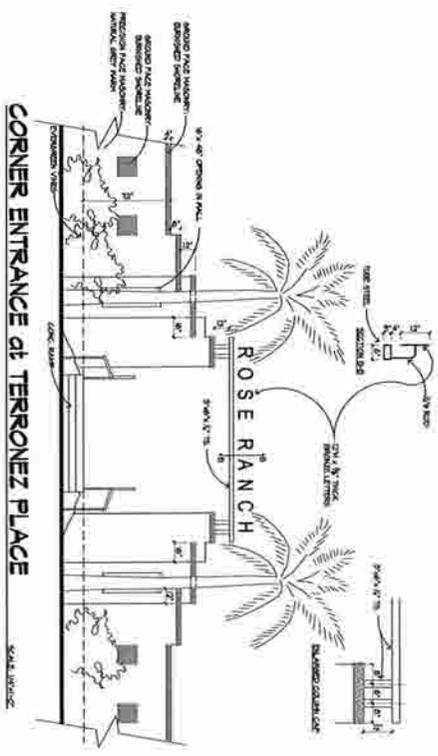
TRANSFORMER & BACKFLOW DEVICE SCREENING

SCALE: 1/8"=1'-0"



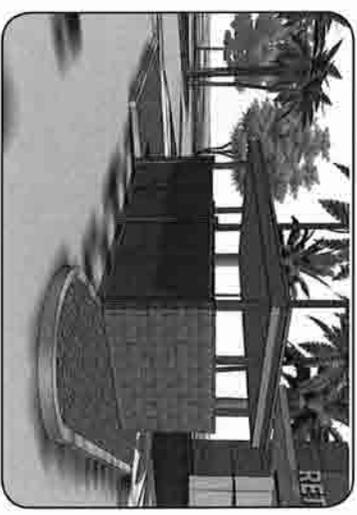
TRASH ENCLOSURE FRONT ELEV.

SCALE: 1/8"=1'-0"

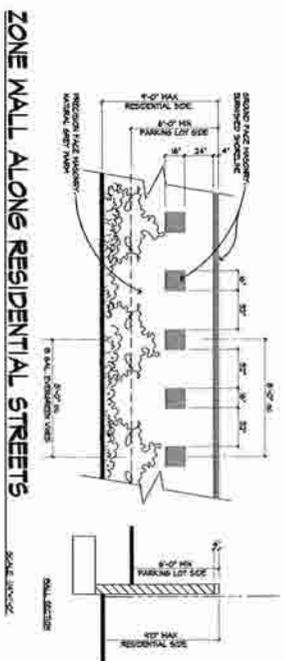


CORNER ENTRANCE AT TERONEZ PLACE

SCALE: 1/8"=1'-0"



TRASH ENCLOSURE



ZONE WALL ALONG RESIDENTIAL STREETS

SCALE: 1/8"=1'-0"

<p>Rose Ranch Shopping Center Rose & Gonzales, Oxnard, CA</p>	<p>Developer PARKSTONE COMPANIES 650 Hampshire Rd., Suite "U" Westlake Village, CA 91361 (805) 373-8808</p>	<p>FIRMITAS ARCHITECTURE & PLANNING ONE MARSH RITE, VENTURA CA 93143 PH: 805/648-2318 FX: 805/648-1379</p>
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Attachment C: Sign Program



ROSE RANCH SIGN PROGRAM

APPLICANT:
PARKSTONE COMPANIES WESTLAKE VILLAGE CA

ARCHITECTURE & PLANNING BY

FIRMITAS
ARCHITECTURE
& PLANNING

DESIGN GUIDELINES

ONE PRIMARY IDENTIFICATION SIGN SHALL BE ALLOWED PER STOREFRONT FACING THE STREET AND/OR PARKING LOT. ALSO, ONE UNDER-CANOPY (BLADE) SIGN (PLACED PERPENDICULAR TO BUILDING FACE) WILL BE ALLOWED PER ENTRANCE. INTERNAL OR EXTERNAL LIGHT TREATMENTS WILL BE ALLOWED BUT ARE NOT REQUIRED.

THE SIGN AREA ALLOCATED TO EACH BUSINESS SHALL BE BASED ON THE BUSINESS FRONTAGE. NO SIGN SHALL EXCEED 70% IN LENGTH OF A WALL OR CANOPY ON WHICH IT IS PLACED. NOTWITHSTANDING ANY OTHER PROVISION, SIGNS ON ANY ONE ELEVATION OF A BUILDING SHALL NOT EXCEED 10% OF THE TOTAL WALL SURFACE OF THAT ELEVATION. THE BOTTOM OF ANY WALL SIGN SHALL BE A MINIMUM OF 8' FEET ABOVE THE GROUND LEVEL. ONE LINE OF TEXT IS ALLOWED ON THE ON CANOPY SIGNS AND TWO LINES OF TEXT IS ALLOWED ON THE WALL SIGNS. SIGNS SHALL BE PLACED ON THE WALL OR UPON CANOPY ADJACENT TO TENANT'S SPACE. SIGNS ON A CANOPY SHALL BE COMPRISED OF INDIVIDUAL LETTERS MOUNTED TO THE CANOPY AND SHALL BE NO TALLER THAN 18 INCHES. FOR ON CANOPY SIGNS THERE SHALL BE NO BACKING BEHIND THE LETTERS AND THERE SHALL BE ENOUGH ROOM BETWEEN EACH LETTER TO SEE THROUGH THE SIGN. WHEN A SIGN IS PROPOSED ON A CANOPY AND A RACEWAY IS REQUIRED, THE RACEWAY WILL BE PAINTED TO MATCH THE WALL BEYOND IT. HOWEVER, CREATIVE TREATMENTS FOR RACEWAYS ARE ENCOURAGED AND WILL BE CONSIDERED.

ELECTRICAL REQUIREMENTS

TRANSFORMERS SHALL NOT EXCEED 30MA. ALL PENETRATIONS SHALL BE SEALED IN A WATERTIGHT MANNER. ONLY UL APPROVED COMPONENTS SHALL BE USED. NO SIGN COMPANY LABELS SHALL BE PERMITTED ON EXPOSED SURFACES EXCEPT THOSE REQUIRED BY UL. ALL WIRING CROSSOVERS SHALL BE CONCEALED BEHIND THE WALL OR WITHIN A RACEWAY (ONLY ALLOWED ON CANOPIES AND WHERE NO OTHER WAY TO PROVIDE WIRING). THE TENANT IS RESPONSIBLE FOR PRIMARY TERMINATION.

SUMBITTAL REQUIREMENTS

SUBMIT TWO SETS OF PLANS TO THE LANDLORD. PLANS WILL BE NOTED APPROVED, APPROVED AS NOTED OR DISAPPROVED. CORRECTED PLANS SHALL BE RESUBMITTED TO LANDLORD IF INITIAL SUBMITTAL IS DISAPPROVED/REJECTED. THE CITY OF OXNARD SHALL ONLY ACCEPT FOR PERMIT ISSUANCE THOSE SIGNED PREVIOUSLY APPROVED BY THE LANDLORD.

TENANT IS RESPONSIBLE FOR OBTAINING A BUILDING PERMIT FROM THE CITY FOR ANY AND ALL SIGNS. NO SIGNS SHALL BE ERECTED UNTIL LANDLORD APPROVAL AND SECURING OF A BUILDING PERMIT. LANDLORD HAS THE SPECIFIC RIGHT TO REFUSE APPROVAL OF ANY SIGN THAT DOES NOT CONFORM TO THESE SIGN GUIDELINES OR CITY SIGN ORDINANCE.

THE FOLLOWING GRAPHICS ARE CONSIDERED A MINIMUM SUBMITTAL:

1. SITE PLAN SHOWING LOCATION OF PREMISES AND SIGN LOCATION
2. SCALED STOREFRONT ELEVATION DRAWING SHOWING PROPOSED SIGN DESIGN AS IT RELATES TO TENANT'S PREMISES
3. SIZE OF SIGN LETTERS, SPECIFICATIONS AND SECTIONS THROUGH THE SIGN
4. ALL MATERIALS, COLORS AND FINISHES
5. METHOD AND COLOR OF ILLUMINATION

ALLOWABLE SIGN AREAS PER BUILDING

MULTI-TENANT BLDG. SIGNS: BLDG. 1

SECONDARY* FRONTAGE: LENGTH OF FRONTAGE		SQ. FT. ALLOWED	ALLOCATED
NORTH	175 L.F.	0.5 S.F./L.F. = 88 S.F.	64 S.F.
BLADE SIGN @ EACH TENANT SPACE'S ENTRY (3)		4 S.F./SIDE EA. SIGN	24 S.F.
TERTIARY FACADES: LENGTH OF FRONTAGE		SQ. F.T ALLOWED	ALLOCATED
WEST	64 L.F.	.25 S.F./L.F. = 16 S.F.	16 S.F.

FRESH & EASY BUILDING SIGNS: BLDG. 2

SECONDARY* FRONTAGE: LENGTH OF FRONTAGE		SQ. FT. ALLOWED	ALLOCATED
NORTH	126 L.F.	0.5 S.F./L.F. = 63 S.F.	55 S.F.
BLADE SIGN AT ENTRY		4 S.F. EA. SIDE	8 S.F.
SIGN SPACE ON MONUMENT SIGNS (2)		26 S.F. & 48 S.F. ***	74 S.F.**

TENANT BLDG. SIGNS: BLDG. 3

SECONDARY* FRONTAGE: LENGTH OF FRONTAGE		SQ. FT. ALLOWED	ALLOCATED
NORTH	50 L.F.	0.5 S.F./L.F. = 25 S.F.	17 S.F.
BLADE SIGN AT ENTRY		4 S.F. EA. SIDE	8 S.F.

WALGREENS BUILDING SIGNS: BLDG. 4

PRIMARY FRONTAGE: LENGTH OF FRONTAGE		SQ. FT. ALLOWED	ALLOCATED
EAST	130 L.F.	2.0 S.F./L.F. = 260 S.F.	37 S.F.
SECONDARY FACADES: LENGTH OF FRONTAGE		SQ. F.T ALLOWED	ALLOCATED
NORTH	114 L.F.	0.5 S.F./L.F. = 57 S.F.	140 S.F.
BLADE SIGN AT ENTRY		4 S.F. EA. SIDE	8 S.F.
SIGN SPACE ON MONUMENT SIGNS (2)		48 S.F. & 26 S.F. ***	74 S.F.
TOTAL SIGN AREA ALLOWED: 300 S.F.		TOTAL AREA PROPOSED: 222 S.F.	

* DUE TO SETBACK FROM STREET, THE NORTH ELEVATIONS OF BLDG'S. 1 THRU 4 ARE CONSIDERED SECONDARY FRONTAGES AND CALCULATED ACCORDINGLY. NO SIGNS SHALL BE PLACED ON THE SOUTHERN ELEVATION OF BUILDINGS 1 THROUGH 4.

** AREAS FOR BLDG'S. 2 & 9 MONUMENT SIGN SPACE IS TAKEN FROM THE ALLOWABLE AREAS ON PRIMARY FRONTAGES ON BLDG'S. 5 & 6

*** WALGREENS WILL HAVE 48 S.F. ON THE GONZALES ROAD MONUMENT SIGN & 26 S.F. ON THE ROSE AVE. MONUMENT SIGN WHILE FRESH & EASY WILL HAVE 48 S.F. ON ROSE & 26 S.F. ON GONZALES ROAD

MULTI-TENANT SIGNS: BLDG. 5

PRIMARY FRONTAGE:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
EAST	130 L.F.	2.0 S.F./L.F. = 260 S.F.	80 S.F.
BLADE SIGN @ EACH TENANT SPACE'S ENTRY (3)		4 S.F./SIDE EA. SIGN	24 S.F.
SECONDARY FACADES:	LENGTH OF FRONTAGE	SQ. F.T ALLOWED	ALLOCATED
WEST	130 L.F.	0.5 S.F./L.F. = 65 S.F.	80 S.F.
TERTIARY FACADES:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
SOUTH	42 L.F.	0.25 S.F./L.F. = 11 S.F.	30 S.F.
NORTH	42 L.F.	0.25 S.F./L.F.= 11 S.F.	30 S.F.
SIGN AREA "DONATED" TO MONUMENT SIGN SPACE FOR BLDG. 2			<u>52 S.F.</u>
TOTAL SIGN AREA ALLOWED BLDG. 5 : 300 S.F.			TOTAL AREA ALLOCATED: 296 S.F.

MULTI-TENANT SIGNS: BLDG. 6

PRIMARY FRONTAGE:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
NORTH	96 L.F.	2.0 S.F./L.F. = 192 S.F.	80 S.F.
BLADE SIGN @ EACH TENANT SPACE'S ENTRY (2)		4 S.F./SIDE EA. SIGN	16 S.F.
SECONDARY FACADES:	LENGTH OF FRONTAGE	SQ. F.T ALLOWED	ALLOCATED
SOUTH	96 L.F.	0.5 S.F./L.F. = 48 S.F.	80 S.F.
TERTIARY FACADES:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
WEST	54 L.F.	0.25 S.F./L.F. = 14 S.F.	14 S.F.
EAST	54 L.F.	0.25 S.F./L.F. = 14 S.F.	<u>14 S.F.</u>
SIGN AREA "DONATED" TO MONUMENT SIGN SPACE FOR BLDG. 9			<u>42 S.F.</u>
TOTAL SIGN AREA ALLOWED BLDG. 6: 268 S.F.			TOTAL AREA ALLOCATED: 246 S.F.

BANK TENANT SIGNS: BLDG. 7

PRIMARY FRONTAGE:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
NORTH	81 L.F.	2.0 S.F./L.F. = 162 S.F.	40 S.F.
BLADE SIGN @ EACH ENTRY (2)		4 S.F./SIDE EA. SIGN	16 S.F.
INDIVIDUAL MONUMENTY SIGN AT NORTH SIDE		25 S.F./SIDE	50 S.F.
SECONDARY FACADES:	LENGTH OF FRONTAGE	SQ. F.T ALLOWED	ALLOCATED
SOUTH	81 L.F.	0.5 S.F./L.F. = 40 S.F.	80 S.F.
TERTIARY FACADES:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
WEST	68 L.F.	0.25 S.F./L.F. = 17 S.F.	20 S.F.
EAST	68 L.F.	0.25 S.F./L.F. = 17 S.F.	<u>20 S.F.</u>
TOTAL SIGN AREA ALLOWED BLDG. 7: 226 S.F.		TOTAL AREA ALLOCATED:	226 S.F.

MULTI TENANT SIGNS: BLDG. 8

PRIMARY FRONTAGE:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
NORTH	135 L.F.	2.0 S.F./L.F. = 270 S.F.	80 S.F.
BLADE SIGN @ EACH TENANT SPACE'S ENTRY (3)		4 S.F./SIDE EA. SIGN	24 S.F.
SECONDARY FACADES:	LENGTH OF FRONTAGE	SQ. F.T ALLOWED	ALLOCATED
SOUTH	135 L.F.	0.5 S.F./L.F. = 67 S.F.	100 S.F.
TERTIARY FACADES:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
WEST	64 L.F.	0.25 S.F./L.F. = 16 S.F.	20 S.F.
EAST	64 L.F.	0.25 S.F./L.F. = 16 S.F.	20 S.F.
TOTAL SIGN AREA ALLOWED BLDG. 8: 300 S.F.		TOTAL AREA PROPOSED:	244 S.F.

RESTAURANT BLDG. SIGNS: BLDG. 9

PRIMARY FRONTAGE:	LENGTH OF FRONTAGE	SQ. FT. ALLOWED	ALLOCATED
NORTH	83 L.F.	0.5 S.F./L.F. 166 S.F.	100 S.F.
TOTAL SIGN AREA ALLOWED BLDG. 9: 166 S.F.		TOTAL AREA PROPOSED:	100 S.F.

NOTE: NO SIGNS SHALL BE ALLOWED ON THE EASTERN ELEVATION OF BLDG. 9.

Continued next page

TENANT BLDG. SIGNS: BLDG. 10

PEIMARY FRONTAGE: LENGTH OF FRONTAGE
EAST 62 L.F.

SQ. FT. ALLOWED
2.0 S.F./L.F. = 124 S.F.

ALLOCATED
100 S.F.

SECONDARY FACADES: LENGTH OF FRONTAGE
SOUTH 66 L.F.

SQ. F.T ALLOWED
0.5 S.F./L.F. = 33 S.F.

ALLOCATED
30 S.F.

TOTAL SIGN AREA ALLOWED BLDG. 10: 157 S.F.

TOTAL AREA PROPOSED: 130 S.F.

TOTAL BUILDING SIGN AREAS

ALLOWED

PROPOSED

1,975 S.F.

1,475 S.F.

BLDG. 7 (BANK) MONUMENT SIGN

50 S.F.

50 S.F.

2 SITE MONUMENT SIGNS

190 S.F. 2 X 95 S.F. EA. = 190 S.F.

TOTAL SIGN AREA FOR ENTIRE PROJECT

2,215 S.F.

1,715 S.F.

ACCEPTABLE SIGN TREATMENTS

NATURAL METALS ENCOURAGED (BRUSHED ALUMINUM, COPPER, BRONZE STAINLESS STEEL)
SCREENS, GRIDS OR MESH
POLISHED NATURAL METALS
NEON
DIMENSIONAL LETTERFORMS WITH SEAMLESS EDGE TREATMENT

PROHIBITED SIGN TYPES

1. INTERNALLY ILLUMINATED BOX/CAN SIGNS
2. PERMANENT ADVERTISING DEVICES SUCH AS BANNERS, POSTERS & FLAGS
3. EXPOSED JUNCTION BOXES, TRANSFORMERS, LAMPS AND CONDUIT
4. VACUUM FORMED PLASTIC
5. PAPER, CARDBOARD OR STYROFOAM SIGNS
6. SIMULATED MATERIALS (I.E. WOOD GRAINED PLASTIC LAMINATES)
7. ANIMATED LIGHTS OR OTHER MOVING SIGN COMPONENTS
8. ALL OTHER SIGNS PROHIBITED BY THE CITY SIGN ORDINANCE
9. NO TEMPORARY SIGNS OF ANY NATURE UNLESS PERMITTED THROUGH CITY TEMPORARY GRAND OPENING SIGN PERMIT AND APPROVED BY LANDLORD
10. ANY TYPE OF ILLUMINATED OR PAINTED WINDOW SIGNS, PLACARDS, OR TEMPORARY WINDOW SIGNAGE, BALLOONS FOR ANY PURPOSE

11. OFF-PREMISE SIGNS

12. VEHICLE SIGNS AFFIXED TO TRUCKS, AUTO, TRAILERS OR OTHER VEHICLES WHICH ADVERTISE, IDENTIFY, OR PROVIDE DIRECTION TO A USE OR ACTIVITY NOT RELATED TO ITS LAWFUL MAKING OF DELIVERIES OF SALES OR MERCHANDISE OR RENDERING OF SERVICES FROM SUCH VEHICLES.

NOTE: RACEWAYS ARE ONLY ALLOWED ON CANOPY STRUCTURE WHERE NO OTHER WIRING CROSSOVER OPPORTUNITY IS AVAILABLE.

LIGHTING

REVERSE CHANNEL NEON

OPEN FACE CHANNEL NEON

INTERNAL ILLUMINATION

SILHOUETTE ILLUMINATED

FRONT LIGHTING

AREA LIGHTING

COLORS

1. SIGN COLORS SHOULD BE SELECTED TO PROVIDE SUFFICIENT CONTRAST AGAINST BUILDING BACKGROUND COLORS (I.E. DARK BLDG. BACKGROUND REQUIRES LIGHTER SIGN LETTERS AND VICE VERSA)
2. SIGN COLORS SHOULD COME FROM AND BE COMPATIBLE WITH BUILDING BACKGROUND COLORS AND BUILDING MATERIALS (I.E. SIGN LETTERS SHOULD COMPLIMENT AND NOT "CLASH" WITH BUILDING COLORS/COMPONENTS)
3. COLOR OR LETTER RETURNS SHOULD CONTRAST WITH FACE COLOR FOR GOOD DAYTIME READABILITY
4. INTERIOR OR OPEN CHANNEL LETTER SHOULD BE PAINTED DARK WHEN AGAINST LIGHT BACKGROUNDS
5. NEON TUBE LETTERS SHOULD PROJECT OUT ¼" TO ½" FROM A PAINTED LETTER BEHIND, TO MAKE THE SIGN VISIBLE DURING THE DAY
6. ALL SIGN LOCATIONS, DESIGNS, SIZE, FONT TYPE & COLORS ARE SUBJECT TO REVIEW AND APPROVAL BY THE DEVELOPER AS PART OF THE SIGN SUBMITTAL PROCESS.

FONT TYPES

RETAIL (CENTURY GOTHIC)

BANK (BANK GOTHIC)

BANK (Impact)

RETAIL (Lucida Console)

Retail (Lucida sans Unicode)

MARKET (Palatino Linotype)

RETAIL (Italic)

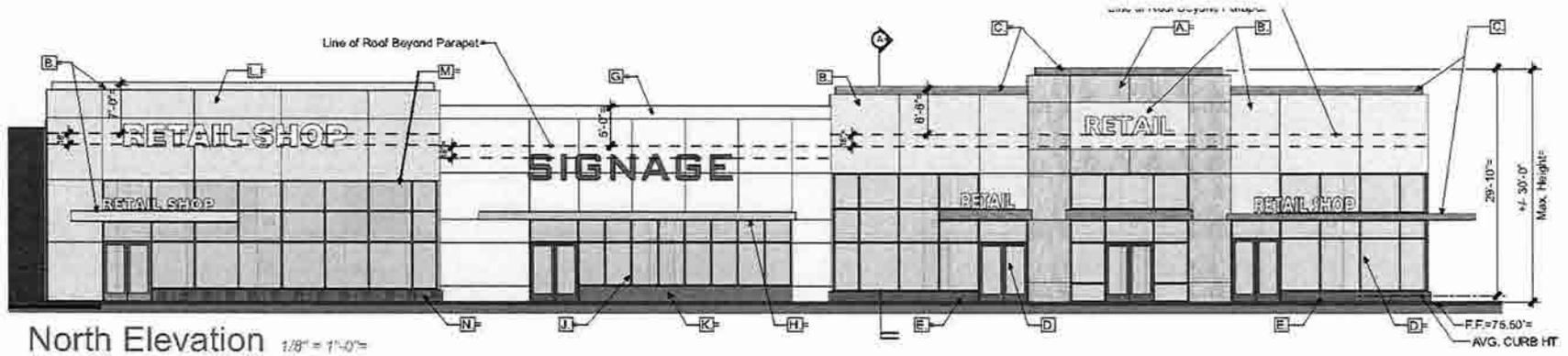
RETAIL (Quicktype)

market (Swiss 721)

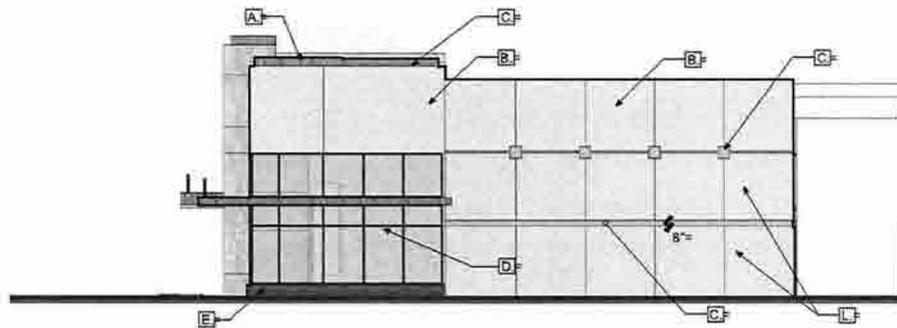
MARKET (Garamond)

LOGOS

CORPORATE LOGOS AND COLORS WILL BE CONSIDERED ON A CASE-BY-CASE BASIS AND CONSIDERED ONLY IF THE PROPOSED COLORS ARE COMPATIBLE WITH THE BUILDING COLORS AND MATERIALS. LOGOS WILL BE INCLUDED IN THE SIGN AREA CALCULATIONS AND MUST COMPLY WITH THE CITY'S SIGN ORDINANCE.



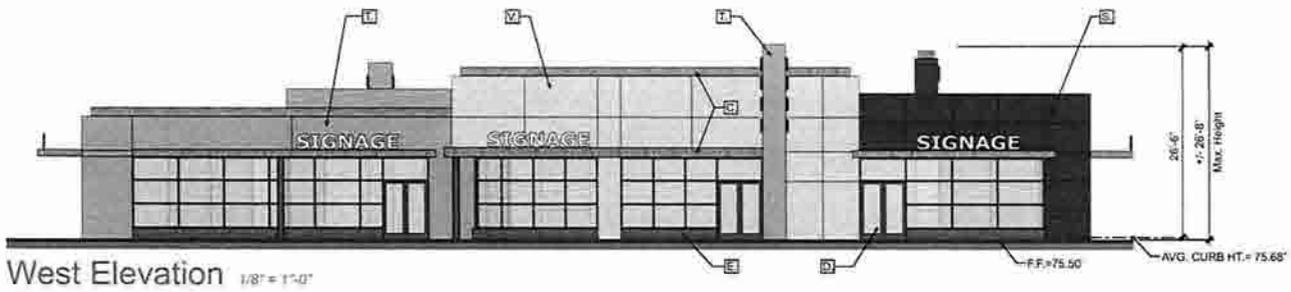
North Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"

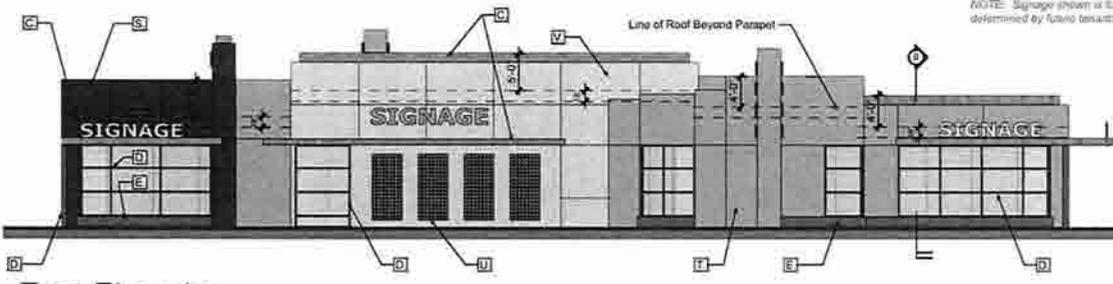
Building 1

- A. CEP "PETRARCH" CLADDING PANELS
NO. 519 DORSET WITH RIVEN SLATE TEXTURE
- B. LA HABRA X696 "SOUTHERN MOSS" FLOAT 20/30 (SMOOTH)
- C. PRE-PATINA 20 OZ COPPER BAND OR MEDALLION.
- D. DUNN EDWARDS DE 6231 "SHAKER GRAY"
- E. DAL TILE S201 BRAZILIAN GREY 16" SQUARE
- F. PPG SOLEXIA
- G. LA HABRA X25 SADDLEBACK" FLOAT 20/30 (SMOOTH)
- H. MILL FINISH 24 GA. ALUMINUM CANOPY FASCIA
- J. DUNN EDWARDS DE 6084
- K. DAL TILE S212 "SANDSTONE" SLATE TEXTURE
- L. LA HABRA 1/2 X830 CLAY FLOAT 20/30 (SMOOTH)
- M. STOREFRONT DUNN EDWARDS DE 6278 "STONE CREEK"
- N. DAL TILE L756 CASPIAN SHELL STONE 18" SQ. HONED FINISH
- P. LA HABRA XX580 SIERRA TAN FLOAT 20/30 (SMOOTH)
- Q. MILL FINISH ALUMINUM
- R. TRANSLUCENT KALWALL POLYCARBONATE GLAZING
WITH MILL FINISH ALUMINUM FRAMING
- S. TRESPA METEON NA09/ST
- T. LA HABRA XX 830 CLAY FLOAT 20/30 (SMOOTH)
- LANDSCAPE TRELLIS FEATURE
- U. "GREENSCREEN" WITH "WRINKLE GREEN" FINISH
- V. LA HABRA X434 "FALLBROOK" FLOAT 20/30 (SMOOTH)
- W. TRESPA METEON CLADDING NW 07/ST
- X. CEP PETRARCH CLADDING PANELS JADE 001 RIVEN SLATE TEXTURE
- Y. CEP PETRARCH MOCHA 002 RIVEN SLATE TEXTURE
- Z. CEP PETRARCH PARCHMENT 011 RIVEN SLATE TEXTURE
- AA. TRESPA METEON A11.4.4/ST
- BB. LA HABRA XX 278 "TRABUCO" FLOAT 20/30 (SMOOTH)



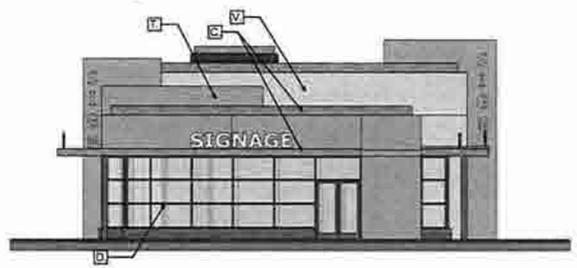
West Elevation 1/8" = 1'-0"

NOTE: Signage shown is for illustrative purposes only. Signage will be determined by future tenants per approved sign program guidelines.

