



Planning Division

MEMORANDUM

TO: Planning Commission

FROM: Stephanie Diaz, Contract Planner ^{SLD}

DATE: October 2, 2008

SUBJECT: Planning and Zoning Permit No.06-500-01, (Special Use Permit), Architectural Review for CVS Shopping Center Located at 1117 and 1205 South Oxnard Boulevard at the Five Points Intersection, Referral from City Council.

Recommendation: Planning Commission is requested to review the revised project architecture and provide comments to the City Council.

Discussion: In 2006, Heritage Equities, LLC filed an application for a number of planning entitlements for redevelopment of a vacant property at the Five Points intersection. The proposed CVS Pharmacy Shopping Center has three new buildings, including a drive-through pharmacy. The project has been approved as follows:

- On October 18, 2007, the Planning Commission held a public hearing and considered the request for a CVS Pharmacy shopping center with two drive-through uses, alcohol sales and a new billboard, all which require a special use permit. At this hearing, the Planning Commission denied the application for a shopping center on the site.
- On January 8, 2008, the City Council held a public hearing to review the applicant's appeal of the Planning Commission's denial of the project. At that time, the Council approved the proposed zone change. Council members provided comments that the site is a City gateway and the architecture should be appropriate. There was general support for the architecture but the Council returned the project to the Planning Commission to address site plan and architectural issues.
- On February 21, 2008 a Planning Commission meeting was held for project review per City Council request. At that hearing, the applicant presented a revised project to address concerns identified at the City Council meeting. The Planning Commission voted to deny the special use permit stating concern that the proposed land use is not appropriate for the site and the architectural changes did not address the Commission's concerns.
- On March 25, 2008, at a continuation of the January 8, 2008 appeal hearing, the City

Council supported the proposed shopping center and approved related permits. At the time of approval, the City Council adopted Resolution No. 13,393 with a condition that the final shopping center building elevations are subject to City Council approval.

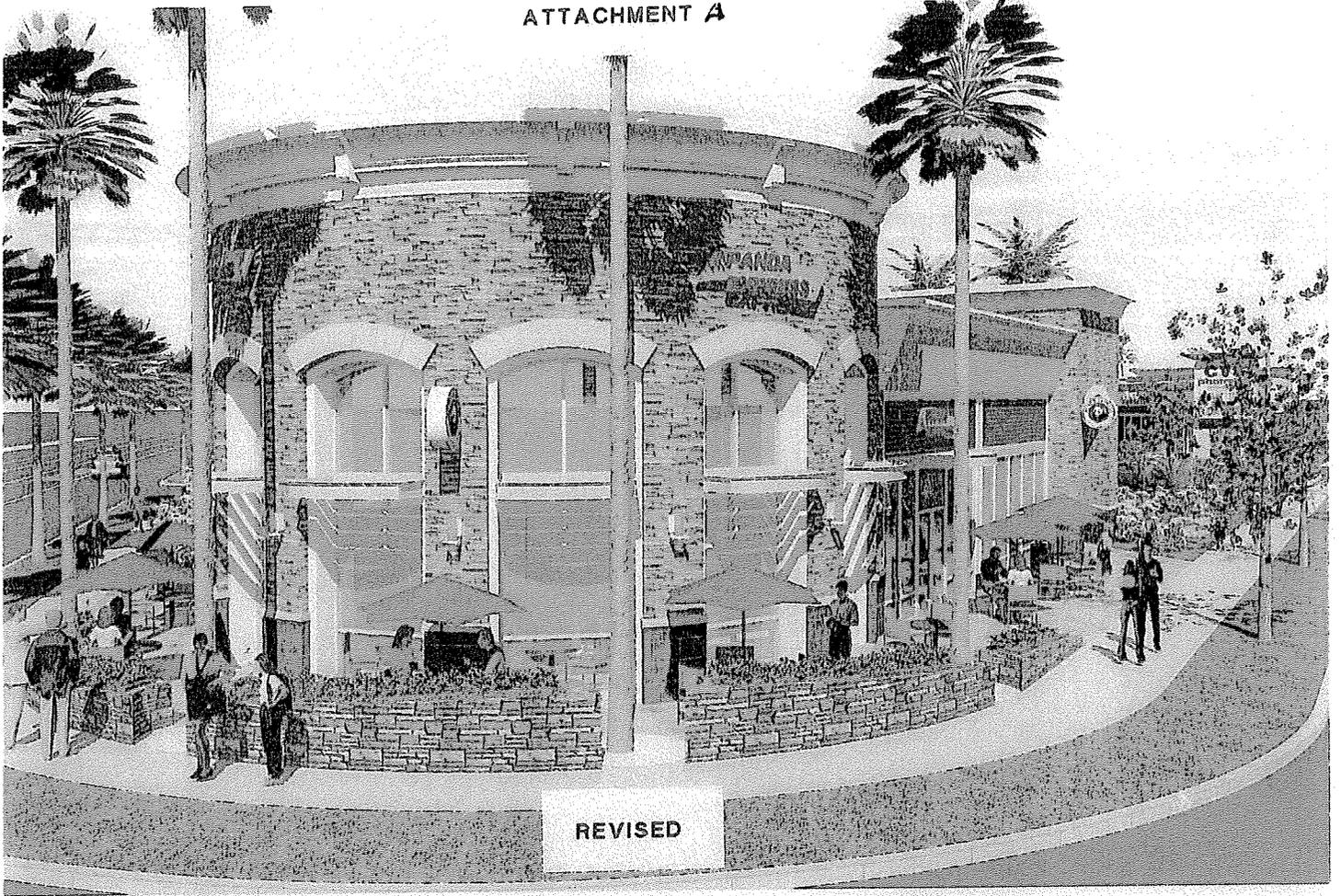
- On June 24, 2008 the City Council reviewed revised architecture that had been submitted by the project architect. At the meeting, the City Council also discussed alcohol sales and building re-uses. The hearing was continued to allow the applicant to address these issues.
- On September 16, 2008 the City Council, after reviewing the revised building elevations referred the architecture back to the Planning Commission comment as the Planning Commission had not seen the new rendition.

