



Planning Division

PLANNING COMMISSION STAFF REPORT

TO: Planning Commission

FROM: Winston Wright, Associate Planner

DATE: April 17, 2008

SUBJECT: Planning and Zoning Permit Nos. 07-500-12 (Special Use Permit) and 07-300-12 (Tentative Subdivision Map for Tract No. 5770 for Condominium Purposes) for the Adaptive Reuse of Existing Structures Located at 300 West Ninth Street. Filed by Press Courier Lofts, LLC.

- 1) **Recommendation:** That the Planning Commission:
 - a) Approve Planning & Zoning Permit No. 07-500-12, a special use permit, subject to certain findings and conditions; and
 - b) Adopt a resolution recommending that the City Council approve Planning & Zoning Permit No. 07-300-12, a tentative subdivision map for Tract No. 5770 for condominium purposes, subject to certain findings and conditions.

- 2) **Project Description and Applicant:** The applicant requests approval of a special use permit (SUP) to allow the adaptive reuse of an existing industrial facility through structural modification, 33 parking bay lifts, 25 carports, 15 parking spaces, recreational facilities, interior drive aisles, and landscaping in order to construct 46 residential units and 6,000 square feet of office space. A tentative subdivision map is requested for condominium purposes for both the residential and office units. The SUP request is for a planned residential group for consideration of several variations from City Code requirements. Specifically, a reduction in the required open space area (from 2,500 sq. ft. to 1,000 sq. ft.), one second floor unit that lacks private balcony space, and provision to allow carport parking spaces (instead of enclosed garages) for 13 residential units. In addition, 41 required parking spaces and a commercial loading zone are proposed along Ninth and B Streets. The project site is located at 300 West Ninth Street and is commonly known as the Press Courier Building. Filed by Press Courier Lofts, LLC, 2201 Statham Blvd, Suite 117, Oxnard, CA 93033.

- 3) Existing & Surrounding Land Uses:** The project site is currently developed with a 52,096 square foot industrial facility that once housed a newspaper printing press and associated offices. The offices on the site are now occupied by Ventura County Human Services.

LOCATION	ZONING	GENERAL PLAN	EXISTING LAND USE
Site	Central Business District (CBD)	Central Business District (CBD)	Offices and Vacant Buildings
North	Central Business District (CBD)	Central Business District (CBD)	Elks Lodge & Residential Condos
East	Central Business District (CBD)	Central Business District (CBD)	Medical Offices
South	Central Business District (CBD)	Central Business District (CBD)	School District Yard
West	Central Business District (CBD)	Central Business District (CBD)	Verizon Substation

- 4) Background Information:** The existing 52,096 square foot industrial facility once housed the *Press Courier* newspaper. The newspaper business was closed in the 90's and the offices on the project site are now being used by County of Ventura Human Services. The occupied offices are within the single-story building noted as Area 1 on the project plans. The remainder of building space on the project site is either vacant or is being used as storage.

A report of building records indicates that the first buildings associated with the *Press Courier* newspaper were constructed in 1958-1959 (Bldg Permit No. 9709). The footprint of these buildings is noted as Area 1 and Area 2 on the project plans. In 1991-1992, extensive renovations were done to the project site with improvements to the existing buildings and the addition of two structures noted on the project plans as Area 3 and Area 4 (Bldg Permit No(s). 90-2866, 90-3076, 91-1737, 91-2276 & 91-1659).

While the *Press Courier* Building is located at a strategic location within the Central Business District and is easily identifiable, the *Downtown Oxnard Historic Resources Survey* determined that the building was ineligible for historical status because it *"lacks sufficient integrity of design, setting, workmanship and materials..."*

- 5) Environmental Determination:** In accordance with Section 15332 of the California Environmental Quality Act (CEQA) Guidelines, projects *"characterized as in-fill development"* may be found to be exempt from the requirements of CEQA. Therefore, staff has determined that there is no substantial evidence that the project may have a significant effect on the environment and recommends that Planning Commission accept the Notice of Exemption (see Attachment C).

6) Analysis:

a) General Discussion: The redevelopment of identified infill areas and the adaptive reuse of existing structures are key elements to the City’s 2020 *General Plan* and the *Downtown Strategic Plan* as they relate to economic revitalization, a diversity of housing stock, and the conservation of natural resources. The existing buildings at the project site were originally built to house a newspaper printing press, the associated offices, and distribution facility. These buildings and the site, as a whole, can not easily be converted to any other use. As a result, once the newspaper operation went out of business the site has been underutilized.