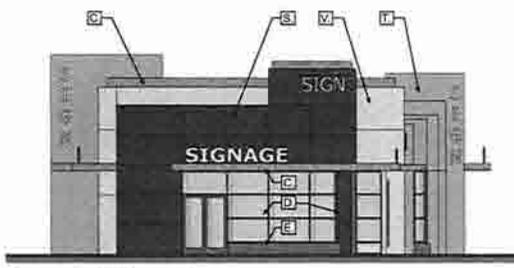


East Elevation 1/8" = 1'-0"
Building 5

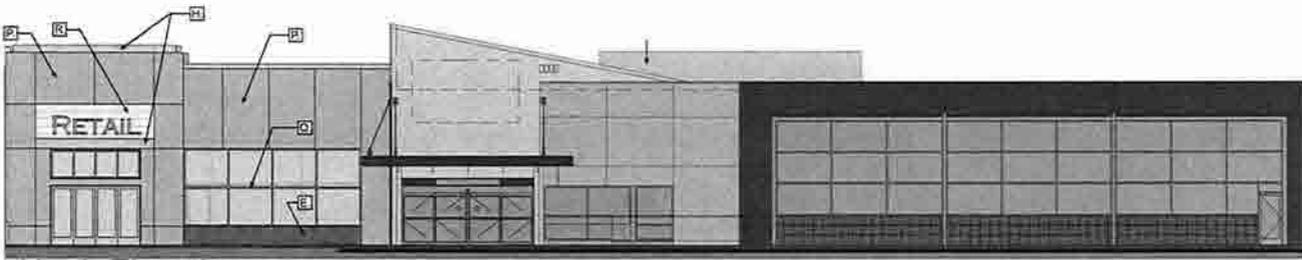
- A CEP "PETRARCH" CLADDING PANELS NO 519 DORSET WITH RIVEN SLATE TEXTURE
- B LA HABRA X696 "SOUTHERN MOSS" FLOAT 20/30 (SMOOTH)
- C PRE-PATINA 20 OZ. COPPER BAND OR MEDALLION
- D DUNN EDWARDS DE 6231 "SHAKER GRAY"
- E DAL TILE S201 BRAZILIAN GREY 16" SQUARE
- F PPG SOLEXIA
- G LA HABRA X25 SADDLEBACK" FLOAT 20/30 (SMOOTH)
- H MILL FINISH 24 GA. ALUMINUM CANOPY FASCIA
- J DUNN EDWARDS DE 6084
- K DAL TILE S212 "SANDSTONE" SLATE TEXTURE
- L LA HABRA X430 CLAY FLOAT 20/30 (SMOOTH)
- M STOREFRONT DUNN EDWARDS DE 6278 "STONE CREEK"
- N DAL TILE L756 CASPIAN SHELL STONE 18" SQ. HONED FINISH
- P LA HABRA X0580 SIERRA TAN FLOAT 20/30 (SMOOTH)
- Q MILL FINISH ALUMINUM
- R TRANSLUCENT KALWALL POLYCARBONATE GLAZING WITH MILL FINISH ALUMINUM FRAMING
- S TRESPA METEON NA09/ST
- T LA HABRA X430 CLAY FLOAT 20/30 (SMOOTH)
- LANDSCAPE TRELLIS FEATURE
- U "GREENSCREEN" WITH "WRINKLE GREEN" FINISH
- V LA HABRA X434 "FALLBROOK" FLOAT 20/30 (SMOOTH)
- W TRESPA METEON CLADDING NW 07/ST
- X CEP PETRARCH CLADDING PANELS JADE 001 RIVEN SLATE TEXTURE
- Y CEP PETRARCH MOCHA 002 RIVEN SLATE TEXTURE
- Z CEP PETRARCH PARCHMENT 011 RIVEN SLATE TEXTURE
- AA TRESPA METEON A11 4 4/ST
- BB LA HABRA X4278 "TRABUCO" FLOAT 20/30 (SMOOTH)



North Elevation 1/8" = 1'-0"

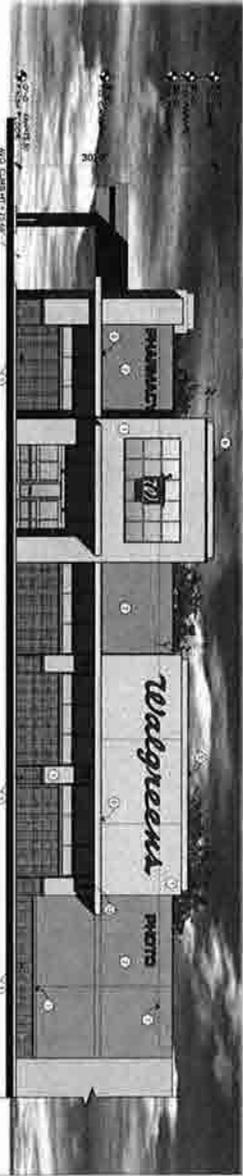


South Elevation 1/8" = 1'-0"

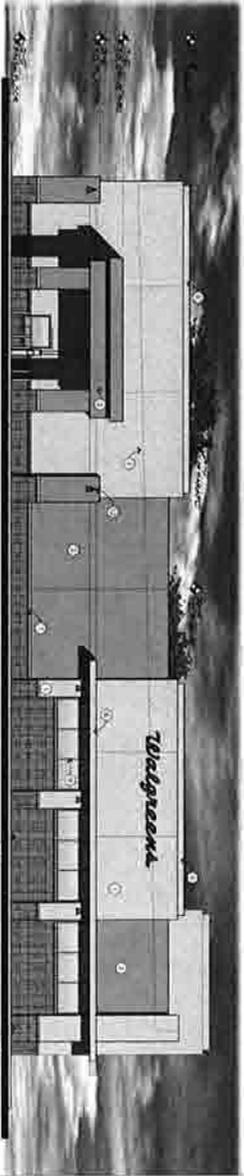


North Elevation 1/8" = 1'-0"

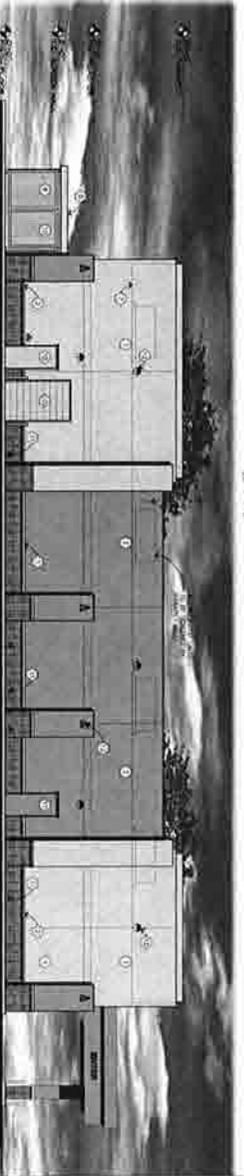
Buildings 2 & 3



(Retail Building #4) Scale: 1/8" = 1'-0"
1/8" = 1'-0"



(Retail Building #4) Scale: 1/8" = 1'-0"
1/8" = 1'-0"



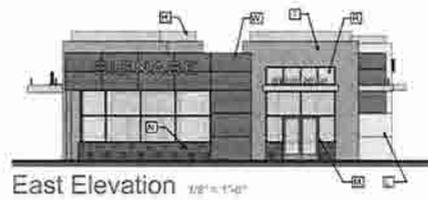
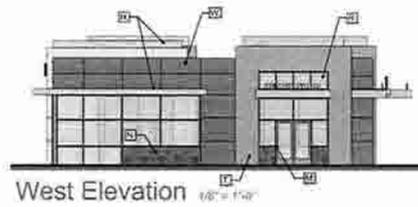
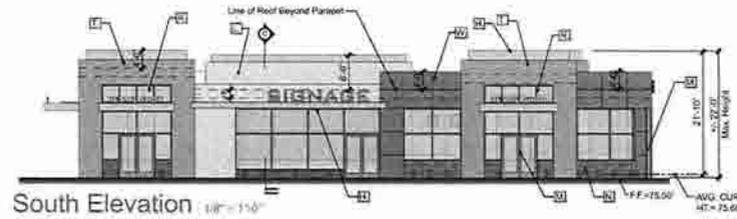
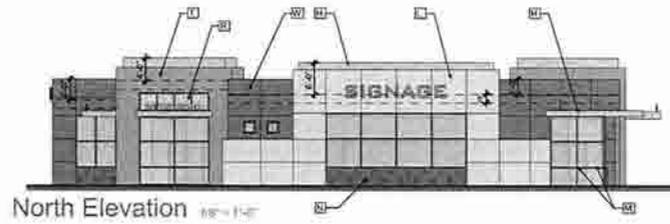
(Retail Building #4) Scale: 1/8" = 1'-0"
1/8" = 1'-0"

SCEN SUMMARY

SCENE #	SCENE NAME	DATE	DESCRIPTION
01	North Elevation	11/11/20	Initial rendering of North Elevation
02	East Elevation	11/11/20	Initial rendering of East Elevation
03	South Elevation	11/11/20	Initial rendering of South Elevation
04	West Elevation	11/11/20	Initial rendering of West Elevation
05	Exterior View	11/11/20	Initial rendering of Exterior View
06	Interior View	11/11/20	Initial rendering of Interior View
07	Section View	11/11/20	Initial rendering of Section View
08	Detail View	11/11/20	Initial rendering of Detail View
09	Site Plan	11/11/20	Initial rendering of Site Plan
10	Site Plan	11/11/20	Initial rendering of Site Plan
11	Site Plan	11/11/20	Initial rendering of Site Plan
12	Site Plan	11/11/20	Initial rendering of Site Plan
13	Site Plan	11/11/20	Initial rendering of Site Plan
14	Site Plan	11/11/20	Initial rendering of Site Plan
15	Site Plan	11/11/20	Initial rendering of Site Plan
16	Site Plan	11/11/20	Initial rendering of Site Plan
17	Site Plan	11/11/20	Initial rendering of Site Plan
18	Site Plan	11/11/20	Initial rendering of Site Plan
19	Site Plan	11/11/20	Initial rendering of Site Plan
20	Site Plan	11/11/20	Initial rendering of Site Plan

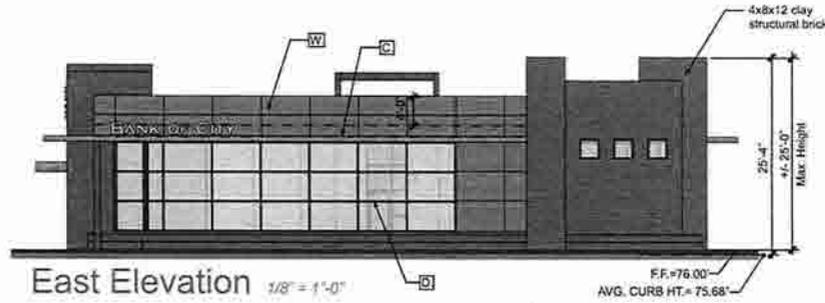
KEYED NOTES

- 1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
- 2. All work shall be in accordance with the latest edition of the International Mechanical Code (IMC) and the International Fuel Gas Code (IFGC).
- 3. All work shall be in accordance with the latest edition of the International Electrical Code (IEC) and the International Fire Code (IFC).
- 4. All work shall be in accordance with the latest edition of the International Plumbing Code (IPC) and the International Sanitary Code (ISC).
- 5. All work shall be in accordance with the latest edition of the International Energy Conservation Code (IECC).
- 6. All work shall be in accordance with the latest edition of the International Green Building Code (IGBC).
- 7. All work shall be in accordance with the latest edition of the International Accessibility Code (IAC).
- 8. All work shall be in accordance with the latest edition of the International Signage Code (ISC).
- 9. All work shall be in accordance with the latest edition of the International Advertising Code (IAC).
- 10. All work shall be in accordance with the latest edition of the International Billboard Code (IBC).
- 11. All work shall be in accordance with the latest edition of the International Outdoor Advertising Code (IOAC).
- 12. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).
- 13. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).
- 14. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).
- 15. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).
- 16. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).
- 17. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).
- 18. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).
- 19. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).
- 20. All work shall be in accordance with the latest edition of the International Signage and Advertising Code (ISAC).

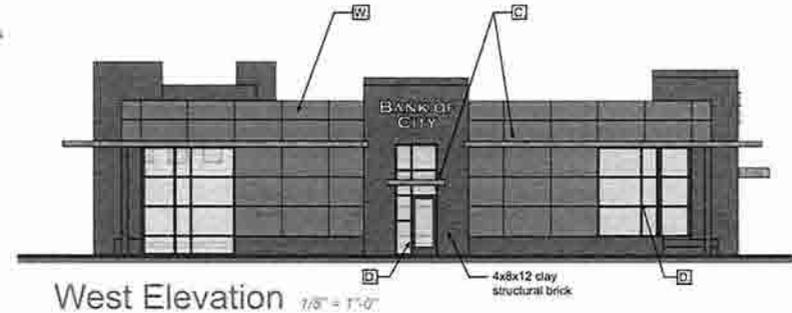


Building 6

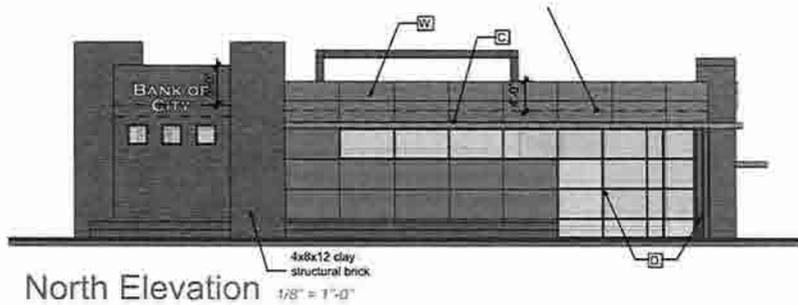
- A. CEP "PETRARCH" CLADDING PANELS
NO. 519 DORSET WITH RIVEN SLATE TEXTURE
- B. LA HABRA X696 "SOUTHERN MOSS" FLOAT 20/30 (SMOOTH)
- C. PRE-PATINA 20 OZ. COPPER BAND OR MEDALLION
- D. DUNN EDWARDS DE 6231 "SHAKER GRAY"
- E. DAL TILE S201 BRAZILIAN GREY 16" SQUARE
- F. PPG SOLEXIA
- G. LA HABRA X25 SADDLEBACK" FLOAT 20/30 (SMOOTH)
- H. MILL FINISH 24 GA. ALUMINUM CANOPY FASCIA
- J. DUNN EDWARDS DE 6084
- K. DAL TILE S212 "SANDSTONE" SLATE TEXTURE
- L. LA HABRA 1/2 X830 CLAY FLOAT 20/30 (SMOOTH)
- M. STOREFRONT: DUNN EDWARDS DE 6278 "STONE CREEK"
- N. DAL TILE L756 CASPIAN SHELL STONE 18" SQ. HONED FINISH
- P. LA HABRA XX580 SIERRA TAN FLOAT 20/30 (SMOOTH)
- Q. MILL FINISH ALUMINUM
- R. TRANSLUCENT KALWALL POLYCARBONATE GLAZING
WITH MILL FINISH ALUMINUM FRAMING
- S. TRESPA METEON NA09/ST
- T. LA HABRA XX 830 CLAY FLOAT 20/30 (SMOOTH)
- LANDSCAPE TRELLIS FEATURE
- U. "GREENSCREEN" WITH "WRINKLE GREEN" FINISH
- V. LA HABRA X434 "FALLBROOK" FLOAT 20/30 (SMOOTH)
- W. TRESPA METEON CLADDING NW 07/ST
- X. CEP PETRARCH CLADDING PANELS JADE 001 RIVEN SLATE TEXTURE
- Y. CEP PETRARCH MOCHA 002 RIVEN SLATE TEXTURE
- Z. CEP PETRARCH PARCHMENT 011 RIVEN SLATE TEXTURE
- AA. TRESPA METEON A11.4.4/ST
- BB. LA HABRA XX 278 "TRABUCO" FLOAT 20/30 (SMOOTH)



East Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"



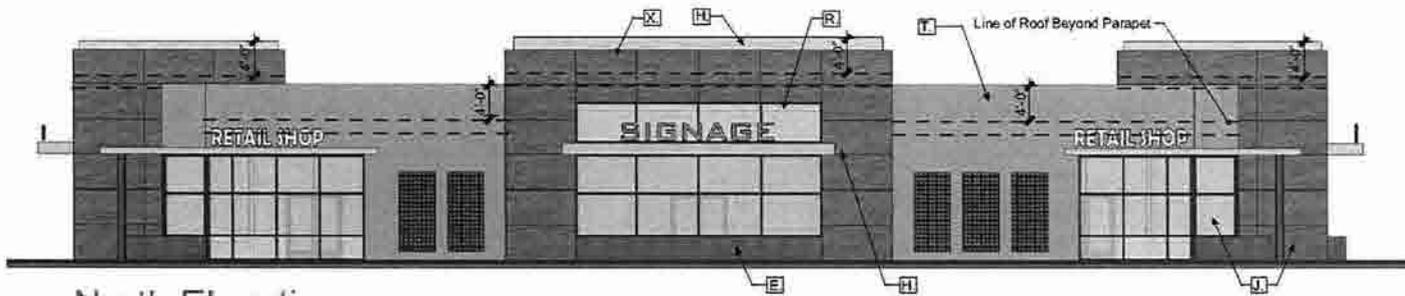
North Elevation 1/8" = 1'-0"



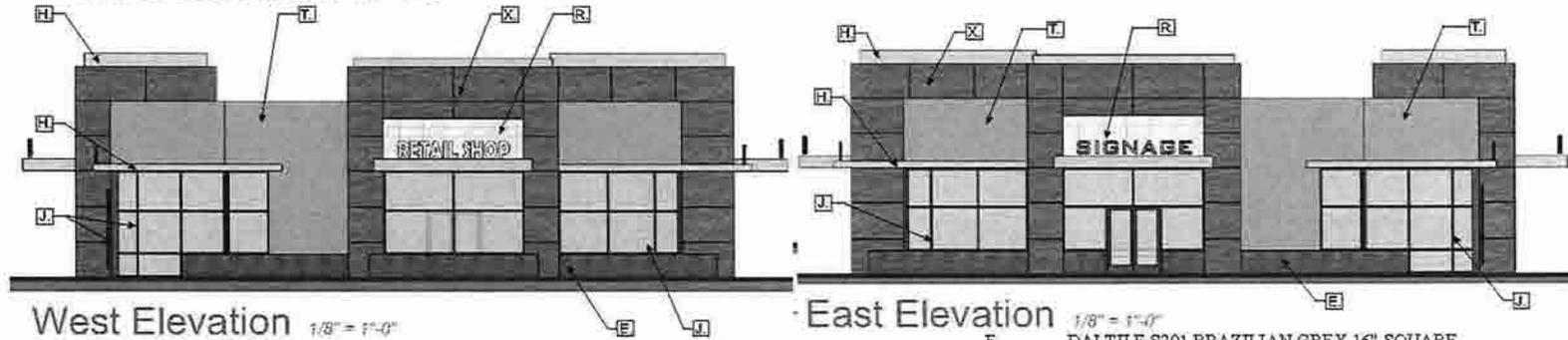
South Elevation 1/8" = 1'-0"

Building 7

- A. CEP "PETRARCH" CLADDING PANELS NO. 519 DORSET WITH RIVEN SLATE TEXTURE
- B. LA HABRA X696 "SOUTHERN MOSS" FLOAT 20/30 (SMOOTH)
- C. PRE-PATINA 20 OZ. COPPER BAND OR MEDALLION
- D. DUNN EDWARDS DE 6231 "SHAKER GRAY"
- E. DAL TILE S201 BRAZILIAN GREY 16" SQUARE
- F. PPG SOLEXIA
- G. LA HABRA X25 SADDLEBACK" FLOAT 20/30 (SMOOTH)
- H. MILL FINISH 24 GA. ALUMINUM CANOPY FASCIA
- J. DUNN EDWARDS DE 6084
- K. DAL TILE S212 "SANDSTONE" SLATE TEXTURE
- L. LA HABRA 1/2 X830 CLAY FLOAT 20/30 (SMOOTH)
- M. STOREFRONT: DUNN EDWARDS DE 6278 "STONE CREEK"
- N. DAL TILE L756 CASPIAN SHELL STONE 18" SQ HONED FINISH
- P. LA HABRA XX580 SIERRA TAN FLOAT 20/30 (SMOOTH)
- Q. MILL FINISH ALUMINUM
- R. TRANSLUCENT KALWALL POLYCARBONATE GLAZING WITH MILL FINISH ALUMINUM FRAMING
- S. TRESPA METEON NA09/ST
- T. LA HABRA XX 830 CLAY FLOAT 20/30 (SMOOTH)
- LANDSCAPE TRELLIS FEATURE
- U. "GREENSCREEN" WITH "WRINKLE GREEN" FINISH
- V. LA HABRA X434 "FALLBROOK" FLOAT 20/30 (SMOOTH)
- W. TRESPA METEON CLADDING NW 07/ST
- X. CEP PETRARCH CLADDING PANELS JADE 001 RIVEN SLATE TEXTURE
- Y. CEP PETRARCH MOCHA 002 RIVEN SLATE TEXTURE
- Z. CEP PETRARCH PARCHMENT 011 RIVEN SLATE TEXTURE
- AA. TRESPA METEON A11.4 4/ST
- BB. LA HABRA XX 278 "TRABUCO" FLOAT 20/30 (SMOOTH)



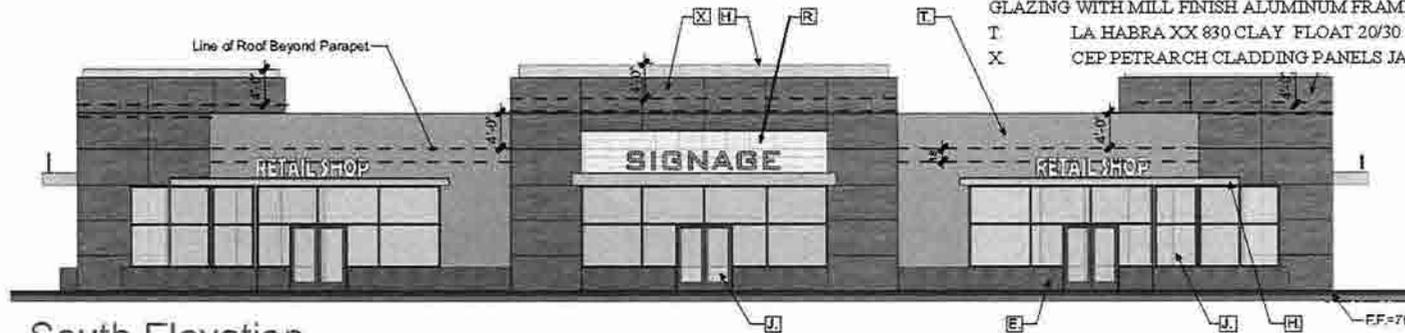
North Elevation 1/8" = 1'-0"



West Elevation 1/8" = 1'-0"

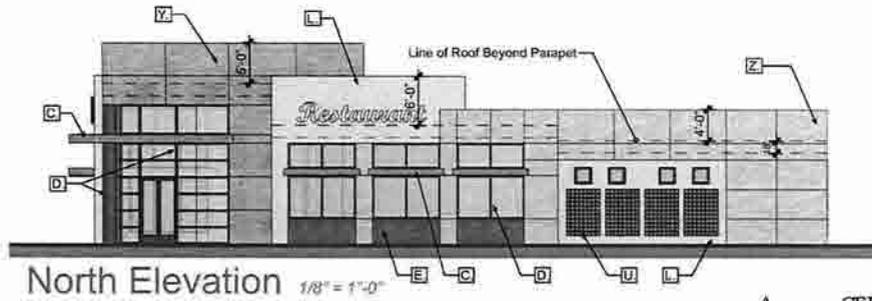
East Elevation 1/8" = 1'-0"

- E. DAL TILE S201 BRAZILIAN GREY 16" SQUARE
- H. MILL FINISH 24 GA. ALUMINUM CANOPY
- J. DUNN EDWARDS DE 6084
- R. TRANSLUCENT KALWALL POLYCARBONATE
- GLAZING WITH MILL FINISH ALUMINUM FRAMING
- T. LA HABRA XX 830 CLAY FLOAT 20/30
- X. CEP PETRARCH CLADDING PANELS JADE 001 RIVEN SLATE TEXTURE



South Elevation 1/8" = 1'-0"