Since the Planning Commission's last review of the buildings, the elevations have been revised to include additional building cornices, revised window canopies, larger window recesses, new ledge stone walls and trim, as well as larger windows for the building facing the Five Points intersection. The original and revised architecture are shown in Attachment A. (The "revised/proposed" architecture is shown in the top illustration and the "original" architecture is shown in the bottom illustration.) The approved site plan is provided only for orientation.

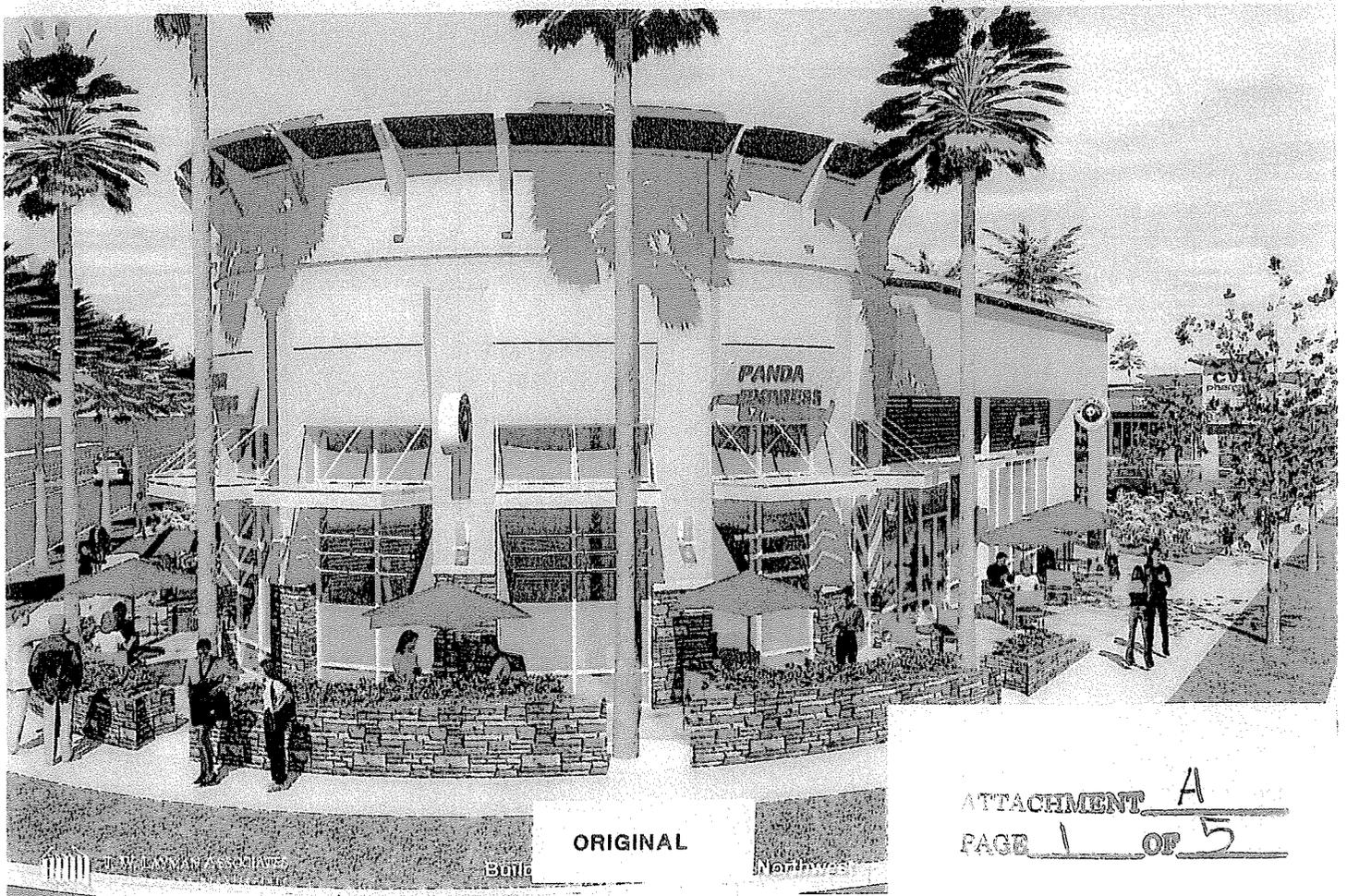
Staff will provide the Planning Commission's comments on the revised building elevations to the City Council at a later date.

Attachments

- A. Comparison of Original and Revised Architecture
- B. Approved Site Plan



REVISED



ORIGINAL



ATTACHMENT A
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REVISED



REVISED



ORIGINAL





ATTACHMENT A
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