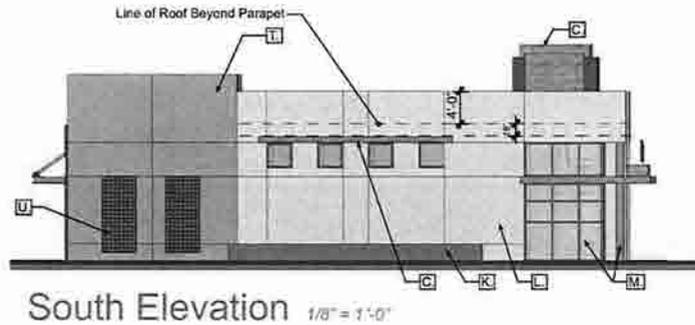
Building 8



Building 9



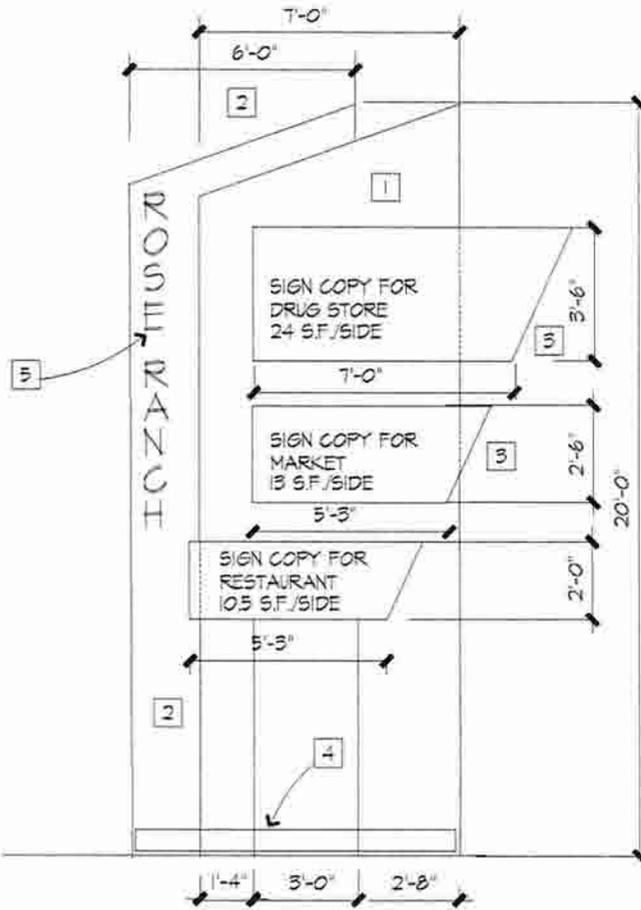
East Elevation



South Elevation

Building 10

- A. CEP "PETRARCH" CLADDING PANELS NO. 519 DORSET WITH RIVEN SLATE TEXTURE
- B. LA HABRA X696 "SOUTHERN MOSS" FLOAT 20/30 (SMOOTH)
- C. PRE-PATINA 20 OZ. COPPER BAND OR MEDALLION.
- D. DUNN EDWARDS DE 6231 "SHAKER GRAY"
- E. DAL TILE S201 BRAZILLIAN GREY 16" SQUARE
- F. PPG SOLEXIA
- G. LA HABRA X25 SADDLEBACK" FLOAT 20/30 (SMOOTH)
- H. MILL FINISH 24 GA. ALUMINUM CANOPY FASCIA
- J. DUNN EDWARDS DE 6084
- K. DAL TILE S212 "SANDSTONE" SLATE TEXTURE
- L. LA HABRA 1/2 X 830 CLAY FLOAT 20/30 (SMOOTH)
- M. STOREFRONT: DUNN EDWARDS DE 6278 "STONE CREEK"
- N. DAL TILE L756 CASPIAN SHELL STONE 18" SQ. HONED FINISH
- P. LA HABRA XX580 SIERRA TAN FLOAT 20/30 (SMOOTH)
- Q. MILL FINISH ALUMINUM
- R. TRANSLUCENT KALWALL POLYCARBONATE GLAZING WITH MILL FINISH ALUMINUM FRAMING
- S. TRESPA METEON NA09/ST
- T. LA HABRA XX 830 CLAY FLOAT 20/30 (SMOOTH) LANDSCAPE TRELLIS FEATURE
- U. "GREENSCREEN" WITH "WRINKLE GREEN" FINISH
- V. LA HABRA X434 "FALLBROOK" FLOAT 20/30 (SMOOTH)
- W. TRESPA METEON CLADDING NW 07/ST
- X. CEP PETRARCH CLADDING PANELS JADE 001 RIVEN SLATE TEXTURE
- Y. CEP PETRARCH MOCHA 002 RIVEN SLATE TEXTURE
- Z. CEP PETRARCH PARCHMENT 011 RIVEN SLATE TEXTURE
- AA. TRESPA METEON A11.4.4/ST
- BB. LA HABRA XX 278 "TRABUCO" FLOAT 20/30 (SMOOTH)



47.5 S.F./SIDE; 95
S.F. PER
MONUMENT SIGN
TOTAL

MONUMENT SIGNS

- 1 PRIMARY MASSING: TRESPA METEON "ENGLISH RED"
- 2 SECONDARY MASS: CEP "PETRARCH" CEMENT WALL PANEL JADE RIVEN SLATE
- 3 PROJECTING FIN: INDIVIDUAL BACK LIT METAL LETTERS ON STAINLESS STL. PANELS
- 4 GROUND MOUNTED FLOODLIGHT AT GRADE
- 5 RAISED 8" BRUSHED ALUMINUM INDIVIDUAL LETTERS SILHOUETTE LIT FROM BEHIND

Attachment D: Police Report



Police Department
John Crombach, Police Chief

Date: October 9, 2008
To: Winston Wright, Associate Planner
From: Cliff Waer, Senior Alcohol Compliance Officer
Subject: Rose Ranch - Gonzales at Rose (Walgreen's / Fresh and Easy)

Re: PZ 07-500-15

Site Information:

The proposed site is located on the southwest corner of Rose Avenue and Gonzales Road in the West Village Neighborhood. The site is currently undeveloped and is proposed to be part of a retail shopping center that will include approximately 77,000 square feet of retail space.

The site it is generally bordered by Gonzales Road on the north, Rose Avenue to the east, and residences to the west and south. The nearest residences are approximately 100 feet to the south and 250 feet to the west. Other nearby uses include Saint John's Regional Medical Center which is immediately east of the site and the "Shopping at the Rose" center with a Wal-Mart and grocery store to the north. There are no similar uses within 350 feet of the site and two within 1000 feet. There are three more similar uses just outside of the 1000 foot radius typically considered for review of alcohol applications.

The applicant is requesting that two different businesses in the center be granted a California Alcoholic Beverage Control (ABC) License Type-21 which is an Off-Sale License that allows for the sale of beer, wine and distilled spirits.

Alcohol outlets located within 1000 feet of the proposed site include:

BUSINESS NAME	LOCATION	LICENSE TYPE	LICENSE TITLE	BUSINESS TYPE	ALCOHOL ALLOWED
1. Rose Shell	1901 N Rose	Type-20	Off-Sale Beer and Wine	Market	Beer and Wine
2. Chevron Market	1900 N Rose	Type-20	Off-Sale Beer and Wine	Market	Beer and Wine

Crime Statistic Review:

For comparison purposes the Police Department calculates the average number of part I and II crimes that occur per reporting district (grid) during a selected 12-month period. The average city-wide, per grid base number of Part I and II crimes is currently 117.

The average number of Part I and II crimes in the *applicant's* reporting district and all other districts within 1000 feet of the applicant is 279 during the same 12-month time period. This is 138% higher than the average crime rate citywide which would normally be of great concern to the Police Department. However, in this particular case, the number of reported Part I and Part II crimes is influenced considerably by the sites proximity to St. John's Hospital and Wal-Mart.

Each of these two locations generate a significant number of police calls for service but are not necessarily considered to be a policing problem. A substantial number of serious events are often attributed to St. John's due to the fact that many assault victims are treated at the hospital. The vast majority of the reported Part I or II crimes at St. John's did not actually occur in the area surrounding the site and should not have any significant influence on the proposed use. When the crime rate was calculated without including the reported events at St John's, the average crime rate drops substantially to approximately 50% above the citywide average.

The events that occurred in and around Wal-Mart are somewhat more alarming in that there were approximately 350 police calls for service at the store and in the nearby parking lot. Many of the calls were related to thefts inside Wal-Mart and are included in the Part I crime totals. Most of the theft calls are surely a direct result of Wal-Mart's aggressive loss prevention efforts and arrests are made in the majority of the calls. However, the inordinate number of such events does indicate that theft may be of concern to adjoining uses and preventative measures should be implemented.

The Von's grocery store located in the Rose Shopping Center north of the site had also previously experienced a serious problem with theft of alcohol. Management estimated their losses in the thousands of dollars each quarter and most of the stolen items were distilled spirits that had been displayed in the alcohol aisles. The solution was to secure all of the distilled spirits in locked cabinets and under the control of employees (much like tobacco is controlled at most stores). Von's management indicated that their losses immediately plummeted while their sales of distilled spirits remained fairly consistent. Because of their success at reducing the risk of theft and losses while still maintaining a convenience to the customer, the Police Department has generally included as a standard condition of operation that similar outlets in the City of Oxnard must secure all distilled spirits. Due to the number of thefts reported at nearby businesses, the Police Department strongly recommends that this condition remain as a standard for the proposed use.

For reference, the category of part I crimes include: murder, rape, robbery, theft, burglary, auto theft, assault, and arson. Part II crimes include: vandalism, weapons possession, other sex offenses, drug abuse violations, driving under the influence, liquor laws, drunkenness, and disorderly conduct.

Police Department Input:

The Beat Coordinator for the area was contacted and said the surrounding area is not generally considered to be a crime problem but he is concerned about the significant number of thefts that have been reported at Wal-Mart and the surrounding area. He was unaware of any other existing problem that may be exacerbated by the granting of the permit and supported the inclusion of the standard police conditions to reduce the risk of theft. He also supported the addition of a special condition requiring that distilled spirits to be secured at all times.

One of the Police Department's concerns is that there will be two businesses that are virtually side-by-side selling the same alcoholic products for off-site consumption. Typically, the Police Department does not support two such uses with full liquor privileges so close to each other and recognizes that alcohol outlet density contributes significantly to the increased risks of experiencing community problems.¹⁻² Individually, either of the proposed sites offers minimal risks and our concerns can be effectively mitigated through appropriate regulations. Adding a second outlet nearby greatly increases the risk factors and, if not carefully regulated, can have a long-term negative impact on the surrounding area.³

Another consideration is the locations relatively close proximity to Pacifica High School. The school is approximately one-half mile west of the site and will likely be a popular destination for students before and after school. Numerous studies have shown that youth exposure to alcohol significantly impacts underage consumption. Increased access and exposure to alcoholic beverages are directly related to incidences of youth consumption and should be carefully considered when determining appropriate locations for new outlets.⁴⁻⁵

The School Resource Officer who is assigned to Pacifica High School was equally concerned about the outlet's proximity and expects that it may be a challenge to keep students from taking advantage of the situation. Among other things, he recommended specific conditions such as security cameras with feedback monitors that would give school staff the ability to review the recordings and help identify any problem students. He also supported regulating certain types of beverages such as flavored malt beverages (commonly referred to as alcopops) and alcohol-based energy drinks, both of which are the known to attract primarily young drinkers and that have already been a problem on campus. In fact, approximately 18% of all alcohol sold in California was consumed by underage drinkers and some estimates indicate that as much as 50% of that total was attributed to flavored malt beverages. The SRO will be discussing the proposal with school administration prior to the public hearing.

¹ Scribner RA; Cohen DA; Fisher W. Evidence of a Structural Effect for Alcohol Outlet Density: A Multilevel Analysis. *Alcoholism: Clinical & Experimental Research*. 24(2): 188-195, February 2000.

² LaBouvie E; Ontkush M. Violent crime and alcohol availability: relationships in an urban community. *Journal of Public Health Policy* 19(3): 303-318. 1998.

³ Scribner RA; Mackinnon D; Dwyer, J. The risk of assaultive violence and alcohol availability in Los Angeles County. *American Journal of Public Health* (85) 3: 335-340. 1995.

⁴ G. Hastings, S. Anderson, E. Cooke, and R. Gordon, "Alcohol advertising and marketing and young people's drinking: a review of the research," *Journal of Public Health Policy* 26 (2005):296-311.

⁵ L.B. Snyder, F.F.Milici, M. Slater, H. Sun, and Y. Strizhakova, "Effects of alcohol advertising exposure on drinking among youth," *Archives of Pediatrics and Adolescent Medicine* 160 (2006):18-24.

Community Input:

The Responsible Alcohol Policy Action Coalition (RAPAC) has discussed this proposal at their monthly meetings and echoed the concern about the proximity to the high school and outlet density. They believed that the overall shopping center would likely be an inviting “hang-out” for students and that such a use could be problematic. Members suggested that if the Permit is granted, the businesses should develop a formal policy of how to deal with wayward students and to work directly with the high school to determine the best methods of contacting school staff. They also recommended restricting certain alcoholic beverages that are appealing to underage drinkers. They generally opposed the granting of both permits together and suggested that only one would be necessary to realistically argue there is a necessity and convenience to customers.

Conclusion:

The statistical analysis shows the area to have a crime rate that is much higher than the city-wide average (138%) but that many of the incidents are attributed to calls at St. John’s Hospital and not necessarily a true indicator of the problems in the area. Theft-related events nearby are of some concern but the area is generally not considered to be a policing problem. Properly regulated, the addition of the Off-Sale businesses is not likely to aggravate existing police problems.

There are no similar uses within 350 feet of the proposed site (other than to each other) and no existing issue of undue concentration by local standards. The guidelines for the Department of Alcoholic Beverage Control (ABC) use census tract populations to determine the “allowable” number of alcohol outlets in a particular census tract. In this case, there is no undue concentration by state standards.

The primary concerns are having two similar outlets so near to each other and the relatively close proximity to Pacifica High School. The Police Department believes that the potential negative impacts of this use can be effectively mitigated through the adoption of all of the standard and special conditions of operation detailed in the attached Planning Commission resolution. It is the experience of the Police Department that similar uses, when responsibly operated and adequately conditioned, do not typically increase policing problems.

Police Standard Conditions

- 1) All managers or supervisors who are responsible for the daily coordination, supervision or managing of employees, shall complete a course in Responsible Beverage Sales and Service (RBSS) within sixty days of license granting and/or date of employment. Applicant can contact the Oxnard Police Department's Alcohol Compliance Officer to make arrangements. (PL/PD)
- 2) There shall be no advertising of alcoholic beverages visible from the outside of the establishment, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. (PL/PD)
- 3) The Police Chief or designee may immediately suspend operation of the uses approved by this permit pending a hearing on the revocation of this permit if the Chief finds that there have been significant violations of the use permit conditions and/or ABC permit, or there is a single serious violent crime or single significant incident to which multiple police units or multiple police jurisdictions respond associated with the operation of this use, which the Chief determines is detrimental to the public safety or health. The Chief shall immediately inform the Planning and Environmental Services Manager of the suspension and the Manager shall schedule a hearing on the revocation of the permit by the Planning Commission to be held no more than 30 days after the suspension begins. (PD)
- 4) Any signs, advertisements or decorations placed upon the windows shall not exceed 20% of the overall window area. Additionally, there shall be no other obstructions placed near the windows that exceed 20% of the overall viewing area including gondola display racks, stored products, shades or blinds.
- 5) Upon any individual transfer (person-to-person) of the subject Alcoholic Beverage Control License, or if the business is ever deemed a nuisance as defined by Oxnard City Code, the Police Department may initiate Planning Commission review of the existing SUP and the Planning Commission may apply or remove conditions as appropriate to mitigate existing or potential problems.
- 6) Any graffiti painted or marked upon the premises or on any adjacent area under the control of the Permittee shall be removed or painted over within twenty-four (24) hours of being applied. (PL/PD)
- 7) Permittee shall be responsible for maintaining free of litter the area adjacent to the premises over which they have control. This includes the rear of the business. (PL/PD)
- 8) Any rear door of the premises shall be equipped on the inside with an automatic locking device, shall be closed at all times, and shall not be used as a means of access by patrons to and from the licensed premises. Temporary use of these doors for delivery of supplies or disposal of trash does not constitute a violation. (PD)

- 9) Employees involved in the sale or service of alcoholic beverages shall not be allowed to consume alcoholic beverages at any time during their shift or at any time within eight (8) hours prior to the beginning of their shift. (PD)
- 10) The parking lot and adjacent areas of the premises shall be equipped with lighting of sufficient power to illuminate and make easily discernable the appearance and conduct of all persons on or about the area. This includes the rear of the business. (PL/PD)
- 11) There shall be no pay phones installed inside the premises nor shall there be any pay phones installed outside within 100 feet of the premises. (PL/PD)
- 12) Permittee shall regularly police the area under Permittee's control (including the rear of the business) in an effort to prevent the loitering of persons about the premises. (PL/PD)
- 13) In the areas surrounding the business the Permittee shall post prominent, permanent signs indicating that loitering, open containers and the consumption of alcoholic beverages is prohibited. This includes the parking lot and other adjacent areas under Permittee's reasonable control. (PD)
- 14) Coolers or displays containing alcoholic beverages shall be separate from other coolers or displays and shall be positioned so as to allow maximum visibility to cashiers, clerks or employees. Alcohol displays shall not be positioned near customer entry/exit doors, nor shall they be in a location that allows for an easy and unobstructed path to any entry or exit. It is recommended that the alcohol displays or coolers be positioned where the cashiers, clerks or supervisor stations have a clear view from their normal work stations of the activity of persons in the alcohol aisle. (PD)
- 15) There shall be no amusement machines or video devices maintained on the premises at any time. (PD)
- 16) No single containers, 12oz., 16oz., 20oz., 24oz., 32oz., or 40oz., of beer or malt liquor shall be sold. (PD)
- 17) No fortified wine products shall be sold with an alcohol content greater than 14% by volume with the exception of the following products (provided they are consistent with those permitted by their Alcoholic Beverage Control License): Port, Sherry, Marsala, Saki, Madiera, Muscat and Vermouth. (PD)
- 18) Prominent signs shall be posted stating, in effect, "No persons under 21 will be served alcoholic beverages" and "Valid ID is required to purchase alcoholic beverages". These signs shall, at a minimum, be posted at each point of sale and near any alcohol display or areas. (PD)
- 19) No open floor displays of alcoholic beverages are allowed, including but not limited to "beer mountains" and portable coolers. (PD)

- 20) Alcoholic beverages shall not be sold between the hours 10:00 PM and 6:00 AM. (PD)
- 21) There shall be no self-service displays of any type of tobacco product including, but not limited to cigarettes, cigars and smokeless tobacco.
- 22) Security cameras shall be installed to monitor the premises and be positioned to monitor at minimum the entry/exit, all points of sale, alcohol coolers and the areas immediately surrounding the exterior of the business (including the rear). The camera system shall comply with the following minimum standards: (PD)
 - a. The cameras shall be color cameras, made by a reputable manufacturer and maintained to current industry standards. They shall have low light capability and be capable of identifying persons conducting transactions at the stores' registers or entering/exiting the business.
 - b. The system shall utilize a Digital Video Recorder (DVR). The use of videocassette recorders (VHS and other formats) is prohibited. The DVR shall allow recording, live viewing and playback of recorded video for a period of least 30 days. DVR shall perform all recording, viewing (local and remote), playback (local and remote), queries and backup functions simultaneously, with no interruption of any other function.
- 23) Permittee shall establish responsible cash handling procedures to reduce the likelihood of robberies and thefts.
- 24) Permittee shall bolt down all cash registers to service counters in order to prevent the entire device from being stolen during a burglary or robbery.
- 25) Permittee shall have drop-safes installed or other cash management procedures to allow employees to deposit daily receipts throughout the day as the amounts exceed allowable levels in the register (typically \$50).
- 26) Permittee shall install signage which indicates that employees do not possess keys to safes and that minimal levels of cash are available in register.
- 27) Permittee shall install height gauges at all exit doors.
- 28) Permittee shall install an electronic intrusion detection system that detects portal openings, glass break, and interior motion.
- 29) Permittee shall equip each point of sale with a silent robbery alarm that complies with Oxnard City Ordinance No. 2601.
- 30) A copy of these conditions must be maintained on the premises and made available upon the demand of any peace officer at all times. (PL/PD)

Police Special Conditions

1. Permittee shall install a video feedback monitor which displays the live feed from security cameras positioned nearby. The monitor shall, at a minimum, be displayed at each customer entrance. Permittee shall install an additional feedback monitor in the alcoholic beverage display area. (PD)
2. Any display of distilled spirits shall be maintained in locked cabinets or under the direct control of employees. No distilled spirits shall be accessible to customers without assistance from an employee. (PD)
3. Permittee shall cooperate fully with staff from Pacifica High School and shall develop a written policy that specifies how employees will deal with teenage customers that are patronizing the business during normal school hours. The policy will include developing an efficient method of communication with school staff, the School Resource Officer and how potential truants will be handled. (PD)
4. The sale of flavored malt beverages (commonly referred to as alcopops) is prohibited. Such products are generally sweetened, carbonated alcoholic beverages made with malt or spirits-based alcohol. Examples of such products include Smirnoff Ice, Mike's Hard Lemonade, Bacardi Silver and Jack Daniel's Lynchburg Lemonade. (PD)
5. The sale of energy drinks that contain any amount of alcohol is prohibited.
6. The sale and delivery of alcoholic beverages shall be made to persons who are within the licensed premises only and not through a pass-out window, drive-thru window or a slide-out tray to the exterior of the premises.

Attachment E: SEIR

(Provided to PC Previously)
(Available Upon Request)

Attachment F: Resolutions

RESOLUTION NO. 2008 – [SCH# 2003051045/EIR 08-02]

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD CERTIFYING SUBSEQUENT ENVIRONMENTAL IMPACT REPORT NO. 08-02 (SCH#2003051045) FOR THE ROSE RANCH COMMERCIAL PROJECT LOCATED ON A 9.89 ACRE PROPERTY LOCATED AT THE SOUTHWEST CORNER GONZALES ROAD AND ROSE AVENUE INTERSECTION (APN215-0-061-12). FILED BY PARKSTONE COMPANIES, ON BEHALF OF THE OWNER JOHN MCGRATH FAMILY PARTNERSHIP, 860 EAST HAMPSHIRE ROAD, SUITE U, WESTLAKE VILLAGE, CA 91361.

WHEREAS, the Planning Commission of the City of Oxnard has thoroughly considered the Final Subsequent Environmental Impact Report No. 08-02 (SCH#2003051045)(the “Final SEIR”) for the Rose Ranch Commercial Project, which has been prepared in accordance with the California Environmental Quality Act (CEQA) and Resolution No. 10,851, as amended, of the City Council; and

WHEREAS, the Planning Commission has held a public hearing and received and considered oral and written testimony on the Final EIR; and

WHEREAS, the comments of the Commissioners, members of the public, interested groups and agencies have been adequately responded to.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard:

1. Certifies that the Final SEIR was completed in compliance with CEQA and reflects the City of Oxnard’s independent judgment.
2. Certifies the adequacy of the Final SEIR.
3. Approves the Mitigation Monitoring and Reporting Program for the project set forth in Exhibit A and Findings of Fact Exhibit B.

The decision of the Planning Commission is final unless appealed in accordance with the provisions of Section 16-545 of the Oxnard City Code.

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 20th day of November, 2008, by the following vote:

AYES: Commissioners

NOES: Commissioners

ABSENT: Commissioners

Michael Sanchez, Chairman

ATTEST: _____
Susan L. Martin, Secretary

9.0 MITIGATION MONITORING AND REPORTING PROGRAM

CEQA requires that a reporting or monitoring program be adopted for the conditions of project approval that are necessary to mitigate or avoid significant effects on the environment (Public Resources Code 21081.6). The Mitigation Monitoring and Reporting Program (MMRP) is designed to ensure compliance with adopted mitigation measures during project implementation. For each mitigation measure recommended in the Environmental Impact Report, specifications are made herein that identify the action required and the monitoring that must occur. In addition, a responsible agency is identified for verifying compliance with individual conditions of approval contained in the MMRP.

In order to implement this MMRP, the City of Oxnard will designate a Project Mitigation Monitoring and Reporting Coordinator ("Coordinator"). The coordinator will be responsible for ensuring that the mitigation measures incorporated into the project are complied with during project implementation. The coordinator will also distribute copies of the MMRP to those responsible agencies identified in the MMRP, which have partial or full responsibility for implementing certain measures. Failure of a responsible agency to implement a mitigation measure will not in any way prevent the lead agency from implementing the proposed project.

The following table will be used as the coordinator's checklist to determine compliance with required mitigation measures.



Mitigation Measure/Condition of Approval	Action Required	When Monitoring to Occur	Monitoring Frequency	Responsible Agency or Party	Compliance Verification		
					Initial	Date	Comments
AESTHETICS							
AES-2(a) Exterior Lighting. The applicant shall design exterior building and parking lot lighting, including that associated with the Walgreen's pharmacy drive-thru, which sheds light pools only on the project site, incorporating "cut-off" shields as appropriate to prevent an increase in lighting at adjacent residential uses. Landscape illumination and exterior sign lighting shall be accomplished with low level, unobtrusive fixtures. Such lighting shall be shielded to direct light pools away from off site viewers.	Submittal of lighting plans and specifications to the OPD for review and approval; post construction inspection by BES.	Prior to issuance of building permit; post construction	Once for review of lighting plans; once post construction to verify compliance.	OPD, BES			
AES 2(b) Low Glare Materials. All fenestration shall be of a low-glare specification. Paint used for exterior facades shall be of low reflectivity. Metal surfaces shall be brush-polished or similar finish and not highly reflective to minimizing reflective glare.	Submit building materials and color schemes to OPD for review and approval; post construction inspection by BES.	Prior to the issuance of any discretionary permits for construction; post construction.	Once for review of building materials and color schemes; once post construction to verify compliance.	OPD, BES			
AIR QUALITY							
AQ-1(a) Dust Control Measures. The following shall be implemented during grading and construction to control dust. 1. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust. 2. Pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavating activities. Application of water (preferably reclaimed, if available) should penetrate sufficiently to minimize fugitive dust during grading activities.	Verification of inclusion of specified practices during all phases of grading and construction to control dust.	Once for review of construction plans prior to issuance of grading permit; field verification during grading and construction.	Once for review of construction plans; field verification periodically throughout grading and construction	BES			

Key: BES = City of Oxnard Building and Engineering Services
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<p>3. Fugitive dust produced during grading, excavation, and construction activities shall be controlled by the following activities:</p> <p>a. All trucks shall be required to cover their loads as required by California Vehicle Code Section 23114.</p> <p>b. All graded and excavated material, exposed soil areas, and active portions of the construction site, including unpaved on-site roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally-safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible.</p> <p>4. Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods shall be periodically applied to portions of the construction site that are inactive for over four days. If no further grading or excavation operations are planned for the area, it shall be seeded and watered until grass growth is evident, or periodically treated with environmentally safe dust suppressants, to prevent excessive fugitive dust.</p> <p>5. Signs shall be posted on-site limiting traffic to 15 miles per hour or less.</p> <p>6. During periods of high winds (i.e., wind speed sufficient to cause fugitive dust to affect adjacent properties), all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust from being an annoyance or hazard, either off-site or on-site.</p> <p>7. Adjacent streets and roads shall be swept at least once per day, preferably at the end of the day, if visible soil material is carried over to adjacent streets</p>							

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and roads. 8. Personnel involved in grading operations, including contractors and subcontractors, shall wear respiratory protection in accordance with California Division of Occupational Safety and Health regulations.							
AQ-1(b) Construction Equipment Controls. The following shall be implemented during construction to minimize emissions of ozone precursors. 1. Construction contractors shall minimize equipment idling time throughout construction. Engines shall be turned off if idling would be for more than five minutes. 2. Equipment engines shall be maintained in good condition and in proper tune as per manufacturers' specifications. 3. The number of pieces of equipment operating simultaneously shall be minimized. 4. Construction contractors shall use alternatively fueled construction equipment (such as compressed natural gas, liquefied natural gas, or electric) when feasible.	Verification of inclusion of specified practices during grading and construction to minimize emissions from ozone precursors.	Once for review of construction plans prior to issuance of grading permit; field verification during grading and construction.	Once for review of construction plans; field verification periodically throughout construction.	BES			
AQ-1(c) Low VOC Coatings. The applicant shall use low-volatile organic compound (VOC) architectural coatings in construction	Use low volatile paints wherever feasible.	During plan check	Once, during plan check; <u>field verification periodically.</u>	OPD, BES			
AQ-1(d) Construction Traffic Management Plan. All primary project construction contractors shall implement a traffic management program to reduce the number of employee trips or material delivery trips and to minimize conflict with regional transportation patterns. The elements of such a program shall include: 1. Provide rideshare incentives for all workers on the project site. [AQ-1(11)] 2. Provide construction personnel parking off arterial	Implement a traffic management program.	Once prior to issuance of a grading permit; and once prior to issuance of a building permit	Once prior to construction	OPD			

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roadways to minimize traffic interference. [AQ-1(12)] 3. Schedule receipt of concrete, asphalt, steel, and other materials from 9 a.m. to 3 p.m. to the extent practical. [AQ-1(13)] 4. Restrict any lane closures of public roadways to the hours of 9 a.m. to 3 p.m. [AQ-1(14)] 5. Complete all street sweeping of adjacent roadways by 4 p.m. [AQ-1(15)] 6. Avoid residential streets. 7. Avoid disruption of St. John's Hospital Emergency Services. 8. Provide for continuous safe use of the Rose Avenue bus stop during construction.							
AQ-2(a) Bicycle Racks. Bicycle Racks shall be increased such that a bicycle rack is installed within 100 feet of each storefront entrance.	Installation of bicycle racks	<u>Prior to issuance of a building permit.</u> <u>Post completion</u>	<u>Once, prior to issuance of a building permit.</u> <u>Once, post completion</u>	OPD, BES			
AQ-2(b) TDM Fund. The applicant shall provide an estimated contribution of \$279,511, which is about \$3.59 per square foot of commercial development, or a recalculated fee approved by the City and based upon the formula recommended in the VCAPCD Air Quality Assessment Guidelines (as shown in Appendix B), to a suitable Transportation Demand Management Plan Fund. Payment of fees shall occur prior to issuance of a building permit. Specific mitigation measures that could be undertaken using the TDM fund include, but are not limited to, enhanced public transit service, vanpool programs/subsidies, rideshare assistance programs, clean fuel programs, improved pedestrian and bicycle facilities, and park-and-ride facilities.	Payment of TDM fees by applicant and verification by OPD.	Prior to issuance of a building permit	Once, prior to issuance of a building permit	OPD, BES			
HAZARDS and HAZARDOUS MATERIALS							
H-2(a) Prior to issuance of a grading permit for the project, soil sampling shall be conducted on the project	Completion of soil sampling for	Prior to issuance of a	Once prior to issuance of a	OPD, BES			

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site to test for the presence of agricultural contaminants (pesticides, herbicides, etc.). If sampling identifies concentrations of any agricultural contaminants exceeding the commercial PRG for that contaminant, the affected soil shall be addressed as identified in Measure H-2(b) below.	agricultural contaminants.	grading permit	grading permit.				
H-2(b) Prior to issuance of a grading permit for the project, soils on the project site that contain concentrations of any pesticide exceeding its commercial PRG shall either be removed and disposed of in an appropriate off-site facility or shall be overexcavated and recompact so that the concentrations are reduced below the commercial PRG. Upon completion of remediation, follow-up soil testing shall be conducted to verify that pesticide concentrations have been reduced below the PRG.	Completion of soil sampling for pesticides	Prior to issuance of a grading permit	Once prior to issuance of a grading permit.	OPD, BES			
H-3 Groundwater. The applicant and developer shall coordinate with Shell and the VCEHD to ensure that any needs these parties may have to remediate MTBE in the perched aquifer beneath the site are met. Construction and development shall be sited to allow for remediation if it is deemed necessary to fully reduce the hazard from MTBE contamination to levels deemed acceptable to the VCEHD. Maximum concentrations for primary health and safety are 13 µl for health and safety; however, the VCEHD acknowledges that these levels may not be feasible for all sites and reserves the right to make a determination based on site specific considerations. An agreement documenting cooperation between the property owners and Shell or VCEHD shall be presented prior to issuance of a building permit.	Coordination with Shell and VCEHD for remediation	Prior to issuance of building permit	Once prior to implementation of a dewatering program; once if report is necessary; once if discharge permits are necessary.	OPD, BES			
HYDROLOGY							
H-1 Stormwater Management Plan. Prior to issuance of any grading permit, each developer shall	Completion and verification of a	Prior to start of grading.	Once prior to start of grading	OPD, <u>BES</u>			

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<p>demonstrate that a Stormwater Management Plan satisfying the requirements of the SQUIMP has been developed and approved by the Development Services Department. At a minimum, the plan shall include provisions for addressing the following areas of concern, as outlined in the SQUIMP.</p> <p><u>Minimization of Storm Water Pollutants of Concern</u></p> <p>Source-control and treatment BMPs are needed to assure that pollutants are removed to the maximum extent practicable. At a minimum each Stormwater Management Plan shall include:</p> <ul style="list-style-type: none"> • A program for the routine cleaning and maintenance of streets, parking lots, catch basins and storm drains, especially prior to the rainy season, to help reduce the level of gross pollutants being discharged from the plan area • Other BMPs incorporated in project design so as to minimize, to the maximum extent practicable, the introduction of pollutants of concern to receiving waters. Such BMPs may include, but are not limited to: <ul style="list-style-type: none"> o Use of permeable materials where feasible for sidewalks and patios o Directing rooftop runoff to pervious surfaces, such as yards and landscaped areas o Use of biofilters, including vegetated swales and strips o Storm water treatment wetlands <p>Informational Materials, including Storm Drain System Stenciling and Signage</p> <p>The following informational materials shall be provided:</p>	<p>SWPPP.</p> <p>Approval of dewatering treatments by City.</p>						

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<ul style="list-style-type: none"> • Stenciling of all storm drains inlets and post signs along channels to discourage dumping by informing the public that water flows to the Pacific Ocean • Maintenance of the legibility of stencils and signs <p><u>Proper Design of Trash Storage Areas in Commercial Zoned Area</u></p> <p>All trash container areas shall meet the following Structural or Treatment Control BMP requirements:</p> <ul style="list-style-type: none"> • Trash container areas shall have drainage from adjoining roofs and pavement diverted around the area(s). • Trash container areas shall be screened or walled to prevent off-site transport of trash. • Trash container areas shall be roofed to prevent rain water from entering trash and becoming contaminated. • Trash enclosures serving restaurants, grocery stores, or other establishments shall be constructed with a drain inlet within the enclosure that collects all enclosure wash water or drippings and conveys them to the sewer system via the grease interceptor. <p><u>Ongoing BMP Maintenance</u></p> <p>All permanent BMPs for Filterra Treatment devices or any other approved device shall be within the project parking lot and are to be maintained by the property owner or community association. The applicant will be required to record a covenant prior to issuing a final certificate of occupancy, guaranteeing perpetual maintenance and allowing the City to provide emergency service. Additionally the covenant would require the property owner to keep maintenance</p>							

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<p>records and provide them to the City upon request.</p> <p><u>Proper Design and Treatment of Runoff from Parking Lots</u></p> <p>Parking lots may accumulate oil, grease, and water insoluble hydrocarbons from vehicle drippings and engine system leaks. To minimize the potential impacts of parking lots, the following shall be required:</p> <ul style="list-style-type: none"> • Oil and petroleum hydrocarbons produced at plan area parking lots shall be removed from runoff prior to entering the off-site storm drain system. • The developer shall ensure adequate operation and maintenance of treatment systems, particularly sludge and oil removal, and system fouling/plugging prevention control <p>Per the SQUIMP, structural or treatment control BMPs must meet the following design standards:</p> <ul style="list-style-type: none"> • Volume based post-construction structural or treatment control BMPs shall be designed to mitigate (infiltrate or treat) storm water runoff from either: <ul style="list-style-type: none"> a. The volume of annual runoff to achieve 80% volume capture (Ventura County Land Development Guidelines); b. The 85th percentile 24-hour runoff event; c. The volume of runoff produced from a 0.75-inch storm event; or d. The volume of runoff produced by a rainfall criterion that achieves the same reduction in pollutant loads as b. • Flow-based post-construction structural or treatment 							

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<p>control BMPs shall be sized to handle the flow generated from either:</p> <ul style="list-style-type: none"> a. 10% of the 50-year design flow rate; b. A flow that will result in treatment of the same portion of runoff as treated using volumetric standards above; c. A rain event equal to at least 0.2 inches per hour intensity; or d. A rain event equal to at least two times the 85th percentile hourly rainfall intensity for Ventura County. 							
<p>PS9 Drainage System Approval. Detailed storm drain system calculations and plans shall be provided for each project (this project) within the NECSP area prior to issuance of a building permit. The design and sizing of all proposed storm drain improvements shall meet the needs of the ultimate NECSP buildout as well as the interim requirements of the proposed project. The Public Works Department shall review and approve the final designs prior to issuance of a building permit.</p>	<p>Submission of detailed storm drain system calculations and plans</p>	<p>Prior to issuance of building permit</p>	<p>Once prior to issuance of building permit</p>	<p>OPD, <u>BES</u></p>			
<p>H-3 Stormwater Pollution Prevention Plan. Prior to issuance of a grading permit, the developer shall prepare a Stormwater Pollution Prevention Plan for the site for review and approval by the Public Works Department. The SWPPP shall fully comply with RWQCB requirements and shall contain specific BMPs to be implemented during project construction to reduce erosion and sedimentation to the maximum extent practicable. At a minimum, the following BMPs shall be included within the Plan:</p> <p><u>Pollutant Escape: Deterrence</u></p> <ul style="list-style-type: none"> • Cover all storage areas, including soil piles, fuel and chemical depots. Protect from rain and wind with plastic sheets and temporary roofs. 	<p>Completion and verification of a Drainage and Flood Control Improvement Plan.</p> <p>Obtain all necessary permits from VC Watershed Protection District.</p>	<p>Prior to issuance of grading permits</p>	<p>Once prior to issuance of a grading permit</p>	<p><u>BES</u></p>			

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 9.0 Mitigation Monitoring and Reporting Program

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					Initial	Date	Comments
<p>Pollutant Containment Areas</p> <ul style="list-style-type: none"> • Locate all construction related equipment and related processes that contain or generate pollutants (i.e. fuel, lubricant and solvents, cement dust and slurry) in isolated areas with proper protection from escape. • Locate construction-related equipment and processes that contain or generate pollutants in secure areas, away from storm drains and gutters. • Place construction-related equipment and processes that contain or generate pollutants in bermed, plastic lined depressions to contain all materials within that site in the event of accidental release or spill. • Park, fuel and clean all vehicles and equipment in one designated, contained area. <p><u>Pollutant Detainment Methods</u></p> <ul style="list-style-type: none"> • Protect downstream drainages from escaping pollutants by capturing materials carried in runoff and preventing transport from the site. Examples of detainment methods that retard movement of water and separate sediment and other contaminants are silt fences, hay bales, sand bags, berms, silt and debris basins. <p><u>Erosion Control</u></p> <ul style="list-style-type: none"> • Conduct major excavation during dry months. These activities may be significantly limited during wet weather. • Utilize soil stabilizers. • Reduce fugitive dust by wetting graded areas with adequate, yet conservative amount of water. Cease grading operations in high winds. <p><u>Recycling/Disposal</u></p> <ul style="list-style-type: none"> • Develop a protocol for maintaining a clean site. This includes proper recycling of construction related 							

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Rose Ranch Commercial Project Subsequent EIR
9.0 Mitigation Monitoring and Reporting Program

Mitigation Measure/Condition of Approval	Action Required	When Monitoring to Occur	Monitoring Frequency	Responsible Agency or Party	Compliance Verification		
					Initial	Date	Comments
<p>materials and equipment fluids (i.e., concrete dust, cutting slurry, motor oil and lubricants).</p> <ul style="list-style-type: none"> • Provide disposal facilities. Develop a protocol for cleanup and disposal of small construction wastes (i.e., dry concrete). <p><u>Hazardous Materials Identification and Response</u></p> <ul style="list-style-type: none"> • Develop a protocol for identifying risk operations and materials. Include protocol for identifying spilled materials source, distribution; fate and transport of spilled materials. • Provide a protocol for proper clean up of equipment and construction materials, and disposal of spilled substances and associated cleanup materials. • Provide an emergency response plan that includes contingencies for assembling response team and immediately notifying appropriate agencies. 							
LAND USE							
<p>AES-2(a) Exterior Lighting. The applicant shall design exterior building and parking lot lighting, including that associated with the Walgreen's pharmacy drive-thru, which sheds light pools only on the project site, incorporating "cut-off" shields as appropriate to prevent an increase in lighting at adjacent residential uses. Landscape illumination and exterior sign lighting shall be accomplished with low level, unobtrusive fixtures. Such lighting shall be shielded to direct light pools away from off site viewers.</p>	<p>Submittal of lighting plans and specifications to the OPD for review and approval; post construction inspection by BES.</p>	<p>Prior to issuance of building permit; post construction</p>	<p>Once for review of lighting plans; once post construction to verify compliance.</p>	<p>BES, OPD</p>			
<p>AES 2(b) Low Glare Materials. All fenestration shall be of a low-glare specification. Paint used for exterior facades shall be of low reflectivity. Metal surfaces shall be brush-polished or similar finish and not highly reflective.</p>	<p>Submit building materials and color schemes to OPD for review and approval; post construction inspection by BES.</p>	<p>Prior to the issuance building permits; post construction.</p>	<p>Once for review of building materials and color schemes; once post construction to verify compliance.</p>	<p>OPD, BES</p>			

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Rose Ranch Commercial Project Subsequent EIR
 9.0 Mitigation Monitoring and Reporting Program

Mitigation Measure/Condition of Approval	Action Required	When Monitoring to Occur	Monitoring Frequency	Responsible Agency or Party	Compliance Verification		
					Initial	Date	Comments
NOISE							
N-1(1) Construction Hours. Construction activities at the site shall be limited to weekdays and Saturdays, between the hours of 7:00 a.m. to 6:00 p.m.	Construction activities restrictions	During construction	Periodically during construction	BES			
N-1(a) Diesel Equipment Specifications. All diesel equipment shall be operated with closed engine doors and shall be equipped with factory recommended mufflers.	Implementation of diesel equipment mufflers	During construction	Periodically during construction	BES			
N-1(b) Electrical Power. Electrical power shall be used to run air compressors and similar power tools.	Implementation of electrically-powered tools and facilities	During construction	Periodically during construction	BES			
N-1(c) Construction Noise Complaint Line. The City shall provide a telephone number for local residents to call to submit complaints associated with construction noise. The number shall be posted on the project site and shall be easily viewed from adjacent public areas.	Posting of telephone number	Prior to the issuance of grading permit; during construction	Once, prior to the issuance of a grading permit. Daily during construction	OPD, BES			
N-3 Truck Operations. Onsite trash pickup services, street and parking lot sweeping, and truck deliveries shall be restricted to between the hours of 7:00 AM and 11:00 PM, Monday through Saturday.	Truck operation hours restrictions	On-going, when shopping center is open	Post completion	Oxnard Code Enforcement			
PUBLIC SERVICES							
PS-3 All new construction shall be equipped with fire sprinklers.	Include fire sprinklers in construction	During plan check and post construction	Once during plan check; Once post construction	OFD			
PS-4 All development plans shall be subject to Fire Department review for emergency access, adequate fire flow, provision of hydrants and fire detection and alarm equipment.	Development plans subject to OFD review	Prior to the issuance of building permits	Once, prior to approval of final plans. Once, field verification prior to issuance of a certificate of occupancy.	OFD			
PS-6 Future construction shall comply with all	Oxnard Police	Prior to the	Once, prior to	OPD, and			

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Mitigation Measure/Condition of Approval	Action Required	When Monitoring to Occur	Monitoring Frequency	Responsible Agency or Party	Compliance Verification		
					Initial	Date	Comments
recommendations of the Oxnard Police Department relative to building security design (doors, locks, access, visibility) prior to approval of final plans.	Department consultation and approval of final design of the project	issuance of building permits	approval of final plans	Oxnard Police Department			
PS-7 The Oxnard Police Department shall be included in the plan check process to enable the Department to recommend specific improvements that will enhance crime prevention for the project and allow for the police to better plan for calls that may be generated by the development.	Oxnard Police Department included in plan check	<u>Prior to the issuance of building permits</u>	<u>Once, prior to the issuance of building permits</u>	OPD , and Oxnard Police Department			
Additionally PS-1 is recommended but not required: PS-1 The project shall retain a private on-site security guard on duty overnight during construction, and at all times that the proposed shopping center is open for business.	Retain private security	During construction and during business hours	Once prior to issuance of grading permit; On-going during construction; On-going during operation of shopping center	OPD, BES, and Oxnard Police Department			
TRAFFIC and CIRCULATION							
T-1 Gonzales Road/Rose Avenue Intersection Improvement. The operation of the Gonzales Road/Rose Avenue intersection shall be improved by converting an eastbound through lane to a left-turn lane, thereby providing triple left-turns on the eastbound approach. With triple left-turns, two through lanes and an exclusive right-turn lane on the eastbound approach the resulting V/C and LOS would be 0.63/LOS "B" during the A.M. peak hour period and 0.77/LOS "C" during the P.M. peak hour period.	Implementation of intersection improvements	Prior to the issuance building permit	Once prior to the issuance of a building permit; Once upon completion of intersection improvement	OPD and Oxnard Traffic Division			
UTILITIES and SERVICE SYSTEMS							
U-1(a) Agricultural Well Destruction and City Water Supply Credit. The applicant shall destroy the onsite agricultural irrigation well in accordance with applicable requirements such that the City obtains a	Verification of plans	Prior to the issuance of grading permit	Once during plan check; Once post construction	OPD, BES			

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Mitigation Measure/Condition of Approval	Action Required	When Monitoring to Occur	Monitoring Frequency	Responsible Agency or Party	Compliance Verification		
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minimum of two additional acre-feet per year from the Fox Canyon Groundwater Management Agency pursuant to applicable regulations.							
U-1(b) Waterwise Landscaping. All onsite landscaping shall be drought tolerant and shall incorporate subsurface drip irrigation to reduce evaporative losses. Water fountains are prohibited due to evaporative losses. Purple pipe shall be installed in landscape areas, unless determined to be unnecessary by the City's Public Works Department, such that the irrigation system can be converted to reclaimed water in the future when recycled water supplies are brought to the vicinity of the site.	Verification of implementation of waterwise landscaping	During plan check and post construction	Once during plan check; Once post construction	OPD, BES			
U-1(c) Water Conservation fixtures. All plumbing fixtures shall be conservation fixtures, reducing potential for water waste to the maximum extent practicable, including automatic shut off on public sinks, ultra low flow toilets, urinals, and tankless water heaters.	Verification of implementation of water conservation fixtures	During plan check and post construction	Once during plan check; Once post construction	OPD, BES			
U-2 Fees. The proposed project would be responsible for any fair share fees associated with upgrades to the existing sewer system if improvements to the existing sewer system are necessary to serve the proposed project.	Payment of fees	Prior to issuance of building permit	Once prior to issuance of building permit	BES			
WW-2(8) Prior to issuance of building permits, detailed sewer system calculations and plans shall be provided for the proposed project. The design and sizing of all proposed sewer improvements shall meet the needs of the ultimate NECSP buildout, as well as the interim requirements of the proposed project.	Sewer system calculations and plans	Prior to issuance of building permits	Once during plan check; once post construction	OPD, BES			

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Exhibit B
STATEMENT OF FINDINGS OF FACT

SECTION 1: INTRODUCTION

The following findings are based in part on the information contained in the Final Subsequent Environmental Impact Report (SEIR) for the Rose Ranch Commercial Project (SCH #2003051045) as well as additional facts found in the complete record of proceedings.

As defined by Section 15050 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA Guidelines), the City of Oxnard is serving as "Lead Agency," responsible for preparing the SEIR for the proposed Rose Ranch Commercial Project.

In accordance with the requirements of the CEQA Guidelines, the City of Oxnard determined that a SEIR should be prepared to analyze the potential impacts associated with the approval and implementation of the proposed project. A Notice of Preparation (NOP) was distributed by the City of Oxnard on January 4, 2008 and sent to public agencies and other parties stating that an EIR was going to be prepared by the City. In accordance with the requirements of CEQA, a 45-day period, beginning on January 4, 2008, was provided for responses to the NOP. This review period ended on February 18, 2008.

Based on public comments in response to the NOP and a review of environmental issues by the City of Oxnard Planning Division, the Draft and Final SEIRs' address the following topics in full detail:

- *Aesthetics*
- *Air Quality*
- *Hazardous Materials*
- *Hydrology and Water Quality*
- *Land Use*
- *Noise*
- *Population and Housing*
- *Public Services*
- *Transportation/Circulation*
- *Utilities*

Project impacts on Transportation/Circulation were found to be significant, however the impacts could be mitigated to a less than significant level. The issues of Aesthetics, Air Quality, Hazardous Materials, Hydrology and Water Quality, Land Use, Noise, Population and Housing, Public Services, and Utilities were found to be potentially significant, but standard mitigations and city practices were found to reduce impacts to less than significant. Project impacts on Biological Resources, Agricultural Resources, Cultural Resources, Geology and Soils, Mineral Resources, Recreation, and Utilities and Service Systems were identified in the Initial Study as not being significantly impacted by project-induced changes to the environment and were, therefore, discussed in less detail.

The Final Subsequent EIR (FSEIR) evaluated the environmental impacts of the proposed Rose Ranch Commercial Project, which consists of a series of related discretionary actions requested of the City of Oxnard including the following Planning and Zoning Permits:

- PZ 07-620-06 (General Plan Amendment)
- PZ 07-630-04 (Specific Plan Amendment)
- PZ 07-570-05 (Zoning Change)
- PZ 07-500-15 (Special Use Permit)
- PZ 07-300-15 (Tentative Subdivision Map for Tract No. 5768)

For purposes of CEQA and the findings set forth herein, the record of proceedings for the City Council's decision on the Rose Ranch Commercial Project consists of the following:

- All reports, studies, maps, plans, and correspondence received from the applicant in connection with the proposed project;
- The project NOP, dated January 4, 2008;
- All written comments received in response to the NOP;
- The Rose Ranch Commercial Project Draft SEIR (dated July 2008), including all of its appendices;
- Copies of all letters received by the City during the public review period for the Rose Ranch Commercial Project Draft SEIR (provided in section 8.0 of the FSEIR);
- Responses to significant environmental points raised in the letters concerning the Draft SEIR and the comments made at the July 18, 2008 Oxnard Planning Commission DSEIR Public Hearing (provided in section 8.0 of the FSEIR);
- The Rose Ranch Commercial FSEIR (dated October 2008), including all of its appendices; and

- The Mitigation Monitoring and Reporting Program (provided in section 9.0 of the FSEIR).

The FSEIR and all documents identified above are hereby incorporated by reference and are available for review at the City of Oxnard Planning Division, 214 South C Street, Oxnard, California 93030.

SECTION 2: FINDINGS OF FACT

The following findings are made in order to approve and certify the Final SEIR:

1. The Final SEIR contains all of the mandatory contents of Environmental Impact Reports, as contained in Sections 21000-21177 of the California Public Resources Code. In addition, all of the procedures for preparation and review of Environmental Impact Reports required by Article 7 of the CEQA Guidelines have been complied with.

Finding No. 1:

The City Council hereby finds that the Final SEIR for the Rose Ranch Commercial Project has been prepared in compliance with CEQA. City staff reviewed the document for accuracy, consistency, and completeness prior to its release for public review. Therefore, it is found that the Final SEIR document reflects the independent judgment of the City of Oxnard.

2. Pursuant to Section 15091 of the CEQA Guidelines:

“No public agency shall approve or carry out a project for which an Environmental Impact Report has been certified which identifies one or more significant environmental effects of the project unless the public agency makes one or more written findings for each of those significant effects, accompanied by a brief explanation of the rationale for each finding. The possible findings are:

- (1) Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the final EIR.*
- (2) Such changes or alterations are within the responsibility and jurisdiction of another public agency and not the agency making the finding. Such changes have been adopted by such other agency or can and should be adopted by such other agency.*
- (3) Specific economic, legal, social, technological, or other considerations, including provision of employment opportunities for highly trained workers, make infeasible the mitigation measure or project alternatives identified in the final EIR.”*

The following environmental impact findings on specific environmental issues are made in order to approve the project:

A. Aesthetics

Exterior Lighting & Glare

The proposed project would produce light and glare that would extend the area of night light across the currently vacant property, altering the nighttime sky. This would adversely affect the residences located in the project vicinity unless mitigated. This is a significant, but mitigable, impact.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the final EIR.

Mitigation Measure AES-2(a):

The applicant shall design exterior building and parking lot lighting, including that associated with the Walgreen's pharmacy drive-thru, which sheds light pools only on the project site, incorporating "cut-off" shields as appropriate to prevent an increase in lighting at adjacent residential uses. Landscape illumination and exterior sign lighting shall be accomplished with low level, unobtrusive fixtures. Such lighting shall be shielded to direct light pools away from off site viewers.

Mitigation Measure AES-2(b):

All fenestration shall be of a low-glare specification. Paint used for exterior facades shall be of low reflectivity. Metal surfaces shall be brush-polished or similar finish and not highly reflective to minimizing reflective glare.

Finding No. 2

The Planning Commission hereby finds that all feasible and reasonable mitigation measures for impacts relating to aesthetics have been identified in the Final SEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to aesthetics to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

B. Air Quality

Construction Period Emissions

Construction activity would generate temporary air pollutant emissions, which would incrementally contribute pollutants as part of the NECSP build-out. However, these emissions would be temporary and can be mitigated through implementation of standard measures. This is a significant, but mitigable impact.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the final SEIR.

Mitigation Measure AQ-1(a) Dust Control Measures:

The following shall be implemented during grading and construction to control dust:

- 1. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust.*
- 2. Pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavating activities. Application of water (preferably reclaimed, if available) should penetrate sufficiently to minimize fugitive dust during grading activities.*
- 3. Fugitive dust produced during grading, excavation, and construction activities shall be controlled by the following activities:*
 - a. All trucks shall be required to cover their loads as required by California Vehicle Code Section 23114.*

b. All graded and excavated material, exposed soil areas, and active portions of the construction site, including unpaved on-site roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally-safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible.

4. Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods shall be periodically applied to portions of the construction site that are inactive for over four days. If no further grading or excavation operations are planned for the area, it shall be seeded and watered until grass growth is evident, or periodically treated with environmentally safe dust suppressants, to prevent excessive fugitive dust.

5. Signs shall be posted on-site limiting traffic to 15 miles per hour or less.

6. During periods of high winds (i.e., wind speed sufficient to cause fugitive dust to affect adjacent properties), all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust from being an annoyance or hazard, either off-site or on-site.

7. Adjacent streets and roads shall be swept at least once per day, preferably at the end of the day, if visible soil material is carried over to adjacent streets and roads.

8. Personnel involved in grading operations, including contractors and subcontractors, shall wear respiratory protection in accordance with California Division of Occupational Safety and Health regulations.

Mitigation Measure AQ-1(b) Construction Equipment Controls.

The following shall be implemented during construction to minimize emissions of ozone precursor:

- 1. Construction contractors shall minimize equipment idling time throughout construction. Engines shall be turned off if idling would be for more than five minutes.*
- 2. Equipment engines shall be maintained in good condition and in proper tune as per manufacturers' specifications.*

3. *The number of pieces of equipment operating simultaneously shall be minimized.*
4. *Construction contractors shall use alternatively fueled construction equipment (such as compressed natural gas, liquefied natural gas, or electric) when feasible.*

Mitigation Measure AQ-1(c) Low VOC Coatings.

The applicant shall use low-volatile organic compound (VOC) architectural coatings in construction.

Mitigation Measure AQ-1(d) Construction Traffic Management Plan.

All primary project construction contractors shall implement a traffic management program to reduce the number of employee trips or material delivery trips and to minimize conflict with regional transportation patterns. The elements of such a program shall include:

1. *Provide rideshare incentives for all workers on the project site. [AQ-1(11)]*
2. *Provide construction personnel parking off arterial roadways to minimize traffic interference. [AQ-1(12)]*
3. *Schedule receipt of concrete, asphalt, steel, and other materials from 9 a.m. to 3 p.m. to the extent practical. [AQ-1(13)]*
4. *Restrict any lane closures of public roadways to the hours of 9 a.m. to 3 p.m. [AQ-1(14)]*
5. *Complete all street sweeping of adjacent roadways by 4 p.m. [AQ-1(15)]*
6. *Avoid residential streets.*
7. *Avoid disruption of St. John's Hospital Emergency Services.*
8. *Provide for continuous safe use of the Rose Avenue bus stop during construction.*

Operational Emissions

Project area source and operational emissions in association with other NECSP development would contribute ROG and NO_x in excess of VCAPCD thresholds. However, payment of fees to a Transportation Demand Management Plan fund would reduce impacts to a significant but mitigable level.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the final SEIR.

The Final SEIR includes the following mitigation measures to minimize long term operational impacts associated with estimated project ROG and NO_x emissions:

Mitigation Measure AQ-2(a) Bicycle Racks.

Bicycle Racks shall be increased such that a bicycle rack is installed within 100 feet of each storefront entrance.

Mitigation Measure AQ-2(b) TDM Fund

The applicant shall provide an estimated contribution of \$279,511, which is about \$3.59 per square foot of commercial development, or a recalculated fee approved by the City and based upon the formula recommended in the VCAPCD Air Quality Assessment Guidelines (as shown in Appendix B), to a suitable Transportation Demand Management Plan Fund. Payment of fees shall occur prior to issuance of a building permit.

Specific mitigation measures that could be undertaken using the TDM fund include, but are not limited to, enhanced public transit service, vanpool programs/subsidies, rideshare assistance programs, clean fuel programs, improved pedestrian and bicycle facilities, and park-and-ride facilities.

Finding No. 3

The City Council hereby finds that all feasible and reasonable mitigation measures for impacts relating to air quality have been identified in the FSEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to air quality to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

C. Hazardous Materials

Concentrations of Pesticides in Soil

The project site was formerly in agricultural production and portions of it may contain elevated levels of pesticides in the soils. This impact is significant but mitigable.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the Final SEIR.

Mitigation Measure H-2(a) Soil Test

Prior to issuance of a grading permit for the project, soil sampling shall be conducted on the project site to test for the presence of agricultural contaminants (pesticides, herbicides, etc.). If sampling identifies concentrations of any agricultural contaminants exceeding the commercial PRG for that contaminant, the affected soil shall be addressed as identified in Measure H-2(b) below.

Mitigation Measure H-2(b) Soil Cleanup

Prior to issuance of a grading permit for the project, soils on the project site that contain concentrations of any pesticide exceeding its commercial PRG shall either be removed and disposed of in an appropriate off-site facility or shall be overexcavated and recompact so that the concentrations are reduced below the commercial PRG. Upon completion of remediation, follow-up soil testing shall be conducted to verify that pesticide concentrations have been reduced below the PRG.

Groundwater Contamination Remediation

Groundwater in the perched aquifer below the project site has been contaminated with MTBE due to off-site activities at the Shell Station across Gonzales Road to the north. If project development were to conflict with groundwater remediation requirements, a threat to public welfare and safety could occur due to the presence of MTBE in concentrations greater than those deemed safe by the VCEHD. This is a significant impact but it can be mitigated to a level that is less than significant.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the Final SEIR.

Mitigation Measure H-3 Groundwater

The applicant and developer shall coordinate with Shell and the VCEHD to ensure that any needs these parties may have to remediate MTBE in the perched aquifer beneath the site are met. Construction and development shall be sited to allow for remediation if it is deemed necessary to fully reduce the hazard from MTBE contamination to levels deemed acceptable to the VCEHD. Maximum concentrations for primary health and safety are 13 µ/l for health and safety; however, the VCEHD acknowledges that these levels may not be feasible for all sites and reserves the right to make a determination based on site specific considerations. An agreement documenting cooperation between the property owners and Shell or VCEHD shall be presented prior to issuance of a building permit.

Finding No. 4

The Planning Commission hereby finds that all feasible and reasonable mitigation measures for impacts relating to hazardous materials have been identified in the SEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to air quality to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

D. Hydrology and Water Quality

Surface or Groundwater Water Quality Impacts

The proposed project would generate various urban pollutants, such as oil, herbicides and pesticides, which could adversely affect surface water quality. This is a significant impact but it can be mitigated to a level that is less than significant.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the Final SEIR.

Mitigation Measure H-1 Stormwater Management Plan

Prior to issuance of any grading permit, each developer shall demonstrate that a Stormwater Management Plan satisfying the requirements of the SQUIMP has been developed and approved by the Development Services Department. At a minimum, the plan shall include provisions for addressing the following areas of concern, as outlined in the SQUIMP.

Minimization of Storm Water Pollutants of Concern

Source-control and treatment BMPs are needed to assure that pollutants are removed to the maximum extent practicable. At a minimum each Stormwater Management Plan shall include:

- a. A program for the routine cleaning and maintenance of streets, parking lots, catch basins and storm drains, especially prior to the rainy season, to help reduce the level of gross pollutants being discharged from the plan area
- b. Other BMPs incorporated in project design so as to minimize, to the maximum extent practicable, the introduction of pollutants of concern to receiving waters. Such BMPs may include, but are not limited to:
 - i. Use of permeable materials where feasible for sidewalks and patios
 - ii. Directing rooftop runoff to pervious surfaces, such as yards and landscaped areas
 - iii. Use of biofilters, including vegetated swales and strips
 - iv. Storm water treatment wetlands

Informational Materials, including Storm Drain System Stenciling and Signage

The following informational materials shall be provided:

- a. Stenciling of all storm drains inlets and post signs along channels to discourage dumping by informing the public that water flows to the Pacific Ocean
- b. Maintenance of the legibility of stencils and signs

Proper Design of Trash Storage Areas in Commercial Zoned Area

All trash container areas shall meet the following Structural or Treatment Control BMP requirements:

- a. Trash container areas shall have drainage from adjoining roofs and pavement diverted around the area(s).
- b. Trash container areas shall be screened or walled to prevent off-site transport of trash.
- c. Trash container areas shall be roofed to prevent rain water from entering trash and becoming contaminated.

- d. *Trash enclosures serving restaurants, grocery stores, or other establishments shall be constructed with a drain inlet within the enclosure that collects all enclosure wash water or drippings and conveys them to the sewer system via the grease interceptor.*

Ongoing BMP Maintenance

All permanent BMPs for Filterra Treatment devices or any other approved device shall be within the project parking lot and are to be maintained by the property owner or community association. The applicant will be required to record a covenant prior to issuing a final certificate of occupancy, guaranteeing perpetual maintenance and allowing the City to provide emergency service. Additionally the covenant would require the property owner to keep maintenance records and provide them to the City upon request.

Proper Design and Treatment of Runoff from Parking Lots

Parking lots may accumulate oil, grease, and water insoluble hydrocarbons from vehicle drippings and engine system leaks. To minimize the potential impacts of parking lots, the following shall be required:

- a. *Oil and petroleum hydrocarbons produced at plan area parking lots shall be removed from runoff prior to entering the off-site storm drain system.*
- b. *The developer shall ensure adequate operation and maintenance of treatment systems, particularly sludge and oil removal, and system fouling/plugging prevention control*

Per the SQUIMP, structural or treatment control BMPs must meet the following design standards:

- a. *Volume based post-construction structural or treatment control BMPs shall be designed to mitigate (infiltrate or treat) storm water runoff from either:*
 - i. *The volume of annual runoff to achieve 80% volume capture (Ventura County Land Development Guidelines);*
 - ii. *The 85th percentile 24-hour runoff event;*
 - iii. *The volume of runoff produced from a 0.75-inch storm event; or*
 - iv. *The volume of runoff produced by a rainfall criterion that achieves the same reduction in pollutant loads as b.*
- b. *Flow-based post-construction structural or treatment control BMPs shall be sized to handle the flow generated from either:*

- i. 10% of the 50-year design flow rate;
- ii. A flow that will result in treatment of the same portion of runoff as treated using volumetric standards above;
- iii. A rain event equal to at least 0.2 inches per hour intensity; or
- iv. A rain event equal to at least two times the 85th percentile hourly rainfall intensity for Ventura County.

Surface Water Runoff

The proposed project would increase surface water runoff during storm events. However, the proposed detention system would ensure that post-development runoff does not exceed 1.0 cfs/acre. In addition, off-site facilities are adequate to handle flows from the site once developed. However, the designs are preliminary and still require finalization and approval. Therefore, this impact is significant however it can be mitigated to a level that is less than significant.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the final EIR.

Long term maintenance would be assured with implementation of mitigation measure H-1 which requires a maintenance plan and implementation of maintenance by the property owner or a community association. Additionally, the following mitigation measure from the 1993 NECSP applies to the proposed project:

Mitigation Measure PS9 Storm Drain Approval

Detailed storm drain system calculations and plans shall be provided for each project (this project) within the NECSP area prior to issuance of a building permit. The design and sizing of all proposed storm drain improvements shall meet the needs of the ultimate NECSP buildout as well as the interim requirements of the proposed project. The Public Works Department shall review and approve the final designs prior to issuance of a building permit.

Construction Site Pollution

Construction of the proposed commercial project could subject the downstream watershed to discharges of various pollutants. This is a significant impact, however it can be mitigated to a level that is less than significant.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the Final SEIR.

Mitigation Measure H-3 Stormwater Pollution Prevention Plan

Prior to issuance of a grading permit, the developer shall prepare a Stormwater Pollution Prevention Plan for the site for review and approval by the Public Works Department. The SWPPP shall fully comply with RWQCB requirements and shall contain specific BMPs to be implemented during project construction to reduce erosion and sedimentation to the maximum extent practicable. At a minimum, the following BMPs shall be included within the Plan:

Pollutant Escape: Deterrence

Cover all storage areas, including soil piles, fuel and chemical depots. Protect from rain and wind with plastic sheets and temporary roofs.

Pollutant Containment Areas

- a. Locate all construction related equipment and related processes that contain or generate pollutants (i.e. fuel, lubricant and solvents, cement dust and slurry) in isolated areas with proper protection from escape.*
- b. Locate construction-related equipment and processes that contain or generate pollutants in secure areas, away from storm drains and gutters.*
- c. Place construction-related equipment and processes that contain or generate pollutants in bermed, plastic lined depressions to contain all materials within that site in the event of accidental release or spill.*
- d. Park, fuel and clean all vehicles and equipment in one designated, contained area.*

Pollutant Detainment Methods

Protect downstream drainages from escaping pollutants by capturing materials carried in runoff and preventing transport from the site. Examples of detainment methods that retard movement of water and separate sediment and other contaminants are silt fences, hay bales, sand bags, berms, silt and debris basins.

Erosion Control

- a. Conduct major excavation during dry months. These activities may be significantly limited during wet weather.*
- b. Utilize soil stabilizers.*
- c. Reduce fugitive dust by wetting graded areas with adequate, yet conservative amount of water. Cease grading operations in high winds.*

Recycling/Disposal

- a. Develop a protocol for maintaining a clean site. This includes proper recycling of construction related materials and equipment fluids (i.e., concrete dust, cutting slurry, motor oil and lubricants).*
- b. Provide disposal facilities. Develop a protocol for cleanup and disposal of small construction wastes (i.e., dry concrete).*

Hazardous Materials Identification and Response

- a. *Develop a protocol for identifying risk operations and materials. Include protocol for identifying spilled materials source, distribution; fate and transport of spilled materials.*
- b. *Provide a protocol for proper clean up of equipment and construction materials, and disposal of spilled substances and associated cleanup materials.*
- c. *Provide an emergency response plan that includes contingencies for assembling response team and immediately notifying appropriate agencies.*

Finding No. 5

The City Council hereby finds that all feasible and reasonable mitigation measures for impacts relating to hydrology and water quality have been identified in the FSEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to air quality to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

E. Land Use

Exterior Lighting and Glare

The proposed project would generally be compatible with the mix of uses in the area, but lighting conflicts with adjacent uses, if unmitigated would result in potential impacts. This compatibility impact is significant; however, it can be mitigated to levels that are less than significant.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the Final SEIR.

Mitigation Measure AES-2(a) Glare Abatement

The applicant shall design exterior building and parking lot lighting, including that associated with the Walgreen's pharmacy drive-thru, which sheds light pools only on the project site, incorporating "cut-off" shields as appropriate to prevent an increase in lighting at adjacent residential uses. Landscape illumination and exterior sign lighting shall be accomplished with low level, unobtrusive fixtures. Such lighting shall be shielded to direct light pools away from off site viewers.

Mitigation Measure AES-2(b)

All fenestration shall be of a low-glare specification. Paint used for exterior facades shall be of low reflectivity. Metal surfaces shall be brush-polished or similar finish and not highly reflective to minimizing reflective glare.

Finding No. 6

The City Council hereby finds that all feasible and reasonable mitigation measures for impacts relating to hydrology and water quality have been identified in the FSEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to air quality to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

Noise

Construction Period Equipment Noise

Project construction could intermittently generate high noise levels on and adjacent to the site. This may affect sensitive receptors near the project site. This is a significant, but mitigable impact.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the final EIR.

All construction would be subject to the City Noise Ordinance, Section 7-185 of Oxnard's City Code which limits noise-generating construction activity to between the hours of 7:00 AM and 6:00 PM on Monday through Saturday. Although limiting construction to these hours would ensure compliance with the Noise Ordinance, the following measures would be required to further reduce the impact of construction-related noise on nearby sensitive receptors.

Mitigation Measure N-1 Construction Noise Abatement:

N-1(I): Construction Hours. *Construction activities at the site shall be limited to weekdays and Saturdays, between the hours of 7:00 AM to 6:00 PM.*

N-1(a): Diesel Equipment. *Construction contractors shall operate all diesel equipment with closed engine doors and the equipment shall be equipped with factory-recommended muffler.*

N-1(b): Electrical Power. Electrical power shall be used to run air compressors and similar power tools.

N-1(c): Construction Noise Complaint Line. The Developer shall provide a telephone number for local residents to call to submit complaints associated with construction noise. The number shall be posted on the project site and shall be easily viewed from adjacent public areas.

Operational Noise

Noise generated by truck deliveries, parking lot activity, and onsite circulation of motor vehicles associated with the project would be audible periodically at nearby residences and could City Noise Ordinance standards if such events occur at night. This is a significant, but mitigable, impact.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the final EIR.

Mitigation Measure N-3 Truck Operations.

Onsite trash pickup services, street and parking lot sweeping, and truck deliveries shall be restricted to between the hours of 7:00 AM and 11:00 PM, Monday through Saturday.

Finding No. 7

The City Council hereby finds that all feasible and reasonable mitigation measures for impacts relating to noise have been identified in the FSEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to air quality to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

F. Public Services

Fire Department Resources

The proposed project would incrementally increase demands on the Oxnard Fire Department. However, the increase would not substantially affect the personnel, equipment, or organization of the Fire Department. This is a significant, but mitigable impact.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the Final SEIR.

Mitigation Measure PS-3 Fire Sprinklers

All new construction shall be equipped with fire sprinklers.

Mitigation Measure PS-4 Fire Department Review

All development plans shall be subject to Fire Department review for emergency access, adequate fire flow, provision of hydrants and fire detection, and alarm equipment.

Police Department Resources

The proposed project would incrementally increase demands on the Oxnard Police Department, which could adversely affect the Police Department. This is a significant, but mitigable, impact.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the Final SEIR.

Mitigation Measure PS-6 Police Department Review

Future construction shall comply with all recommendations of the Oxnard Police Department relative to building security design (doors, locks, access, visibility) prior to approval of final plans.

Mitigation Measure PS-7 Police Department Review

The Oxnard Police Department shall be included in the plan check process to enable the Department to recommend specific improvements that will enhance crime prevention for the project and allow for the police to better plan for calls that may be generated by the development.

Mitigation Measure PS-1 Police Department Review

The project shall retain a private on-site security guard on duty overnight during construction, and at all times that the proposed shopping center is open for business.

Finding No. 8

The City Council hereby finds that all feasible and reasonable mitigation measures for impacts relating to public services have been identified in the FSEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to air quality to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

G. Transportation/Traffic

Project operation would increase traffic levels on the local circulation system, which would exceed the City's threshold at the Gonzales Road/Rose Avenue intersection during the PM peak hour. This is a significant, but mitigable impact.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the final SEIR.

Mitigation Measure T-1 Gonzales Road/Rose Avenue

The operation of the Gonzales Road/Rose Avenue intersection shall be improved by converting an eastbound through lane to a left-turn lane, thereby providing triple left-turns on the eastbound approach. With triple left-turns, two through lanes and an exclusive right-turn lane on the eastbound approach the resulting V/C and LOS would be 0.63/LOS "B" during the A.M. peak hour period and 0.77/LOS "C" during the P.M. peak hour period.

Finding No. 9

The City Council hereby finds that all feasible and reasonable mitigation measures for impacts relating to transportation/traffic have been identified in the Final SEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to air quality to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

H. Utilities

Water Demand

The proposed project would generate demand for an estimated 24,380 gallons of water per day, which is about 39% lower than could occur with build-out under the existing residential land use designation. The residential-designated project was included in the future demand projections, and future supplies are adequate to serve planned development through the year 2030 under average, single dry year scenarios.

Nevertheless, because the City could be subject to water shortages due to drought, the increase in demand is a significant, but mitigable, impact.

Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effect as identified in the Final SEIR.

Mitigation Measure U-1(a) Agricultural Well Destruction and City Water Supply Credit

The applicant shall destroy the onsite agricultural irrigation well in accordance with applicable requirements such that the City obtains a minimum of two additional acre-feet per year from the Fox Canyon Groundwater Management Agency pursuant to applicable regulations.

Mitigation Measure U-1(b) Waterwise Landscaping

All onsite landscaping shall be drought tolerant and shall incorporate subsurface drip irrigation to reduce evaporative losses. Water fountains are prohibited due to evaporative losses. Purple pipe shall be installed in landscape areas, unless determined to be unnecessary by the City's Public Works Department, such that the irrigation system can be converted to reclaimed water in the future when recycled water supplies are brought to the vicinity of the site.

Mitigation Measure U-1(c) Water Conservation Fixtures

All plumbing fixtures shall be conservation fixtures, reducing potential for water waste to the maximum extent practicable, including automatic shut off on public sinks, ultra low flow toilets, urinals, and tankless water heaters.

Wastewater Treatment

The proposed project would generate an estimated 25,623 gallons of wastewater per day, which would flow to the Oxnard Wastewater Treatment Plant. Local conveyance infrastructure and treatment plant have sufficient capacity to accommodate this increase in waste water generation. This impact is less than significant, however mitigation measures have been provided to comply with the mitigation measures adopted as part of the NECSP EIR.

Mitigation Measure U-2 Fees

The proposed project would be responsible for any fair share fees associated with upgrades to the existing sewer system if improvements to the existing sewer system are necessary to serve the proposed project.

Mitigation Measure WW-2 (8)

Prior to issuance of building permits, detailed sewer system calculations and plans shall be provided for the proposed project. The design and sizing of all

proposed sewer improvements shall meet the needs of the ultimate NECSP build-out, as well as the interim requirements of the proposed project.

Finding No. 10

The City Council hereby finds that all feasible and reasonable mitigation measures for impacts relating to utilities have been identified in the Final SEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The mitigation measures will reduce impacts relating to air quality to a less than significant level pursuant to Section 15091(a)(1) of the CEQA Guidelines.

I. Alternatives to the Proposed Projects

The FSEIR considers a range of alternative to the proposed project to provide informed decision-making in accordance with Section 15 121.6(f) of the CEQA Guidelines. The three alternatives are described as follows:

Alternative 1: No Project Alternative. Under the No Project Alternative the project is not constructed and the site remains in its current vacant state. It should be noted, however, that the site is designated for residential development under the 2020 General Plan and the NECSP. Additionally, the site could ultimately be developed with retail or office development if the 2020 General Plan and NECSP are approved without the proposed Rose Ranch Commercial Project.

Alternative 2: Build-Out under the Current NECSP. This alternative would involve development of the project site in accordance with the existing Residential Low-Medium land use designation. This land use designation allows residential uses at a density of 7 to 12 units per acre. Thus, under the existing NECSP designation, the site could be developed with up to 118 residential units. The Residential Low-Medium designation permits various types of residential development, including single-family residences, condominiums and townhomes, patio homes, and multi-family apartments.

Alternative 3: Reduced Project. The proposed project did not have any Class I environmental effects that could not be mitigated to a level of insignificance. Therefore, this alternative assumes an overall reduction in floor area of 25%, resulting in 58,272 square feet of retail development. This alternative would reduce the overall intensity of the proposed development, thereby incrementally reducing other associated impacts. However, the traffic impact at the intersection of Gonzales Road and Rose Avenue would not be eliminated; therefore, mitigation for this impact would still be required.

The No Project Alternative is considered to be environmentally superior overall, since no environmental impacts would occur. However, it should be noted that implementation of the No Project Alternative at this time would not preclude future development of the site in accordance with the 2020 General Plan and NECSP. The No Project Alternative would also not satisfy any of the project objectives and would not implement any of the beneficial aspects of the proposed Project, including providing of employment opportunities.

The Build-Out Under the Current NECSP Alternative would have less of an impact with respect to such issues as hydrology, transportation, noise, and air quality. However, this alternative would have greater utility and public services impacted associated with increased residential development. Additionally, this alternative would not fulfill the Project Objectives of having a compatible project that meets the City's retail and economic needs.

The Reduce Project Alternative would have reduced impacts compared with the proposed project due to a 25% lower intensity; however, none of the impacts associated with the proposed project would be eliminated, the same mitigation measures would apply, and the applicant's objectives would not be achieved. Additionally, decreasing the commercial intensity on this project would not have as great a beneficial effect for balancing the overall commercial and residential development in the NECSP area.

With omission of the No Project Alternative, either Alternative 2 or Alternative 3 would be environmentally superior in some respects. However, it should be noted that the proposed development does not have Class I unavoidable significant impacts.

Finding No.11

The City Council finds that all feasible and reasonable mitigation measures associated with the Projects have been identified in the Final SEIR and are included in the Mitigation Monitoring and Reporting Program and Conditions of Approval for the project. The project alternatives identified in the Final SEIR capable of reducing significant impacts are infeasible for the applicant due to specific economic and legal justification pursuant to pursuant to Section 15091(a)(3) of the CEQA Guidelines.

SECTION 3. MISCELLANEOUS FINDINGS

Revisions to the Draft SEIR were made as a result of the comments submitted on the Draft SEIR as well as City staff directed changes. These revisions (incorporated into the Final EIR) only clarify, amplify, or make insignificant modifications to the Draft EIR. None of these revisions represent significant new information that would result in the identification of a new significant impact or an increase in severity of such an impact, from either a new mitigation measure

proposed for implementation as part of the project. Nor do these revisions include a new mitigation measure to reduce a significant impact that has been declined by the project applicant.

Finding No. 12

Based on the above facts:

The City Council of the City of Oxnard finds that Section 15088.5 of the CEQA Guidelines did not require recirculation of the Draft SEIR, as the revisions made to the Draft SEIR merely clarified or amplified information found in that document.

RESOLUTION NO. 2008 – [PZ 07-570-05]

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD RECOMMENDING TO THE CITY COUNCIL ADOPTION OF A GENERAL PLAN AMENDMENT (PLANNING AND ZONING PERMIT NO. 07-620-06), TO CHANGE THE LAND USE DESIGNATION FROM RESIDENTIAL LOW MEDIUM (8-12 DWELLING UNITS/ACRE) TO COMMERCIAL GENERAL FOR A 9.89 ACRE PROPERTY LOCATED AT THE SOUTHWEST CORNER OF THE GONZALES ROAD AND ROSE AVENUNE INTERSECTION WITHIN THE NORTHEAST COMMUNITY SPECIFIC PLAN (APN 215-0-061-12), SUBJECT TO CERTAIN CONDITIONS. FILED BY PARKSTONE COMPANIES, ON BEHALF OF THE OWNER JOHN MCGRATH FAMILY PARTNERSHIP, 860 EAST HAMPSHIRE ROAD, SUITE U, WESTLAKE VILLAGE, CA 91361.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for Planning and Zoning Permit No. 07-620-06, filed by Parkstone Companies, to amend the 2020 General Plan land use designation of a 9.89 acre property located at the southwest corner of the Gonzales Road and Rose Avenue intersection from Residential Low Medium (8-12 dwelling units/acre) to Commercial General; and

WHEREAS, the Planning Commission has held public hearings and received and reviewed written and oral comments related to the proposed General Plan Amendment (PZ No. 07-620-06); and

WHEREAS, the Planning Commission finds after due study and deliberation that the public interest and general welfare require the adoption of the General Plan Amendment (PZ No. 07-620-06); and

WHEREAS, the Planning Commission finds that the Final Subsequent Environmental Impact Report (SCH # 2003051045/EIR 08-02) was completed for this project in compliance with the California Environmental Quality Act and reflects the independent judgment of the City; and

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby recommends to the City Council the adoption of the General Plan Amendment (PZ No. 07-620-06), amending the City's 2020 General Plan Land Use Map to change the land use designation of one parcel as shown in Exhibit "A", attached hereto and incorporated herein by reference.

Resolution No. (07-620-06)
Rose Ranch General Plan Amendment
Page 2

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 20th day of
November, 2008, by the following vote:

AYES: Commissioners

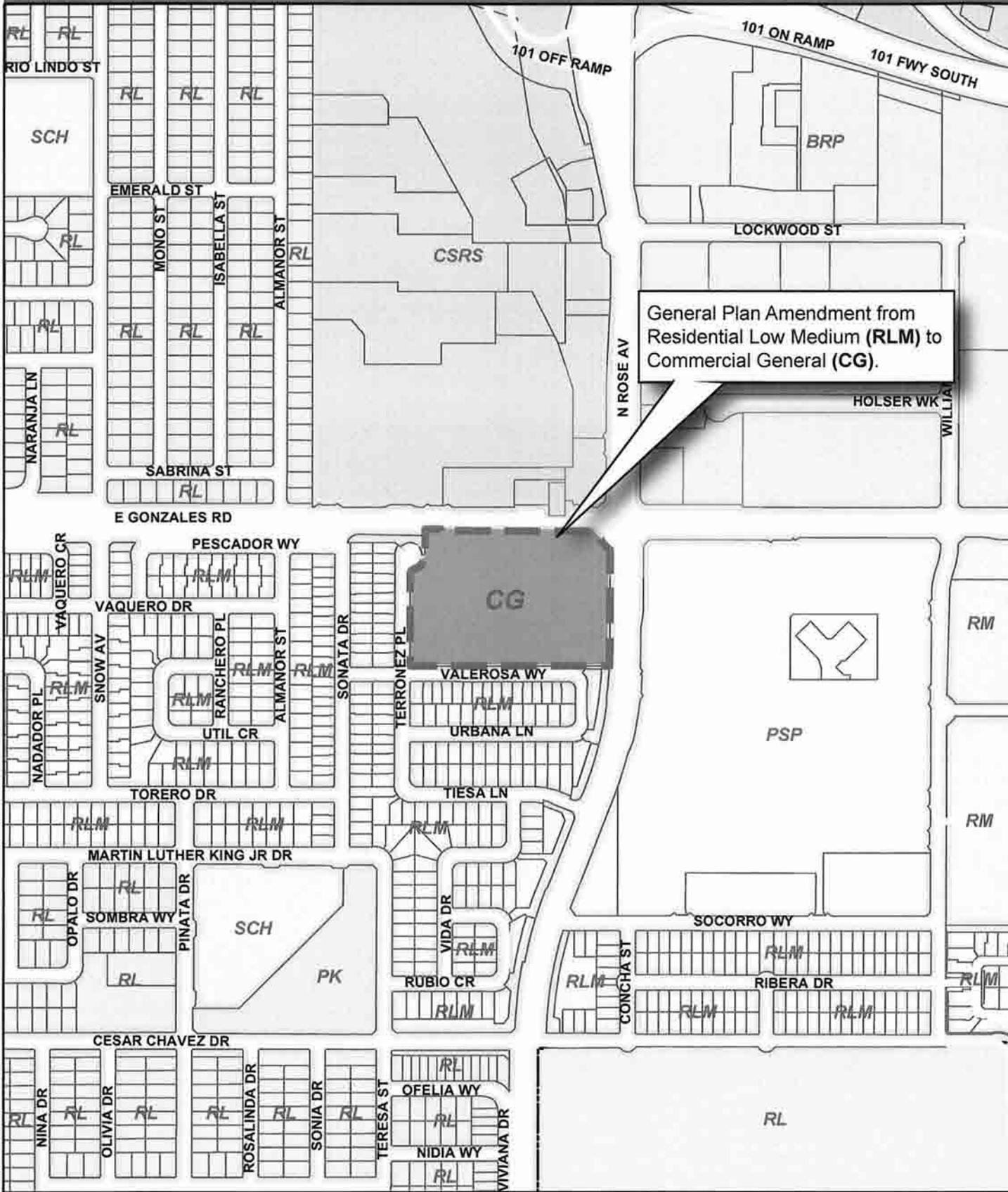
NOES: Commissioners

ABSENT: Commissioners

Michael Sanchez, Chairman

ATTEST: _____
Susan L. Martin, Secretary

General Plan Amendment



General Plan Amendment from Residential Low Medium (RLM) to Commercial General (CG).



PZ 07-500-15, 07-300-12,
07-620-06, 07-570-05, 07-630-04
Location: SW Corner of Rose Av & Gonzales Rd
APN: 215006112
Rose Ranch Shopping Center
Parkstone Companies

0 125 250 500 750 1,000 Feet

General Plan Amendment
EXHIBIT A



1:6,277

RESOLUTION NO. 2008 – [PZ 07-07-630-04]

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD RECOMMENDING TO THE CITY COUNCIL ADOPTION OF A SPECIFIC PLAN AMENDMENT TO THE NORTHEAST COMMUNITY SPECIFIC PLAN (PLANNING AND ZONING PERMIT NO. 07-630-04), TO CHANGE THE LAND USE DESIGNATION FROM RESIDENTIAL LOW MEDIUM (8-12 DWELLING UNITS/ACRE) TO GENERAL COMMERCIAL FOR A 9.89 ACRE PROPERTY LOCATED AT THE SOUTHWEST CORNER OF THE GONZALES ROAD AND ROSE AVENUE INTERSECTION WITHIN THE NORTHEAST COMMUNITY SPECIFIC PLAN (APN 215-0-061-12), SUBJECT TO CERTAIN CONDITIONS. FILED BY PARKSTONE COMPANIES, ON BEHALF OF THE OWNER JOHN MCGRATH FAMILY PARTNERSHIP, 860 EAST HAMPSHIRE ROAD, SUITE U, WESTLAKE VILLAGE, CA 91361.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for Planning and Zoning Permit No. 07-630-04, filed by Parkstone Companies, to amend the Northeast Community Specific Plan land use designation of a 9.89 acre property located at the southwest corner of the Gonzales Road and Rose Avenue intersection from Residential Low Medium (8-12 dwelling units/acre) to General Commercial; and

WHEREAS, the Planning Commission has held public hearings and received and reviewed written and oral comments related to the proposed Northeast Community Specific Plan Amendment (PZ No. 07-630-04); and

WHEREAS, the Planning Commission finds after due study and deliberation that the public interest and general welfare require the adoption of the Northeast Community Specific Plan Amendment (PZ No. 07-630-04); and

WHEREAS, the Planning Commission finds that the Final Subsequent Environmental Impact Report (SCH # 2003051045/EIR 08-02) was completed for this project in compliance with the California Environmental Quality Act and reflects the independent judgment of the City; and

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby recommends to the City Council the adoption of the Specific Plan Amendment (PZ No. 07-630-04), amending the Northeast Community Specific Plan Land Use Map to change the land use designation of one parcel as shown in Exhibit "A", attached hereto and incorporated herein by reference.

Resolution No. (07-630-04)
Rose Ranch Specific Plan Amendment
Page 2

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 20th day of
November, 2008, by the following vote:

AYES: Commissioners

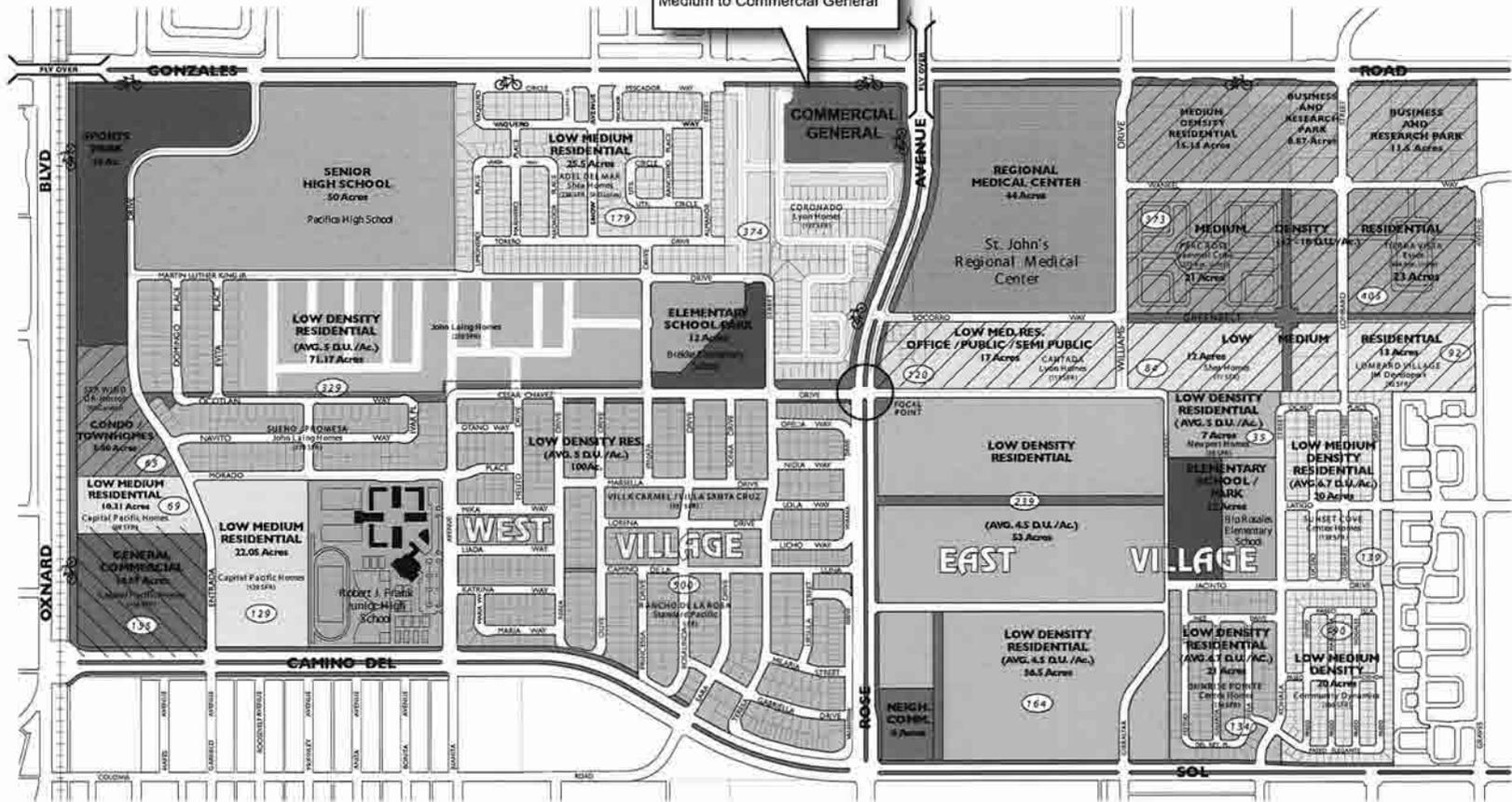
NOES: Commissioners

ABSENT: Commissioners

Michael Sanchez, Chairman

ATTEST: _____
Susan L. Martin, Secretary

Proposed Specific Plan Amend
Change from Residential Low
Medium to Commercial General



DESIGNATION	DENSITY	MIN. LOT SIZE	ZONING	TYPE
Low	> 5 D.U./Ac.	6000 sq.ft.	R-1	Single Family Detached
Low Medium	7 - 12 D.U./Ac.	4500 sq.ft.	R-2	Patio Homes / PUD
Medium	12 - 18 D.U./Ac.	2400 sq.ft. per unit.	R-3	Condos
Medium	18 D.U./Ac.	2400 sq.ft. per unit.	R-3	Apartments / Condos

- Collector
- Mixed Use Overlay
- Low Medium Residential Overlay
- Buffer / Greenbelt (35 Feet Wide Average, 50 Feet Wide Minimum)
- Maximum Number of Allowable Dwelling Units per Acre



Planning & Environmental Services

NORTHEAST COMMUNITY SPECIFIC PLAN

Approved: Feb. 6, 1998
CC Resolution No. 15484
Map Revised: January 25, 2005
Map Number: 2005-0008

RESOLUTION NO. 2008 – [PZ 07-570-05]

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD RECOMMENDING TO THE CITY COUNCIL ADOPTION OF A ZONE CHANGE (PLANNING AND ZONING PERMIT NO. 07-570-05), TO CHANGE THE ZONE DISTRICT FROM MULTI-FAMILY RESIDENTIAL PLANNED DEVELOPMENT (R2-PD) TO GENERAL COMMERCIAL PLANNED DEVELOPMENT (C2-PD) FOR A 9.89 ACRE PROPERTY LOCATED AT THE SOUTHWEST CORNER OF THE GONZALES ROAD AND ROSE AVENUE INTERSECTION WITHIN THE NORTHEAST COMMUNITY SPECIFIC PLAN (APN 215-0-061-12), SUBJECT TO CERTAIN CONDITIONS. FILED BY PARKSTONE COMPANIES, ON BEHALF OF THE OWNER JOHN MCGRATH FAMILY PARTNERSHIP, 860 EAST HAMPSHIRE ROAD, SUITE U, WESTLAKE VILLAGE, CA 91361.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for Planning and Zoning Permit No. 07-570-05, filed by Parkstone Companies, to change the zoning of a 9.89 acre property located at the southwest corner of the Gonzales Road and Rose Avenue intersection from Multi-Family Residential Planned Development (R2-PD) to General Commercial Planned Development (C2-PD); and

WHEREAS, the Planning Commission has held public hearings and received and reviewed written and oral comments related to the proposed Zone Change (PZ No. 07-570-05); and

WHEREAS, the Planning Commission finds after due study and deliberation that the public interest and general welfare require the adoption of the Zone Change (PZ No. 07-570-05); and

WHEREAS, the Planning Commission finds that the Final Subsequent Environmental Impact Report (SCH # 2003051045/EIR 08-02) was completed for this project in compliance with the California Environmental Quality Act and reflects the independent judgment of the City; and

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby recommends to the City Council the adoption of the Zone Change (PZ No. 07-570-05), amending the City's official Zoning Map to change the zoning designation of one parcel as shown in Exhibit "A", attached hereto and incorporated herein by reference.

Resolution No. (07-570-05)

November 20, 2008

Page 2

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 20th day of
November, 2008, by the following vote:

AYES: Commissioners

NOES: Commissioners

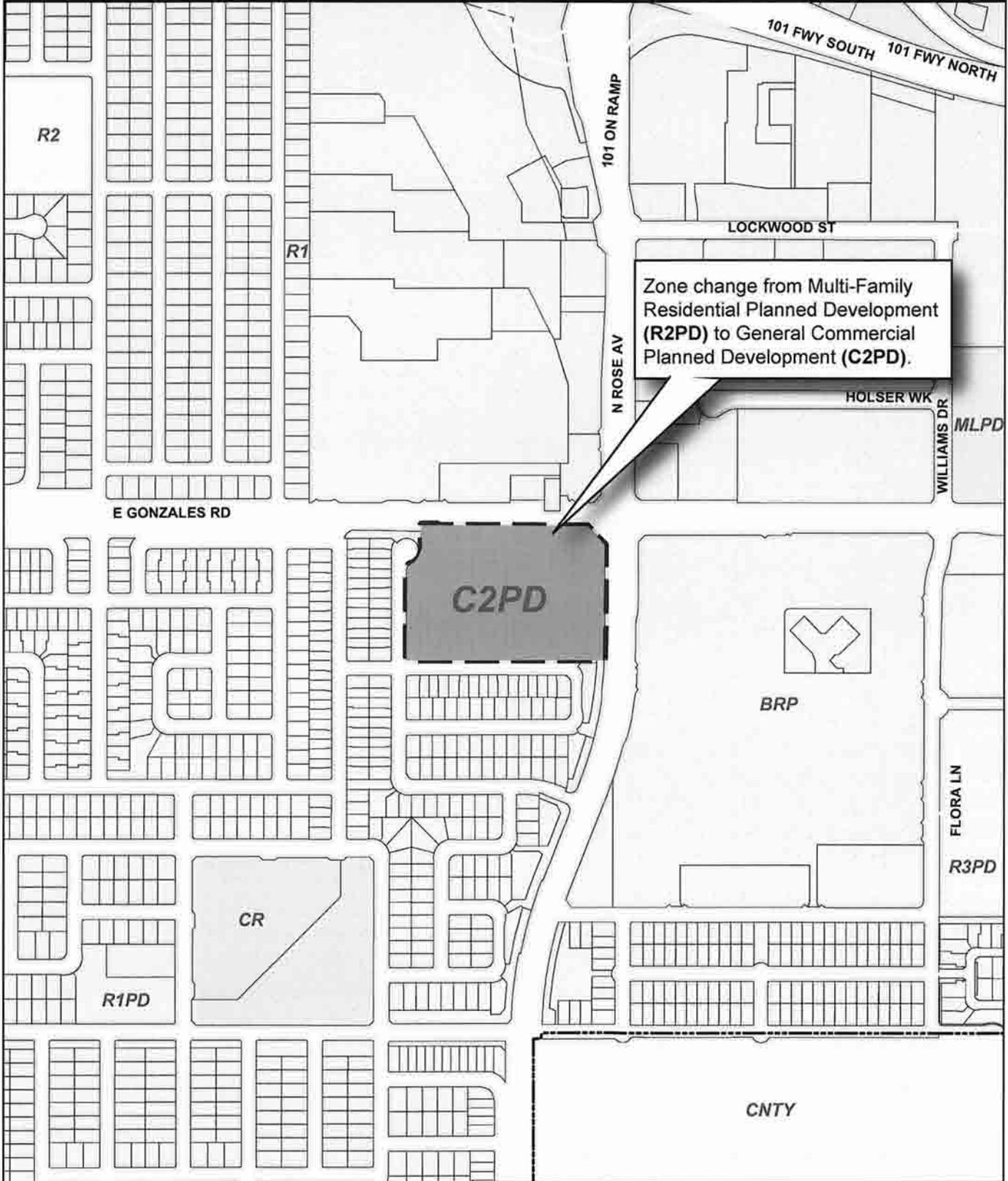
ABSENT: Commissioners

Michael Sanchez, Chairman

ATTEST:

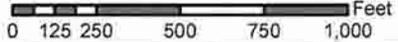
Susan L. Martin, Secretary

Zone Change



Oxnard Planning
November 7, 2008

PZ 07-500-15, 07-300-12,
07-620-06, 07-570-05, 07-630-04
Location: SW Corner of Rose Av & Gonzales Rd
APN: 215006112
Rose Ranch Shopping Center
Parkstone Companies



Zone Change Map

EXHIBIT A



1:6,321

RESOLUTION NO. 2008 – [PZ 07-300-15]

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD RECOMMENDING TO THE CITY COUNCIL APPROVAL OF TENTATIVE SUBDIVISION MAP OF TRACT NO. 5768 (PLANNING AND ZONING PERMIT NO. 07-300-15) TO DIVIDE A 9.89 ACRE COMMERCIAL PROPERTY INTO TEN PARCELS LOCATED AT THE SOUTHWEST CORNER OF THE GONZALES ROAD AND ROSE AVENUE INTERSECTION IN THE NORTHEAST COMMUNITY SPECIFIC PLAN (APN 215-0-061-12), SUBJECT TO CERTAIN CONDITIONS. FILED BY PARKSTONE COMPANIES, ON BEHALF OF OWNER JOHN MCGRATH FAMILY PARTNERSHIP, 860 EAST HAMPSHIRE ROAD, SUITE U, WESTLAKE VILLAGE, CA 91361.

WHEREAS, the Planning Commission of the City of Oxnard has considered the tentative subdivision map of Tract No. 5768 (Planning and Zoning Permit No. 07-300-15), filed by Parkstone Companies in accordance with Chapter 15 of the Oxnard City Code; and

WHEREAS, said tentative map was referred to various public utility companies, City departments and the Development Advisory Committee for recommendations; and

WHEREAS, the Planning Commission finds the tentative map conforms to the City's General Plan and elements thereof; and

WHEREAS, the Planning Commission finds that the final subsequent environmental impact report was completed for this project in compliance with the California Environmental Quality Act and reflects the independent judgment of the City; and

WHEREAS, the Planning Commission finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this subdivision in particular.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby recommends to the City Council the approval of the tentative subdivision map, subject to the following conditions:

Note: The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Public Works, Landscape Design	CE	Code Compliance

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another. (PL, G-1)

PLANNING SPECIAL CONDITIONS

2. An approved tentative map shall expire thirty-six (36) months after its approval, unless an extension is applied for and approved by the City Council pursuant to Section 15-46 of the City Code. (PL)

DEVELOPMENT SERVICES DIVISION SPECIAL CONDITIONS

3. The final map for Tract No. 5768 shall be submitted and processed for recordation concurrent with the improvement plans for the permit. (DS)

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 20th day of November 2008, by the following vote:

AYES: Commissioners

NOES: Commissioners

ABSENT: Commissioners

Michael Sanchez, Chairman

ATTEST:

Susan L. Martin, Secretary

RESOLUTION NO. 2008 – [PZ 07-500-15]

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD APPROVING PLANNING AND ZONING PERMIT NO. 07-500-15 (SPECIAL USE PERMIT), TO ALLOW THE DEVELOPMENT OF A COMMERCIAL SHOPPING CENTER INCLUDING A DRIVE-THROUGH PHARMACY AND TWO RETAIL STORES THAT PROVIDE THE GENERAL SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION, LOCATED AT THE SOUTHWEST CORNER OF GONZALES ROAD AND ROSE AVENUE INTERSECTION WITHIN THE NORTHEAST COMMUNITY SPECIFIC PLAN (APN 215-0-061-12), SUBJECT TO CERTAIN FINDINGS AND CONDITIONS, FILED BY PARKSTONE COMPANIES, ON BEHALF OF THE OWNER THE JOHN MCGRATH FAMILY PARTNERSHIP, 860 E. HAMPSHIRE ROAD, SUITE U, WESTLAKE VILLAGE, CA 91361.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for Planning and Zoning Permit No. 07-500-15, filed by Parkstone Companies in accordance with Section 16-530 through 16-553 of the Oxnard City Code; and

WHEREAS, the Planning Commission finds that the final subsequent environmental impact report (SCH # 2003051045/EIR 08-02) was completed for this project in compliance with the California Environmental Quality Act and reflects the independent judgment of the City; and

WHEREAS, the Planning Commission finds, after due study, deliberation, and public hearing that the following circumstances exist:

1. The proposed use is in conformance with the General Plan and other adopted policies of the City of Oxnard.
2. The proposed use will not adversely affect or be materially detrimental to the adjacent uses, buildings or structures or to the public health, safety or general welfare.
3. The site for the proposed use is adequate in size and shape to accommodate the setbacks, parking, landscaping, and other City standards except as may be specifically excepted by the special findings and conditions of this resolution.
4. The site for the proposed use will be served by streets and highways adequate in width and structure to carry the kind and quantity of traffic such use will generate.
5. The site for the proposed use will be provided with adequate sewerage, water, fire protection and storm drainage facilities.
6. That the proposed development is in conformance with adopted goals, policies and standards of the Northeast Community Specific Plan.

7. The proposed use will not result in or add to an undue concentration of off-site consumption establishments selling alcoholic beverages within 1000 feet of the subject location.
8. The proposed use is not likely to create or significantly aggravate police problems within 1,000 feet of the location for which the special use permit is applied.

WHEREAS, the Planning Commission finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby approves this permit subject to the following conditions. The decision of the Planning Commission is final unless appealed in accordance with the provisions of Section 16-545 of the Oxnard City Code.

Note: The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Public Works, Landscape Design	CE	Code Compliance

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another. (PL, *G-1*).
2. This permit is granted for the plans dated June 2, 2008 and stamped approved ("the plans") on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Planning and Environmental Services Manager ("Planning Manager") or a major modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls. A major modification shall be required for substantial changes or increases in such items. (PL, *G-2*)

3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use. (PL, G-3)
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Development Services Manager allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements. (DS, G-4)
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein. (CA, G-5)
6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof. (CA, G-6)
7. Developer shall complete the "Notice of Land Use Restrictions and Conditions" form, using the form provided by the City, for recording with the Ventura County Recorder. Before the City issues building permits, Developer shall submit the original completed, signed and notarized document, together with the required fees to the Planning Manager. (PL, G-8)
8. Developer shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code. (PL/B, G-9)
9. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property. (PL/B, G-10)
10. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit. (B, G-11)
11. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property. (FD, G-12)

12. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief. (FD, G-13)
13. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code. (CA, G-14)
14. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property. (PL, G-15).

LANDSCAPE STANDARD CONDITIONS

15. Before submitting landscape and irrigation plans, Developer shall obtain approval of the Parks and Facilities Superintendent or designee ("Superintendent") of a plan showing on the project property all existing trees and identifying the trees to be saved, transplanted or removed. (PK, PK-1)
16. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Development Services Division and obtain approval of such plans. (PK/DS, PK-2)
17. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems that have been approved by Parks and Facilities Superintendent. (PK, PK-3)
18. Developer shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so will result in the revocation of this permit and initiation of legal proceedings against Developer. (PK, PK-4)
19. Before the City issues a certificate of occupancy, Developer shall provide a watering schedule to the building owner or manager and to the Parks and Facilities Superintendent. The irrigation system shall include automatic rain shut-off devices, or instructions on how to override the irrigation system during rainy periods. (PK, PK-5)
20. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit. (PK, PK-6)
21. Developer shall install an irrigation system that includes a water sensor shut off device as a water conservation measure. (PK, PK-22)

LANDSCAPE SPECIAL CONDITIONS

22. Prior to the issuance of building permits, Developer's Landscape Architect or Architect shall provide the City with written confirmation that they have reviewed the civil engineering construction drawings and that the NPDES requirements are not in conflict with meeting the City's landscape requirements. (PK)
23. Prior to the issuance of building permits, Developer shall join the existing Landscape Maintenance Districts # 40 and #42 and for the life of the project pay a fair share of the annual landscape maintenance costs for the landscape medians fronting the project as well as the landscape parkways on Valerosa Way and Terronez Place. (PK)
24. Prior to commencing work on the median within the Gonzales Road right-of-way, the existing palms that will be impacted by the new left turn pocket shall be relocated to the parkway area at Terronez Place and Gonzales Road or to some other City median location. Developer shall install the necessary irrigation lines for the palms as seen fit by the City Landscape Architect. The appropriate location to place the transplanted palms shall be coordinated with the Parks Department prior to the issuance of building permits. (PK)
25. Prior to the issuance of a certificate of occupancy, any damage to the existing median landscaping and irrigation shall be replaced by the Developer to the satisfaction of the City Landscape Architect. (PK)
26. Demolition and replacement of the existing southerly and westerly perimeter walls shall be accessed from the developer's side of the project (to the maximum extent possible) to minimize the impact to the existing landscaped parkway improvements. Prior to the issuance of a certificate of occupancy, any damage to the existing landscape and irrigation in the parkway along Valerosa Way and Terronez Place shall be replaced by the Developer to the satisfaction of the City Landscape Architect. (PK)
27. Prior to the issuance of building permits, Developer shall illustrate on the plans a 36" high visual landscape screen along portions of Gonzales Road and Rose Avenue to screen parked cars and circulation areas from the adjacent roadways. Prior to issuance of a certificate of occupancy, the City Landscape Architect shall verify that the Developer has installed 36" landscape screen as illustrated on the landscape plans. (PK)
28. Prior to the issuance of building permits, Developer shall confirm that all landscaping shall conform to the Northeast Community Specific Plan. Prior to the issuance of a certificate of occupancy, Developer shall install, at minimum, 36" box street trees along Gonzales Road and Rose Avenue. (PK)

FIRE DEPARTMENT STANDARD CONDITIONS

29. Developer shall construct all vehicle access driveways on the project property to be at least 26-feet wide. Developer shall mark curbs adjacent to designated fire lanes in parking lots to prohibit stopping and parking in the fire lanes. Developer shall mark all designated fire lanes in accordance with the California Vehicle Code. (FD/B, *F-1*)
30. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Fire Chief and in compliance with the City Code. (FD, *F-2*)
31. Before the City issues building permits, Developer shall obtain the Fire Chief's approval of a plan to ensure fire equipment access and the availability of water for fire combat operations to all areas of the project property. The Fire Chief shall determine whether or not the plan provides adequate fire protection. (FD/DS, *F-3*)
32. At Developer's expense, Developer shall obtain two certified fire flow tests for the project property. The first test shall be completed before City approval of building plans and the second shall be completed after construction and prior to the issuance of a certificate of occupancy. A mechanical, civil, or fire protection engineer must certify the tests. Developer shall obtain permits for the tests from the Engineering Division. Developer shall send the results of the tests to the Fire Chief and the City Engineer. (FD/DS, *F-4*)
33. All structures on the project property shall conform to the minimum standards prescribed in Title 19 of the California Code of Regulations. (FD, *F-5*)
34. The project shall meet the minimum requirements of the "Fire Protection Planning Guide" published by the Fire Department. (FD, *F-6*)
35. At all times during construction, developer shall maintain paved surfaces capable of handling loads of 46,000 pounds which will provide access for fire fighting apparatus to all parts of the project property. (FD/DS, *F-7*)
36. Developer shall identify all hydrants, standpipes and other fire protection equipment on the project property as required by the Fire Chief. (FD, *F-8*)
37. Developer shall provide central station monitoring of the fire sprinkler system and all control valves. (FD, *F-10*)
38. The turning radius of all project property driveways and turnaround areas used for emergency access shall be a minimum of 48 feet outside diameter for a semi-trailer. (FD, *F-11*)
39. Developer shall provide automatic fire sprinklers as required by the City Code and shall contact the Fire Chief to ascertain the location of all connections. (FD, *F-12*)

40. All signalized intersections shall be equipped with pre-emption equipment. (FD/TR, *F-15*)
41. Developer shall comply with Certified Unified Program Agency (CUPA) requirements regarding the storage, handling and generation of hazardous materials or waste. Prior to the issuance of building permits, Developer shall contact the CUPA division of the Fire Department to ensure that such requirements are followed. (FD, *F-16*)

FIRE DEPARTMENT SPECIAL CONDITIONS

42. Prior to the issuance of a certificate of occupancy, Developer shall install Knox Box vaults at locations on the buildings to be determined by the Fire Department. (FD)
43. Prior to the issuance of building permits, Developer shall illustrate that exterior access doors to fire riser rooms are provided throughout the development to the satisfaction of the Fire Marshall. (FD)

POLICE DEPARTMENT STANDARD CONDITIONS

44. All managers or supervisors who are responsible for the daily coordination, supervision or managing of employees, shall complete a course in Responsible Beverage Sales and Service (RBSS) within sixty days of license granting and/or date of employment. Applicant can contact the Oxnard Police Department's Alcohol Compliance Officer to make arrangements. (PL/PD)
45. There shall be no advertising of alcoholic beverages visible from the outside of the establishment, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. (PL/PD)
46. The Police Chief or designee may immediately suspend operation of the uses approved by this permit pending a hearing on the revocation of this permit if the Chief finds that there have been significant violations of the use permit conditions and/or ABC permit, or there is a single serious violent crime or single significant incident to which multiple police units or multiple police jurisdictions respond associated with the operation of this use, which the Chief determines is detrimental to the public safety or health. The Chief shall immediately inform the Planning and Environmental Services Manager of the suspension and the Manager shall schedule a hearing on the revocation of the permit by the Planning Commission to be held no more than 30 days after the suspension begins. (PD)
47. Any signs, advertisements or decorations placed upon the windows shall not exceed 20% of the overall window area. Additionally, there shall be no other obstructions placed near the windows that exceed 20% of the overall viewing area including gondola display racks, stored products, shades or blinds.

48. Upon any individual transfer (person-to-person) of the subject Alcoholic Beverage Control License, or if the business is ever deemed a nuisance as defined by Oxnard City Code, the Police Department may initiate Planning Commission review of the existing SUP and the Planning Commission may apply or remove conditions as appropriate to mitigate existing or potential problems.
49. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the Permittee shall be removed or painted over within twenty-four (24) hours of being applied. (PL/PD)
50. Permittee shall be responsible for maintaining free of litter the area adjacent to the premises over which they have control. This includes the rear of the business. (PL/PD)
51. Any rear door of the premises shall be equipped on the inside with an automatic locking device, shall be closed at all times, and shall not be used as a means of access by patrons to and from the licensed premises. Temporary use of these doors for delivery of supplies or disposal of trash does not constitute a violation. (PD)
52. Employees involved in the sale or service of alcoholic beverages shall not be allowed to consume alcoholic beverages at any time during their shift or at any time within eight (8) hours prior to the beginning of their shift. (PD)
53. The parking lot and adjacent areas of the premises shall be equipped with lighting of sufficient power to illuminate and make easily discernable the appearance and conduct of all persons on or about the area. This includes the rear of the business. (PL/PD)
54. There shall be no pay phones installed inside the premises nor shall there be any pay phones installed outside within 100 feet of the premises. (PL/PD)
55. Permittee shall regularly police the area under Permittee's control (including the rear of the business) in an effort to prevent the loitering of persons about the premises. (PL/PD)
56. In the areas surrounding the business the Permittee shall post prominent, permanent signs indicating that loitering, open containers and the consumption of alcoholic beverages is prohibited. This includes the parking lot and other adjacent areas under Permittee's reasonable control. (PD)
57. Coolers or displays containing alcoholic beverages shall be separate from other coolers or displays and shall be positioned so as to allow maximum visibility to cashiers, clerks or employees. Alcohol displays shall not be positioned near customer entry/exit doors, nor shall they be in a location that allows for an easy and unobstructed path to any entry or exit. It is recommended that the alcohol displays or coolers be positioned where the cashiers, clerks or supervisor stations have a clear view from their normal work stations of the activity of persons in the alcohol isle. (PD)

58. There shall be no amusement machines or video devices maintained on the premises at any time. (PD)
59. No single containers, 12oz., 16oz., 20oz., 24oz., 32oz., or 40oz., of beer or malt liquor shall be sold. (PD)
60. No fortified wine products shall be sold with an alcohol content greater than 14% by volume with the exception of the following products (provided they are consistent with those permitted by their Alcoholic Beverage Control License): Port, Sherry, Marsala, Saki, Madiera, Muscat and Vermouth. (PD)
61. Prominent signs shall be posted stating, in effect, "No persons under 21 will be served alcoholic beverages" and "Valid ID is required to purchase alcoholic beverages". These signs shall, at a minimum, be posted at each point of sale and near any alcohol display or areas. (PD)
62. No open floor displays of alcoholic beverages are allowed, including but not limited to "beer mountains" and portable coolers. (PD)
63. Alcoholic beverages shall not be sold between the hours 12:00 AM and 6:00 AM. (PD)
64. There shall be no self-service displays of any type of tobacco product including, but not limited to cigarettes, cigars and smokeless tobacco. (PD)
65. Security cameras shall be installed to monitor the premises and be positioned to monitor at minimum the entry/exit, all points of sale, alcohol coolers and the areas immediately surrounding the exterior of the business (including the rear). The camera system shall comply with the following minimum standards: (PD)
 - a. The cameras shall be color cameras, made by a reputable manufacturer and maintained to current industry standards. They shall have low light capability and be capable of identifying persons conducting transactions at the stores' registers or entering/exiting the business.
 - b. The system shall utilize a Digital Video Recorder (DVR). The use of videocassette recorders (VHS and other formats) is prohibited. The DVR shall allow recording, live viewing and playback of recorded video for a period of least 30 days. DVR shall perform all recording, viewing (local and remote), playback (local and remote), queries and backup functions simultaneously, with no interruption of any other function.
66. Permittee shall establish responsible cash handling procedures to reduce the likelihood of robberies and thefts. (PD)
67. Permittee shall bolt down all cash registers to service counters in order to prevent the entire device from being stolen during a burglary or robbery. (PD)

68. Permittee shall have drop-safes installed or other cash management procedures to allow employees to deposit daily receipts throughout the day as the amounts exceed allowable levels in the register (typically \$50). (PD)
69. Permittee shall install signage which indicates that employees do not possess keys to safes and that minimal levels of cash are available in register. (PD)
70. Permittee shall install height gauges at all exit doors. (PD)
71. Permittee shall install an electronic intrusion detection system that detects portal openings, glass break, and interior motion. (PD)
72. Permittee shall equip each point of sale with a silent robbery alarm that complies with Oxnard City Ordinance No. 2601. (PD)
73. A copy of these conditions must be maintained on the premises and made available upon the demand of any peace officer at all times. (PL/PD)

POLICE DEPARTMENT SPECIAL CONDITIONS

74. Permittee shall install a video feedback monitor which displays the live feed from security cameras positioned nearby. The monitor shall, at a minimum, be displayed at each customer entrance. Permittee shall install an additional feedback monitor in the alcoholic beverage display area. (PD)
75. Any display of distilled spirits shall be maintained in locked cabinets or under the direct control of employees. No distilled spirits shall be accessible to customers without assistance from an employee. (PD)
76. Permittee shall cooperate fully with staff from Pacifica High School and shall develop a written policy that specifies how employees will deal with teenage customers that are patronizing the business during normal school hours. The policy will include developing an efficient method of communication with school staff, the School Resource Officer and how potential truants will be handled. (PD)
77. The sale of flavored malt beverages (commonly referred to as alcopops) is prohibited. Such products are generally sweetened, carbonated alcoholic beverages made with malt or spirits-based alcohol. Examples of such products include Smirnoff Ice, Mike's Hard Lemonade, Bacardi Silver and Jack Daniel's Lynchburg Lemonade. (PD)
78. The sale of energy drinks that contain any amount of alcohol is prohibited. (PD)
79. The sale and delivery of alcoholic beverages shall be made to persons who are within the licensed premises only and not through a pass-out window, drive-thru window or a slide-out tray to the exterior of the premises. (PD)

PLANNING DIVISION STANDARD CONDITIONS

80. The final building plans submitted by Developer with the building permit application shall depict on the building elevation sheets all building materials and colors to be used in construction. (PL/B, *PL-1*)
81. Any application for a minor modification to the project shall be accompanied by four copies of plans reflecting the requested modification, together with applicable processing fees. (PL, *PL-2*)
82. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project. (PL, *PL-3*)
83. Before the City issues building permits, Developer shall provide to the Planning Division Manager color photographic reductions (8 1/2" by 11") of full-size colored elevations and any other colored exhibit approved by the Planning Commission. Developer may retain the full-size colored elevations after the reductions are so provided. (PL, *PL-4*)
84. Developer acknowledges that because of population limitations placed on the City by the Air Quality Management Program, approval of this permit does not guarantee that the City will issue building permits. The City's issuance of building permits may be delayed as a result of implementation of an air quality plan. (PL, *PL-5*)
85. Developer may not modify any use approved by this permit unless the Planning Division Manager determines that Developer has provided the parking required by the City Code for the modified use. (PL, *PL-7*)
86. During the plan check review process, the Developer shall provide a lighting plan that provides design details (light standards, bollards, wall mounted packs, etc.) and illumination site information within alleyways, pathways, streetscapes, and open spaces proposed throughout the development. An electrical engineer shall prepare the site lighting plan demonstrating that adequate lighting ranges will be provided throughout the development without creating light spillover, light pollution, or conflicts with surrounding factors such as tree locations, off-site or adjacent lighting. (PL)
87. Prior to issuance of building permits, Developer shall demonstrate that light standards illustrated on conceptual lighting plan do not conflict with tree locations. Developer shall submit a plan showing both the lighting and landscape on the same sheet. (PL/PD)

88. Project on-site lighting shall be of a type and in a location that does not constitute a hazard to vehicular traffic, either on private property or on adjoining streets. To prevent damage from vehicles, standards in parking areas shall be mounted on reinforced concrete pedestals or otherwise protected. Developer shall recess or conceal under-canopy lighting elements so as not to be directly visible from a public street. Developer shall submit a lighting plan showing standard heights and light materials for design review and approval of the Planning Division Manager. (PL/B, PL-8)
89. In order to minimize light and glare on the project property, all parking lot and exterior structure light fixtures shall be high cut-off type that divert lighting downward onto the property and shall not cast light on any adjacent property or roadway. (PL, PL-9)
90. Developer shall provide for dust control at all times during project property preparation and construction activities. (B/DS, PL-13)
91. Developer agrees to participate in a water conservation program that includes refitting water fixtures existing on the project property with water conserving devices within residences or businesses in the City's water service area, if such a program is in effect when building permits are issued for this project. Among the requirements of such a program might be refitting existing toilets, faucets, shower heads, landscaping irrigation or other fixtures and items that consume water within the structure. (PL, PL-14)
92. Because of water limitations placed upon the City by its water providers, approval of this permit does not guarantee that the City will issue building permits. Issuance of building permits may be delayed as a result of implementation of a water conservation or allocation plan. (PL, PL-15)
93. Prior to issuance of building permits, Developer shall pay a document-imaging fee for the planning files in an amount calculated by planning staff at the time of building permit review based on fees then in effect. (PL/B, PL-16).
94. Developer shall recess or screen roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Developer shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color. (PL/B, PL-41)
95. Developer shall install all roof and building drainpipes and downspouts inside building elements. These items shall not be visible on any exterior building elevations. (PL, PL-42)

96. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-ways, to the maximum extent feasible. (PL, PL-43)
97. Developer shall install toilets that have automatic flush sensors in all public restrooms. Such toilets shall be included on the plans submitted for a building permit and shall be maintained and in working order at all times. (PL, PL-44)
98. Developer shall install individual mirrors above each sink in a public restroom to the satisfaction of the Planning Division Manager. The details of such mirrors shall be approved prior to issuance of a building permit. Developer shall remove graffiti from the mirrors or replace the mirrors within 24 hours of graffiti appearance. (PL, PL-45)
99. Prior to issuance of a certificate of occupancy, Developer shall remove all construction materials and vehicles from the subject property. (PL/B, PL-47)
100. Developer shall limit outdoor storage of materials to the locations shown on the project plans. Developer shall screen storage areas from adjacent properties and streets by a wall or similar screening. All fence and wall materials shall match the predominant design and materials of the main structure on the project property. (PL/B, PL-48)

PLANNING DIVISION SPECIAL CONDITIONS

101. Prior to the issuance of building permits, Developer shall demonstrate that the commercial structures have been designed to exceed Title 24, *California's Energy Efficiency Standards*, by a weighted average of least 15%. Developer shall provide the print out of the computer performance-based computer analysis prepared for the project to the Planning Division to document this requirement. (PL/DS)
102. Prior to the issuance of building permits, Developer shall note on the building plans the make and model of the HVAC systems to be installed in the commercial structures to assure that the HVAC systems are EnergyStar certified and are installed with economizers. Prior to the issuance of a certificate of occupancy, Developer shall provide proof of installation of the EnergyStar certified systems to the satisfaction of the Planning Division. (PL)
103. Prior to the issuance of building permits, Developer shall illustrate on the building plans electrical conduits with pull wires leading from a point of connection leading to the roofing system in order to allow the easy installation of rooftop photo-voltaic solar panels on all of the buildings on the project site. Prior to the issuance of a certificate of occupancy, Developer shall provide proof that the conduits were installed in the buildings. (PL)
104. Developer shall remove any and all graffiti from the project premises, including but not limited to graffiti within the building, such as in restrooms or fitting rooms, within 24 hours of its appearance. The surface of such affected areas shall be matched to blend in with the underlying colors and/or design, and shall not look like a paint patch. (PL)

105. Before the City issues building permits, Developer shall provide a Graffiti Deterrent Plan, subject to the approval the Planning Division Manager. Such plan shall include such elements as clear film on windows and/or mirrors, as well as washable paint and sealers on the building and perimeter walls. The Graffiti Deterrent Plan will be in the form of notes in the architectural plans submitted for building permits and the plan shall be implemented prior to the issuance of a certificate of occupancy to the satisfaction of the Planning Division. (PL)
106. This permit is granted subject to the City's approval of a tentative map and final map and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by both the Planning Division Manager and the Development Services Manager. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map. (PL/DS)
107. This permit is granted subject to the approval of a zone change for the project property. (PL)
108. This permit is granted subject to the approval of a general plan amendment for the project property. (PL)
109. The entitlement for the sale of alcohol shall automatically be null and void 12 months from the date of issuance, unless Developer has received from the State Department of Alcoholic Beverage Control a license to sell alcoholic beverages for the project property. (PL)

Aesthetics

110. Developer shall participate in the City's Art in Public Places Program by paying the Public Art fee prior to issuance of building permits, in accordance with City Council Resolution No. 13,103. (PL)
111. Developer shall install public artwork in the locations noted on the plans within two years of a receiving a certificate of occupancy for the project. The artwork shall be enduring, of lasting nature, and not mass-produced. The artwork shall be integral to its location and designed with the specific setting in mind. The artwork shall be installed on pedestals that complement the artwork. An established artist shall create the work. "Established artist" means a professional artist who derives his or her income primarily from his or her work as an artist and is accepted and recognized in the field of art as evidence by art journals, art books, or art gallery reputation. Preliminary sketches, or the like, of the artwork, details on the materials used for the artwork, and the artist's qualifications must be submitted to the Planning Manager for review prior to the artwork being commissioned. A building permit must be approved by the Planning Manager obtained prior to installation of the artwork. (PL)

112. The applicant shall design exterior building and parking lot lighting, including that associated with the Walgreen's pharmacy drive-thru, which sheds light pools only on the project site, incorporating "cut-off" shields as appropriate to prevent an increase in lighting at adjacent residential uses. Landscape illumination and exterior sign lighting shall be accomplished with low level, unobtrusive fixtures. Such lighting shall be shielded to direct light pools away from off site viewers. [EIR AES-2(a)]
113. All fenestration shall be of a low-glare specification. Paint used for exterior facades shall be of low reflectivity. Metal surfaces shall be brush-polished or similar finish and not highly reflective to minimizing reflective glare. [EIR AES-2(b)]

Air Quality

114. The following shall be implemented during grading and construction to control dust:
- a. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized to prevent excessive amounts of dust.
 - b. Pre-grading/excavation activities shall include watering the area to be graded or excavated before commencement of grading or excavating activities. Application of water (preferably reclaimed, if available) should penetrate sufficiently to minimize fugitive dust during grading activities.
 - c. Fugitive dust produced during grading, excavation, and construction activities shall be controlled by the following activities:
 - i. All trucks shall be required to cover their loads as required by California Vehicle Code Section 23114.
 - ii. All graded and excavated material, exposed soil areas, and active portions of the construction site, including unpaved on-site roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally-safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible.
 - d. Graded and/or excavated inactive areas of the construction site shall be monitored at least weekly for dust stabilization. Soil stabilization methods shall be periodically applied to portions of the construction site that are inactive for over four days. If no further grading or excavation operations are planned for the area, it shall be seeded and watered until grass growth is evident, or periodically treated with environmentally safe dust suppressants, to prevent excessive fugitive dust.
 - e. Signs shall be posted on-site limiting traffic to 15 miles per hour or less.
 - f. During periods of high winds (i.e., wind speed sufficient to cause fugitive dust to affect adjacent properties), all clearing, grading, earth moving, and excavation operations shall be curtailed to the degree necessary to prevent fugitive dust from being an annoyance or hazard, either off-site or on-site.
 - g. Adjacent streets and roads shall be swept at least once per day, preferably at the end of the day, if visible soil material is carried over to adjacent streets and roads.

119. The applicant shall provide an estimated contribution of \$279,511, which is about \$3.59 per square foot of commercial development, or a recalculated fee approved by the City and based upon the formula recommended in the VCAPCD Air Quality Assessment Guidelines (as shown in Appendix B), to a suitable Transportation Demand Management Plan Fund. Payment of fees shall occur prior to issuance of a building permit.

Specific mitigation measures that could be undertaken using the TDM fund include, but are not limited to, enhanced public transit service, vanpool programs/subsidies, rideshare assistance programs, clean fuel programs, improved pedestrian and bicycle facilities, and park-and-ride facilities. [EIR AQ-2(b)]

120. Developer shall ensure that all construction equipment is maintained and tuned to meet applicable Environmental Protection Agency (EPA) and California Air Resources Board (CARB) emission requirements. At such time as new emission control devices or operational modifications are found to be effective, Developer shall immediately implement such devices or operational modifications on all construction equipment. (PL)
121. During smog season (May through October), Developer shall lengthen the construction period so as to minimize the number of vehicles and equipment operating at the same time. (PL)
122. At all times during construction activities, Developer shall minimize the area disturbed by clearing, grading, earth moving, or excavation operations to prevent excessive amounts of dust. (PL)
123. During construction, Developer shall water the area to be graded or excavated prior to commencement of grading or excavation operations. Such application of water shall penetrate sufficiently to minimize fugitive dust during grading activities. (PL)
124. Prior to grading permit approval, Developer shall include on the grading plans a reproduction of all conditions of this permit pertaining to dust control requirements. (PL)

Cultural Resources

125. Developer shall contract with a Native American monitor to be present during all subsurface grading, trenching or construction activities on the project site. The monitor shall provide a weekly report to the Planning Division summarizing the activities during the reporting period. A copy of the contract for these services shall be submitted to the Planning Division Manager for review and approval prior to issuance of any grading permits. The monitoring report(s) shall be provided to the Planning Division prior to approval of final building permit signature.

Hazards and Hazardous Materials

126. Prior to issuance of a grading permit for the project, soil sampling shall be conducted on the project site to test for the presence of agricultural contaminants (pesticides, herbicides, etc.). If sampling identifies concentrations of any agricultural contaminants exceeding the commercial PRG for that contaminant, the affected soil shall be addressed as identified in Measure H-2(b) below. [EIR H-2(a)]
127. Prior to issuance of a grading permit for the project, soils on the project site that contain concentrations of any pesticide exceeding its commercial PRG shall either be removed and disposed of in an appropriate off-site facility or shall be over-excavated and re-compacted so that the concentrations are reduced below the commercial PRG. Upon completion of remediation, follow-up soil testing shall be conducted to verify that pesticide concentrations have been reduced below the PRG. [EIR H-2(b)]
128. The applicant and developer shall coordinate with Shell and the VCEHD to ensure that any needs these parties may have to remediate MTBE in the perched aquifer beneath the site are met. Construction and development shall be sited to allow for remediation if it is deemed necessary to fully reduce the hazard from MTBE contamination to levels deemed acceptable to the VCEHD. Maximum concentrations for primary health and safety are 13 μ /l for health and safety; however, the VCEHD acknowledges that these levels may not be feasible for all sites and reserves the right to make a determination based on site specific considerations. An agreement documenting cooperation between the property owners and Shell or VCEHD shall be presented prior to issuance of a building permit. [EIR H-3]

Hydrology and Water Quality

129. Prior to issuance of any grading permit, Developer shall demonstrate that a Stormwater Management Plan satisfying the requirements of the SQUIMP has been developed and approved by the Development Services Department. At a minimum, the plan shall include provisions for addressing the following areas of concern, as outlined in the SQUIMP.

Minimization of Storm Water Pollutants of Concern

Source-control and treatment BMPs are needed to assure that pollutants are removed to the maximum extent practicable. At a minimum each Stormwater Management Plan shall include:

- a. A program for the routine cleaning and maintenance of streets, parking lots, catch basins and storm drains, especially prior to the rainy season, to help reduce the level of gross pollutants being discharged from the plan area
- b. Other BMPs incorporated in project design so as to minimize, to the maximum extent practicable, the introduction of pollutants of concern to receiving waters. Such BMPs may include, but are not limited to:
 - i. Use of permeable materials where feasible for sidewalks and patios
 - ii. Directing rooftop runoff to pervious surfaces, such as yards and landscaped areas

- iii. Use of biofilters, including vegetated swales and strips
- iv. Storm water treatment wetlands

Informational Materials, including Storm Drain System Stenciling and Signage

The following informational materials shall be provided:

- a. Stenciling of all storm drains inlets and post signs along channels to discourage dumping by informing the public that water flows to the Pacific Ocean
- b. Maintenance of the legibility of stencils and signs

Proper Design of Trash Storage Areas in Commercial Zoned Area

All trash container areas shall meet the following Structural or Treatment Control BMP requirements:

- a. Trash container areas shall have drainage from adjoining roofs and pavement diverted around the area(s).
- b. Trash container areas shall be screened or walled to prevent off-site transport of trash.
- c. Trash container areas shall be roofed to prevent rain water from entering trash and becoming contaminated.
- d. Trash enclosures serving restaurants, grocery stores, or other establishments shall be constructed with a drain inlet within the enclosure that collects all enclosure wash water or drippings and conveys them to the sewer system via the grease interceptor.

Ongoing BMP Maintenance

All permanent BMPs for Filterra Treatment devices or any other approved device shall be within the project parking lot and are to be maintained by the property owner or community association. The applicant will be required to record a covenant prior to issuing a final certificate of occupancy, guaranteeing perpetual maintenance and allowing the City to provide emergency service. Additionally the covenant would require the property owner to keep maintenance records and provide them to the City upon request.

Proper Design and Treatment of Runoff from Parking Lots

Parking lots may accumulate oil, grease, and water insoluble hydrocarbons from vehicle drippings and engine system leaks. To minimize the potential impacts of parking lots, the following shall be required:

- a. Oil and petroleum hydrocarbons produced at plan area parking lots shall be removed from runoff prior to entering the off-site storm drain system.
- b. The developer shall ensure adequate operation and maintenance of treatment systems, particularly sludge and oil removal, and system fouling/plugging prevention control.

Per the SQUIMP, structural or treatment control BMPs must meet the following design standards:

- a. Volume based post-construction structural or treatment control BMPs shall be designed to mitigate (infiltrate or treat) storm water runoff from either:

- i. The volume of annual runoff to achieve 80% volume capture (Ventura County Land Development Guidelines);
 - ii. The 85th percentile 24-hour runoff event;
 - iii. The volume of runoff produced from a 0.75-inch storm event; or
 - iv. The volume of runoff produced by a rainfall criterion that achieves the same reduction in pollutant loads as b.
 - b. Flow-based post-construction structural or treatment control BMPs shall be sized to handle the flow generated from either:
 - i. 10% of the 50-year design flow rate;
 - ii. A flow that will result in treatment of the same portion of runoff as treated using volumetric standards above;
 - iii. A rain event equal to at least 0.2 inches per hour intensity; or
 - iv. A rain event equal to at least two times the 85th percentile hourly rainfall intensity for Ventura County. [EIR H-1]
130. Detailed storm drain system calculations and plans shall be provided for the project prior to issuance of a building permit. The design and sizing of all proposed storm drain improvements shall meet the needs of the ultimate NECSP buildout as well as the interim requirements of the proposed project. The Public Works Department shall review and approve the final designs prior to issuance of a building permit. [EIR PS9]
131. Prior to issuance of a grading permit, the developer shall prepare a Stormwater Pollution Prevention Plan for the site for review and approval by the Public Works Department. The SWPPP shall fully comply with RWQCB requirements and shall contain specific BMPs to be implemented during project construction to reduce erosion and sedimentation to the maximum extent practicable. At a minimum, the following BMPs shall be included within the Plan:
 - a. Cover all storage areas, including soil piles, fuel and chemical depots. Protect from rain and wind with plastic sheets and temporary roofs.
 - b. Locate all construction related equipment and related processes that contain or generate pollutants (i.e. fuel, lubricant and solvents, cement dust and slurry) in isolated areas with proper protection from escape.
 - c. Locate construction-related equipment and processes that contain or generate pollutants in secure areas, away from storm drains and gutters.
 - d. Place construction-related equipment and processes that contain or generate pollutants in bermed, plastic lined depressions to contain all materials within that site in the event of accidental release or spill.
 - e. Park, fuel and clean all vehicles and equipment in one designated, contained area.
 - f. Protect downstream drainages from escaping pollutants by capturing materials carried in runoff and preventing transport from the site. Examples of detainment methods that retard movement of water and separate sediment and other contaminants are silt fences, hay bales, sand bags, berms, silt and debris basins.
 - g. Conduct major excavation during dry months. These activities may be significantly limited during wet weather.
 - h. Utilize soil stabilizers.

- i. Reduce fugitive dust by wetting graded areas with adequate, yet conservative amount of water. Cease grading operations in high winds.
- j. Develop a protocol for maintaining a clean site. This includes proper recycling of construction related materials and equipment fluids (i.e., concrete dust, cutting slurry, motor oil and lubricants).
- k. Provide disposal facilities. Develop a protocol for cleanup and disposal of small construction wastes (i.e., dry concrete).
- l. Develop a protocol for identifying risk operations and materials. Include protocol for identifying spilled materials source, distribution; fate and transport of spilled materials.
- m. Provide a protocol for proper clean up of equipment and construction materials, and disposal of spilled substances and associated cleanup materials.
- n. Provide an emergency response plan that includes contingencies for assembling response team and immediately notifying appropriate agencies. [EIR H-3]

Land Use and Planning

132. The applicant shall design exterior building and parking lot lighting, including that associated with the Walgreen's pharmacy drive-thru, which sheds light pools only on the project site, incorporating "cut-off" shields as appropriate to prevent an increase in lighting at adjacent residential uses. Landscape illumination and exterior sign lighting shall be accomplished with low level, unobtrusive fixtures. Such lighting shall be shielded to direct light pools away from off site viewers. [EIR AES-2(a)]
133. All fenestration shall be of a low-glare specification. Paint used for exterior facades shall be of low reflectivity. Metal surfaces shall be brush-polished or similar finish and not highly reflective to minimizing reflective glare. [AES 2(b)]

Noise

134. Construction activities at the site shall be limited to weekdays and Saturdays, between the hours of 7:00 a.m. to 6:00 p.m. [EIR N-1(1)]
135. All diesel equipment shall be operated with closed engine doors and shall be equipped with factory recommended mufflers. [EIR N-1(a)]
136. Electrical power shall be used to run air compressors and similar power tools. [EIR N-1(b)]
137. The City shall provide a telephone number for local residents to call to submit complaints associated with construction noise. The number shall be posted on the project site and shall be easily viewed from adjacent public areas. [EIR N-1(c)]
138. Onsite trash pickup services, street and parking lot sweeping, and truck deliveries shall be restricted to between the hours of 7:00 AM and 11:00 PM, Monday through Saturday. [EIR N-3]

Public Services

139. All new construction shall be equipped with fire sprinklers. [EIR PS-3]
140. All development plans shall be subject to Fire Department review for emergency access, adequate fire flow, provision of hydrants and fire detection and alarm equipment. [EIR PS-4]
141. Future construction shall comply with all recommendations of the Oxnard Police Department relative to building security design (doors, locks, access, visibility) prior to approval of final plans. [EIR PS-6]
142. The Oxnard Police Department shall be included in the plan check process to enable the Department to recommend specific improvements that will enhance crime prevention for the project and allow for the police to better plan for calls that may be generated by the development. [EIR PS-7]
143. The project shall retain a private on-site security guard on duty overnight during construction, and at all times that the proposed shopping center is open for business. [EIR PS-1]

Transportation/Traffic

144. The operation of the Gonzales Road/Rose Avenue intersection shall be improved by converting an eastbound through lane to a left-turn lane, thereby providing triple left-turns on the eastbound approach. With triple left-turns, two through lanes and an exclusive right-turn lane on the eastbound approach the resulting V/C and LOS would be 0.63/LOS "B" during the A.M. peak hour period and 0.77/LOS "C" during the P.M. peak hour period. [EIR T-1]
145. Prior to the issuance of a building permit, a path marker, that matches the greenbelt designation markers found commonly in the NECSP, shall be illustrated on the building plans over the pedestrian/bicycle entry located in the southwest corner of the project site. The marker shall be made of metal, shaped in an arch, and colored to match the NECSP path markers. The new path marker shall be attached to the entry columns similar to the NECSP path markers and shall not contain any form of advertisement or signage. (PL)

Utilities and Service Systems

146. The applicant shall destroy the onsite agricultural irrigation well in accordance with applicable requirements such that the City obtains a minimum of two additional acre-feet per year from the Fox Canyon Groundwater Management Agency pursuant to applicable regulations. [EIR U-1(a)]

147. All onsite landscaping shall be drought tolerant and shall incorporate subsurface drip irrigation to reduce evaporative losses. Water fountains are prohibited due to evaporative losses. Purple pipe shall be installed in landscape areas, unless determined to be unnecessary by the City's Public Works Department, such that the irrigation system can be converted to reclaimed water in the future when recycled water supplies are brought to the vicinity of the site. [EIR U-1(b)]
148. All plumbing fixtures shall be conservation fixtures, reducing potential for water waste to the maximum extent practicable, including automatic shut off on public sinks, ultra low flow toilets, urinals, and tankless water heaters. [EIR U-1(c)]
149. The proposed project would be responsible for any fair share fees associated with upgrades to the existing sewer system if improvements to the existing sewer system are necessary to serve the proposed project. [EIR U-2]
150. Prior to issuance of building permits, detailed sewer system calculations and plans shall be provided for the proposed project. The design and sizing of all proposed sewer improvements shall meet the needs of the ultimate NECSP buildout, as well as the interim requirements of the proposed project. [EIR WW-2 (8)]

ENVIRONMENTAL RESOURCES DIVISION

151. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused or recycled, Developer shall complete and submit a "City of Oxnard C&D Environmental Resources Management & Recycling Plan" ("Plan") to the City for review and approval. The Plan shall provide that at least 50% of the waste generated on the project be diverted from the landfill. The Plan shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The Plan shall be submitted to and approved by the Environmental Resources Division prior to issuance of a building permit. The Plan shall include the following information: material type to be recycled, reused, salvaged or disposed; estimated quantities to be processed; management method used; destination of material including the hauler name and facility location. Developer shall use the Plan form. (PL/DS)
152. Developer shall follow the approved "City of Oxnard C&D Environmental Resources Management & Recycling Plan" and provide for the collection, recycling, and/or reuse of materials (i.e., concrete, wood, metal, cardboard, green waste, etc.) and document results during construction and/or demolition of the proposed project. After completion of demolition and/or construction, Developer shall complete and submit the "City of Oxnard C&D Environmental Resources Management & Recycling Report For Work Completed" ("Work Completed Report") and provide legible copies of weight tickets, receipts, or invoices for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, Developer shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused, and the project generating the discarded materials. Developer shall submit and obtain approval of the Work Completed Report prior to issuance of a certificate of occupancy. (PL/DS)

153. Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Environmental Resources Division or Developer shall arrange for self-hauling to an authorized facility. (DS)
154. Developer shall make provisions to divert at least 50% of the waste material generated during occupancy through source reduction, recycling, reuse, and green waste programs. Developer shall complete and submit a "City of Oxnard C&D Environmental Resources Management & Recycling Occupancy Plan" ("Occupancy Plan") to the City's Environmental Resources Division. An Occupancy Plan must be submitted and approved prior to issuance of a certificate of occupancy. A "City of Oxnard C&D Environmental Resources Management & Recycling Occupancy Report" shall be submitted to the Environmental Resources Division annually on the anniversary date of the certificate of occupancy for approval. (PL/DS)
155. Developer shall dispose of sewage and solid waste from the project by City's wastewater and solid waste systems in a manner approved by the City Engineer. (DS)

DEVELOPMENT SERVICES DIVISION STANDARD CONDITIONS

156. Developer shall pay plan check and processing fees in effect at the time of construction plan submittal and shall pay development fees, encroachment permit fees, and other applicable fees in effect at the time the City issues building permits. (DS-1)
157. Developer's Engineer shall design parking lot structural sections based on an analysis of the soils R-value and a traffic index (T.I.) approved by the City Engineer. The minimum structural section for parking lots is two inches of asphalt on four inches of base material. Developer shall show the proposed structural section on the site improvement plans. (DS-2)
158. Developer shall have the site improvement plans prepared on standard Development Services Division mylars by a civil engineer licensed in the State of California. The plans shall incorporate recommendations from soil engineering and geology reports. Prior to issuance of a grading permit, improvement plans must be approved by the City Engineer and the original ink-on-mylar plans filed with the Development Services Division. (DS-3)
159. Developer shall submit improvement plans and drainage calculations that demonstrate that storm drainage from the project property and all upstream areas will be safely conveyed to an approved drainage facility. The design and conveyance route shall be compatible with the City's Master Plan of Drainage and shall be approved by the City Engineer prior to approval of improvement plans. (DS-4)
160. Developer shall protect building pads from inundation during a 100-year storm. (DS-5)
161. Developer shall remove and replace all improvements that are damaged during construction. (DS-6)

162. Each structure shall be served by separate sewer and water services. There shall be no interconnections between structures. (DS-8)
163. Curb cut widths and design shall conform to City ordinances, standards, and policies in effect at the time City issues an encroachment permit. (DS-9)
164. Where a separate loop or terminal line is required for water mains, fire hydrants or fire sprinkler systems, Developer's site improvement plans shall include an on-site water plan. (DS-11)
165. Developer shall install on-site and off-site utility services underground in accordance with City ordinances in effect at the time City issues the building permit. Services shall be installed underground to the nearest suitable riser pole as determined by the appropriate utility service provider. (DS-12)
166. Developer shall enter into an agreement, approved as to form by the City Attorney, to install and construct all public improvements required by this permit and by the City Code and shall post security satisfactory to the Finance Director, guaranteeing the installation and construction of all required improvements within the time period specified in the agreement or any approved time extension. (DS-14)
167. A civil engineer licensed in the State of California shall prepare the public improvement plans and documents for this project in accordance with City standards and shall submit all such plans to the City Engineer. Such plans and documents shall include, but not be limited to, grading, street, drainage, sewer, water and other appurtenant improvement plans; a master utility plan showing the layout and location of all on-site and off-site utility improvements that serve the project; construction cost estimates, soils reports, and all pertinent engineering design calculations. City will not accept an application for the final map or parcel map for the project or issue a grading, site improvement or building permit until the City Engineer has approved all improvement plans. (DS-15)
168. Prior to issuance of a site improvement permit, Developer shall provide to the Development Services Division a compact Disc (CD) containing digital copies of the final subdivision map, address map, and civil improvements drawings in DWG format. Prior to improvement bond release, Developer shall provide an updated CD containing all changes that occur during construction. (DS-16)
169. Developer agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Developer's expense, City and its agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided for in Government Code Section 66499.37, to attack, review, set aside, void or annul the approval of this resolution or to determine the reasonableness, legality or validity of any condition attached thereto. City shall promptly notify Developer of any such claim, action or proceeding of which City receives notice, and City will cooperate fully with Developer in the defense thereof. Developer shall reimburse City for any court costs and attorney's fees that City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall

not relieve Developer of the obligations of this condition. Developer's acceptance of this resolution or commencement of construction or operations under this resolution shall be deemed to be acceptance of all conditions thereof. (DS-18)

170. Developer shall provide all necessary easements for streets, highways, alleys, sidewalks, breezeways, parkways, landscaping, utilities, drainage facilities, and other improvements as required by City. If such easements cannot be obtained from the property owner by negotiation, City may acquire them at the expense of Developer by exercise of the power of eminent domain. Developer shall bear all costs of eminent domain proceedings, including appraisal, acquisition, attorney's fees, and court costs. Before City issues a site improvement permit, Developer shall dedicate all required easements to City. (DS-19)
171. Developer shall remove graffiti from the project, including graffiti on offsite public infrastructure under construction by Developer, within 24 hours of its appearance. If Developer fails to remove graffiti in accordance with this condition, the City may at the discretion of the Development Services Manager issue a stop work order until such time as the graffiti is removed. (DS-20)
172. The conditions of this resolution shall prevail over all omissions, conflicting notations, specifications, dimensions, typical sections, and the like, that may or may not be shown on the improvement plans. (DS-21)
173. Developer shall pay the cost of all inspections of on-site and off-site improvements. (DS-22)
174. Developer shall be responsible for all project-related actions of Developer's employees, contractors, subcontractors, and agents until City accepts the improvements. (DS-23)
175. Prior to beginning construction, Developer shall designate in writing an authorized agent who shall have complete authority to represent and to act for Developer. The authorized agent shall be present at the work site whenever work is in progress. Developer or the authorized agent shall make arrangements acceptable to City for any emergency work. When City gives orders to the authorized agent to do work required for the convenience and safety of the general public because of inclement weather or any other cause, and the orders are not immediately acted upon by the authorized agent, City may do or have such work done by others at Developer's expense. (DS-24)
176. Prior to approval of the final map or parcel map, Developer shall provide the City Engineer with written evidence from the Ventura County Clerk's Office that Developer has executed and filed with the Clerk all certificates, statements and securities required by Government Code Sections 66492 and 66493. (DS-26)
177. "Standard Specifications for Public Works Construction," latest edition, and any modifications thereto by City, and City of Oxnard Standard Land Development Specifications and all applicable City Standard Plans, shall be the project specifications, except as noted otherwise on the approved improvement plans. City reserves the right to upgrade, add to, or revise these specifications and plans and all other City ordinances, policies, and standards. If the

improvements required of this project are not completed within 12 months from the date of City's approval of the improvement plans, Developer shall comply with and conform to any and all upgraded, additional or revised specifications, plans, ordinances, policies and standards. (DS-27)

178. Developer shall retain a Civil Engineer licensed in the State of California to ensure that the construction work conforms to the approved improvement plans and specifications and to provide certified "as-built" plans after project completion. Developer's submittal of the certified "as-built" plans is a condition of City's final acceptance of the project. (DS-29)
179. All grading shall conform to City's grading ordinance and any recommendations of Developer's soils engineer that have been approved by the City Engineer. Developer shall conform to all applicable notes specified on the site improvement/grading plan cover sheet and grading permit. (DS-30)
180. In order to mitigate any potential flooding or erosion affecting adjacent properties and public rights-of-way, Developer shall construct required drainage facilities concurrently with the rough grading operations, or with prior approval of the City Engineer, provide interim drainage improvements on a temporary basis. (DS-31)
181. Storm drain, sewer and water facilities shall conform to applicable City Master Plans. Developer shall prepare plans for these facilities in accordance with City's engineering design criteria in effect at the time of improvement plan submittal. Developer shall submit plans with pertinent engineering analyses and design calculations for review and approval by the City Engineer prior to issuance of a site improvement permit. (DS-34)
182. Developer shall dispose of sewage and solid waste from the project by City's wastewater and solid waste systems in a manner approved by the City Engineer. (DS-38)
183. By title sheet dedication at the time of filing the subdivision map, Developer shall dedicate all water rights for the project property to City. (DS-39)
184. Developer shall install water mains, fire hydrants and water services in conformance with City Standard Plans and specifications as directed by the City Engineer. (DS-41)
185. Prior to issuance of building permits, Developer shall present to the City Engineer a "Proof of Payment - Authorization for Building Permits" form issued by the Calleguas Municipal Water District. (DS-44)
186. Developer shall install City approved backflow prevention devices for water connections if so ordered by the City Engineer. (DS-45)

187. Prior to designing the water system for the project, Developer shall have a certified fire flow test performed to determine existing water pressure and flow characteristics. The water system shall be designed to allow for a 10 psi drop in the static water pressure measured during the fire flow test. After construction and before City issues a certificate of occupancy, the City Engineer may require a second test. Before performing the tests, Developer shall obtain permits from the City Engineer. Developer shall have all tests certified by a mechanical, civil, or fire protection engineer and provide written results of all tests to the City Engineer. (DS-47)
188. Prior to release of the final map or parcel map for recordation, Developer shall provide the City Engineer with a 100-scale base map for addressing purposes. The map shall be drawn on 18-inch by 24-inch mylar and shall show the standard address map title block, north arrow, street names, tract number, phase boundary and lot numbers. The City will assign all addresses. (DS-56)
189. Prior to release of the final map or parcel map for recordation, Developer shall post a bond or other security satisfactory to the City Attorney, guaranteeing that all monuments will be set as required by the Government Code and the City Code. (DS-57)
190. Developer shall submit a landscape irrigation plan prepared by a licensed professional, showing proper water meter size, backflow prevention devices, and cross-connection control. (DS-59)
191. Developer shall be responsible for and bear the cost of replacement of all existing survey monumentation (e.g., property corners) disturbed or destroyed during construction, and shall file appropriate records with the Ventura County Surveyor's Office. (DS-64)
192. Developer shall provide adequate vehicle sight distance as specified by CalTrans specifications at all driveways and intersections. (TR-71)
193. Developer shall install bike racks in accordance with City standards at locations approved by City Traffic Engineer. (TR-73)
194. Prior to issuance of a building permit, all traffic signal, pavement marking and sign plans shall be prepared by a registered California traffic engineer and approved by the City Engineer prior to issuance of a grading, site improvement or a building permit. (TR-74)
195. Prior to issuance of an encroachment permit, Developer's shall obtain City's approval of a contractor qualified to install traffic signals, pavement markings and signs. (TR-76)
196. In non-residential developments where fifty or more persons are employed, Developer shall include a transportation information center stocked with bus schedules, rideshare information, and related information on alternative methods of transportation. Developer or owner shall update such information at least once a month. (TR-77)

STORMWATER QUALITY CONDITIONS

197. Developer shall comply with all National Pollutant Discharge Elimination System (NPDES) permit Best Management Practice (BMP) requirements in effect at the time of grading or building permit issuance. Requirements shall include, but not be limited to, compliance with the Ventura Countywide Stormwater Quality Urban Impact Mitigation Plan (SQUIMP). (DS-78)
198. Developer shall design parking lot and other drive areas to minimize degradation of stormwater quality. Using Best Management Practices (BMPs), such as oil and water separators, sand filters, landscaped areas for infiltration, basins or approved equals, Developer shall intercept and effectively prevent pollutants from discharging to the storm drain system. The stormwater quality system design shall be approved by the City Engineer prior to the issuance of a site improvement permit. (DS-81)
199. Using forms provided by the Development Services Division, Developer shall submit a stormwater quality control measures maintenance program ("the Program") for this project. If the BMPs implemented with this project include proprietary products that require regular replacement and/or cleaning, Developer shall provide proof of a contract with an entity qualified to provide such periodic maintenance. The property owner is responsible for the long-term maintenance and operation of all BMPs included in the project design. Upon request by City, property owner shall provide written proof of ongoing BMP maintenance operations. No grading or building permit shall be issued until the Development Services Manager approves the Program and Developer provides an executed copy for recordation. (DS-82)
200. Developer shall clean on-site storm drains at least twice a year; once immediately before the first of October (the beginning of the rainy season) and once in January. The City Engineer may require additional cleaning. (DS-83)
201. Developer shall maintain parking lots free of litter and debris. Developer shall sweep sidewalks, drive aisles, and parking lots regularly to prevent the accumulation of litter and debris. When swept or cleaned, debris must be trapped and collected to prevent entry into the storm drain system. Developer may not discharge any cleaning agent into the storm drain system. (DS-84)
202. Prior to issuance of a certificate of occupancy, on-site storm drain inlets shall be labeled "Don't Dump - Drains to Ocean" in accordance with City standards. Before City issues a site improvement permit, the requirement to label storm drain inlets shall be shown on the civil engineering plans. (DS-85)
203. Prior to issuance of a grading permit or commencement of any clearing, grading or excavation, Developer shall provide the City Engineer with a copy of a letter from the California State Water Resources Control Board, Storm Water Permit Unit assigning a permit identification number to the Notice of Intent (NOI) submitted by Developer in accordance with the NPDES Construction General Permit. Developer shall comply with all additional requirements of the General Permit, including preparation of a Stormwater Pollution Prevention Plan (SWPPP). The SWPPP shall identify potential pollutant sources that may affect the quality of discharges to stormwater and shall include the design and placement of recommended Best Management

Practices (BMPs) to effectively prohibit pollutants from the construction site entering the storm drain system. Developer shall keep the SWPPP updated to reflect current site conditions at all times and shall keep a copy of the SWPPP and the NOI on the site and make them available for City or designated representative to review upon request. (DS-86)

DEVELOPMENT SERVICES DIVISION SPECIAL CONDITIONS

204. Developer shall pay to the County of Ventura a road mitigation fee in accordance with the agreement between the City and the County of Ventura. Proof of payment shall be provided to the Development Services Division prior to issuance of a building permit. (DS-105)
205. Developer shall destroy all on-site water wells in conformance with Development Services Division requirements. (DS-107)
206. Developer shall ensure that the project property landowner and Developer take all action necessary to transfer to City all water rights appurtenant to or associated with the project property and all Fox Canyon Groundwater Management Agency (GMA) groundwater pumping allocation (historical and baseline and credits accrued thereon) associated with groundwater extraction facilities used to irrigate the project property. Action necessary to transfer water rights and the GMA allocation shall include, but not be limited to, obtaining the necessary written approvals of the owners/operators of the groundwater extraction facilities and cooperating fully with City in obtaining written approval from the GMA for transfer of the GMA allocation. The transfer of water rights and the GMA allocation shall be completed and approved by the GMA to the satisfaction of City before City issues a site improvement permit to Developer. (DS-108)
207. Prior to recordation of the subdivision map, Developer shall cause the Assessment District Engineer to reapportion the existing assessments in accordance with the proposed resubdivision. (DS-109)

Special Storm Water Quality Conditions

208. Developer shall design the grass swale filter(s) in accordance with the Technical Guidance Manual for Stormwater Quality Control Measures. Design calculations shall be included in the project drainage report. (DS)
209. Developer's engineer shall provide City with written confirmation that they have reviewed the landscape construction drawings within the NPDES grass swale filter areas and that the proposed landscaping conforms to SQUIMP standards for grass filter swales. (DS)
210. Developer shall provide a 6" minimum vertical drop between the flow line of the parking lot concrete gutter and the flow line of the filter swale at each location where stormwater enters the filter swale. The transition between gutter flow line and filter swale flow line shall be constructed similar to a concrete ribbon gutter. (DS)

211. Developer shall install a perforated underdrain below all grass swale filter(s) constructed with a longitudinal slope of less than 1%. Underdrain shall connect to a point of safe discharge as approved by the Development Services Manager. (DS)
212. Developer shall require tenants that perform food preparation activities to provide and maintain an area within their tenant space for the washing/steam cleaning of equipment, floor mats and accessories. This area shall be self-contained and connected to the project grease interceptor. (DS)
213. Developer shall design stormwater conveyance system to promote infiltration by providing infiltration trenches, filter swales, or similar infiltration devices within the project. (DS)

Special Storm Drain Conditions

214. Storm water runoff from this site shall be limited and on-site detention shall be provided in conformance with the "Agreement for Stormwater Retention Within Rice Road Drain Watershed" and the approved drainage report for this Tract. The detention basin(s) shall be designed in accordance with Public Works Standards and policies. The Developer shall provide a city standard Declaration of Restrictive Covenant for Detention Basin Perpetual Maintenance by the property owner prior to approval of the grading/site improvement plans. (DS)
215. All detention basin sites shall be provided with a minimum of two (2) signs identifying the use of the lot as a detention basin. The signs shall have a minimum area of four (4) square feet and shall contain the following message: "WARNING This area has been designed as a stormwater detention pond and is subject to periodic ponding to a depth of ____ inches." The material, design, size, and number of signs are subject to the review and approval of the City Engineer. Signs and posts shall be constructed of metal or other long lasting material. All information regarding required detention basin signage shall be included on the grading/site improvement plans. (DS)

Special Water Conditions

216. Developer shall re-evaluate the design of the proposed onsite water system to minimize disruption to Rose Avenue, minimize dead-end fire hydrant lines, and provide a connection to the northerly end of the existing dead-end waterline in Terronez Place. (DS)

Special Street Conditions

217. Developer shall construct bus pull-outs along the project frontage on both Rose Avenue and Gonzales Road. Pull-outs shall include concrete bus pads in compliance with City standard plate 200. Developer shall obtain final approval of the location of each bus pull-out from both the City Traffic Engineer and Gold Coast Transit. (DS)
218. Developer shall design enhanced concrete at driveways to terminate at the back of sidewalk. (DS)

219. Rose Avenue is proposed for a future City sponsored pavement overlay of Rose Avenue along the project frontage. If Developer's improvements within Rose Avenue (utilities, driveways, bus turn-out, etc.) occur after the City's overlay project, Developer shall perform a 1.5" grind and overlay of Rose Avenue after all project related improvements within Rose Avenue have been completed in accordance with City street-cut moratorium standards. (DS)
220. Developer shall construct a concrete apron along the length of each trash enclosure opening that extends a minimum of 15' from the face of the enclosure. (DS)
221. Developer shall construct proposed walkways that cross vehicular drive aisles of colored enhanced concrete. The concrete color shall contrast with the parking lot asphalt to clearly identify pedestrian areas. (DS)
222. Developer shall construct a sidewalk to provide a pedestrian connection between Rose Avenue and Valerosa Way. The sidewalk shall be 6' wide and located northerly of the existing detention basin on parcel G of Tract 5228-01. Sidewalk construction shall include provision of disabled access ramps on both the easterly and westerly sides of Valerosa Way at the existing roadway knuckle. (DS)
223. Developer shall construct a pedestrian entry to the shopping center from the northeasterly corner of Terronez Place and Valerosa Way. Construction shall include provision of a disabled access ramp at the street intersection. Developer shall not gate or otherwise limit pedestrian use of this entry unless specifically approved in writing by the Development Services Manager and Planning and Environmental Services Manager. (DS)
224. Developer shall obtain approval of the Refuse Division for the make and model of trash compactor proposed for Building 4. (DS)
225. Developer shall construct trash enclosures with a solid non-combustible roof (8' minimum clearance) that prevents stormwater from entering the refuse bins. Developer shall construct all other components of the trash enclosure in accordance with the approved City Standard Plan on file with the Development Services Division. Developer shall finish the trash enclosure to match the major design elements of the main structure. The finish and roof appearance shall be indicated on the building plans and are subject to approval by the Planning Division. The location and configuration of trash enclosures shall be reviewed and approved by the Environmental Resources Division. All refuse bins on the site shall be stored in an approved trash enclosure. No objects other than refuse bins may be stored in the trash enclosure without the written permission of the Environmental Resources Division. (DS)
226. Developer shall construct trash enclosures that serve tenants performing food preparation services (e.g. restaurants, grocery stores, etc.) with a traffic rated, grated inlet within the enclosure to catch all wash water from the trash enclosure. This drain shall connect to the sanitary sewer system via a grease interceptor. Developer shall construct all other components of the trash enclosure in accordance with the approved City Standard Plan on file with the Development Services Division. (DS)

227. Developer shall dedicate to the City a sidewalk easement for any portion of the existing or proposed sidewalks along Rose Avenue or Gonzales Road not within an existing easement. (DS)
228. Prior to recordation of the final map, Developer shall provide a draft document indicating proposed reciprocal access and utility easements for the various lots created by this subdivision. Developer shall provide proof of recordation of the document prior to issuance of a Certificate of Occupancy for any structure within the project. (DS)

Special Traffic Conditions

229. Developer shall design and install a traffic signal system at the proposed Gonzales Road median opening serving the project driveway that includes a battery backup unit and emergency vehicle pre-emption. The median opening and traffic signal design shall restrict the northern (Rose Shopping Center) and southern (Rose Ranch Shopping Center) legs of the intersection to left-turn in, right-turn in, and right-turn out. These improvements are not reimbursable under the traffic impact fee. (TR)
230. Developer shall design project lighting to provide 1' to 7' candles of illumination near the bus stops along the project frontage on Rose Avenue and Gonzales Road. (TR)
231. Developer shall re-stripe the Number 1 eastbound lane on Gonzales Road as an additional left-turn lane and shall design and install the required signs and traffic signal modifications associated with the lane configuration changes. These improvements are per mitigation measure T1 of FSEIR 08-02. (TR)
232. Developer shall shorten the median nose at the northern leg of the Rose Avenue/Gonzales Road intersection by approximately 6' to accommodate eastbound left-turn movements. Developer shall re-stripe the crosswalk and relocate traffic signals and red light camera loop detectors as required to accommodate the median alteration. (TR)

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 20th day of November 2008, by the following vote:

AYES: Commissioners

NOES: Commissioners

ABSENT: Commissioners

Michael Sanchez, Chairman

ATTEST: _____
Susan L. Martin, Secretary