The improvements for the proposed use include retaining the existing walls, structural beams, and roof trusts while installing new floor joists and removing ceiling panels in certain areas to create varying residential levels in the buildings’ shells. Removing ceiling panels at the center of the Area 1, Area 2, and Area 3 allows the creation of courtyards. Stairwells will be added to the outside of the buildings to providing access to upper floor residential units. Numerous exterior windows, balconies, and other architectural enhancements are added to the building shell. The existing driveway and parking lot are upgraded to accommodate a new private drive, parking bays, carports, open parking, an outdoor activity area and tot lot, a half-court basketball court, and landscaping.

b) General Plan Consistency:

POLICY	DISCUSSION
<p><i>Growth Management Element</i> <i>‘policies consist of two general categories. The first category defines “where” the development will occur and the second defines “how” and “when” the development will proceed.’</i></p> <p><i>‘The Oxnard City Urban Restriction Boundary (CURB) sets the primary self-imposed demarcation for the urbanization of the City. The City’s Sphere of Influence identifies the probable ultimate physical boundary of the City. Greenbelt Agreements, such as the Save Open Space and Agricultural Resources (SOAR) initiative, designate portions of the planning area that shall remain in agriculture. Annexation of unincorporated areas coordinates development between the City of Oxnard and the County.’</i></p>	<p>The project is within the CURB and is in the CBD. The CBD is designated as an “in-fill” project area by the 2020 General Plan. <i>“First priority for development is assigned to those areas necessary to “round out” or “fill in” the boundaries of existing partially developed neighborhoods and infill properties for which public services are already present or can be readily provided at the expense of the developer (page IV-21).”</i></p> <p>Therefore, the project complies, to the highest degree possible, with the 2020 General Plan’s Growth Management Policies in that it is in an area designated for urban infill and adequate City services are already in place. Furthermore, by concentrating residential development in the City’s downtown core the project reduces pressure to develop outside of the CURB.</p>

<p>(Growth Management cont.) <i>'Phasing priorities for residential projects are established. First priority for development is assigned to infill properties for which public services are readily available. Second priority is assigned to Specific Plan Areas for which infrastructure has been or will be planned. Third priority is assigned to all or portions of Specific Plan Areas which, due to their size require special planning consideration (pages IV-18 thru IV-22).'</i></p>	
<p>Land Use Policy # 1 identifies the Downtown Area as an Infill Modification Area where minor modifications to land uses need to be considered (page V-24).</p>	<p>In addition to being in the CBD, the project is within the Central City Revitalization Project (CCRP) redevelopment area. The City of Oxnard established redevelopment areas to encourage reinvestment and rehabilitation of properties within these areas. By rehabilitating the industrial facility into a mixed-use residential/office complex, the project embraces redevelopment objectives. To adapt the site several deviations from the development standards are necessary to achieve the highest and best use.</p>
<p>Transportation/Circulation Policy #13 states; <i>"The City shall adopt standards for and encourage mixed residential and nonresidential uses in office and commercial zones."</i></p>	<p>The CBD has adopted standards to allow mixed residential and nonresidential uses. The project complies with these standards. By permitting a residential project adjacent to office and retail uses, walking and riding bicycles is encouraged. By permitting residential uses adjacent to shopping and job opportunities project related vehicle trips are reduced and traffic impacts are minimized.</p>
<p>Open Space/Conservation Policy #38 states; <i>"The City should maintain a historical resource inventory and prohibit demolition or alteration of historical buildings or properties unless they are declared unsafe or unless proper notice has been given consistent with City ordinances (page VIII-54)."</i></p>	<p>The site is part of the Downtown Oxnard Historic Survey though it is not considered to have significant historical value that needs protection: <i>"Although the property is significant as the final location of Oxnard's principal daily newspaper... the building was substantially altered and expanded in several phases...and consequently lacks sufficient integrity of design, setting, workmanship, and materials..."</i></p>
<p>Community Design Policy #8 states; <i>"The City shall continue and formalize in area plans the architectural design themes established in visually distinctive areas of the City, including the activity nodes and the Cultural Heritage District.(page XII-7)"</i></p>	<p>As a discretionary project within the CBD, the project was reviewed by both the Downtown Design Review Committee (DDRC) and the Development Advisory Committee (DAC). The project architect worked closely with the DDRC and DAC to incorporate design themes that are compatible with the architecture of the CBD.</p>

c) Conformance with Zoning Development Standards: The proposed development is located in the Central Business District (CBD) zone district. In accordance with the City Code, the proposed residential and office condominiums may be permitted with a special use permit and a tract map. Applicable development standards of the Central Business District zone and the Attached Dwelling Units section of the City Code have been compared with the proposed project, as follows:

Zoning Standards			
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Min. lot area	None	2.18 acres	YES
Min. lot width	None	179 feet at narrowest	YES
Min. lot depth	None	195 feet at narrowest	YES
Max. building height	48 feet, additional 25% height increase may be approved via SUP. Additional 15 feet for non-habitable architectural features allowed.	49 feet to top of stairwell enclosure.	YES
Front setback	Mixed use/residential shall be 10 feet unless an alternative is approved by SUP.	Zero	YES (existing situation)
Min. unit size	450 sq. ft.	450 sq. ft.	YES, as conditioned
Density	39 units per acre	21 units per acre	YES
Garage parking	7 one-bedroom units (1 garage stall/unit) = 7 garage stalls + 39 two & three-bedroom units (2 garage stalls/unit) = 78 garage stalls 85 garage stalls total	66 spaces provide in parking bay lifts + 19 carports <hr/> 85 covered spaces	Yes, with approval of SUP [see section e) in the analysis portion of this staff report].

Zoning Standards			
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Guest parking	1 guest space for 1 st 30 units + ½ guest space for remaining 30 + (1/2 X 16) = 38 spaces	5 short-term spaces in front of gates + remaining 33 spaces on street Project to pay into City fund to provide diagonal parking along eastern side of B Street to increase the amount of street parking available in the area (see condition 168).	Yes, with approval of SUP [see section e) in the analysis portion of this staff report].
Office parking	6,000 sq. ft./250 (1 space/250 sq. ft.) = 24 parking spaces	4 carport spaces + 10 spaces behind gates + remaining 10 spaces to be provided on-street	Yes, with approval of SUP [see section e) in the analysis portion of this staff report].
Parking location	Garages and parking behind building	Garages and parking behind building	YES
Interior yard space	15% with a minimum dimension of 15 feet excluding parking and circulation area	16% with a minimum dimension of 15 feet excluding parking and circulation area	YES, as conditioned
Trash enclosures	In accordance with City Code, number and size to be determined by Solid Waste Division. Enclosures should be integrated into the project's design	Trash enclosures have been designed in accordance with City Code and are designed to blend into the architectural theme of the project.	YES
Parking lot landscaping	Landscape fingers required every 10 spaces.	Landscape fingers or end-planters are provided at least every 10 spaces.	YES
Rooftop equipment	May not protrude above height of parapet.	All equipment is screened from view and setback from the edge of the parapets.	YES

Zoning Standards			
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Lighting	Theme-coordinated & decorative	Wall mounted fixtures & acorn street standards	YES
Bicycle Rack	Not required	Bike rack provided at building entrance	YES
Parking Lot Striping	City Standard	City Standard	YES
Loading zone	One 12'X40' loading zone	Yellow curb in front of the building on Ninth Street (36 feet in length)	Yes, with approval of SUP [see section e) in the analysis portion of this staff report].
Architecture	<ul style="list-style-type: none"> • Emulate existing Downtown • Treatment on all sides • Muted colors w/contrasting accent • Preserve existing architectural details 	<ul style="list-style-type: none"> • Existing buildings maintained w/emphasis on enhancement instead of replacement • All sides treated • Colors reviewed by DDRC and DAC • Existing buildings maintained 	YES
Attached Dwelling Standards			
Recreational Facilities	Common recreational facilities	Tot lot with playground equipment, outside seating w/BBQ, common courtyard w/BBQ, two community rooms	YES
Open Area	Minimum 2,500 sq. ft. turf area with a minimum dimension of 35'X35'.	1,000 sq. ft. paved area w/basketball half-court	Yes, with approval of SUP [see City Code Section 16-445].

Zoning Standards			
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Distance of Parking from Dwelling Unit	200' Maximum	<200'	YES
Balconies and Patios	2 nd and 3 rd story units must have a balcony of 100 sq. ft. and they must be 50% enclosed	One second floor unit does not have a balcony.	Yes, with approval of SUP [see City Code Sec. 16-445].
Storage Areas	225 cubic feet for each dwelling unit	225 cubic feet minimum for each dwelling unit	YES
Garages	Automatic door openers & doors must have architectural detail	Automatic door openers & doors have architectural detail	YES
Refuse enclosures	Must reflect design elements of project & provide access separate from refuse vehicle access	Reflect design elements of project & provide access separate from refuse vehicle access	YES
Utility Meters	Screened or integrated into building design	Utility plan provided illustrating screening	YES

Zoning Standards			
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Downtown Strategic Plan South of Seventh Street District <i>Development Strategies and Recommendations</i>			
Streetscape	Streetscape around Heritage Square to be used as a model.	Project to pay into City fund to provide diagonal parking along eastern side of B Street to increase the amount of street parking available in the area (see condition 168).	YES
New street lighting	Remove existing cobra-head lights and introduce pedestrian scale lighting	Acorn street lights to match Downtown lighting plan in front of project.	YES
Architectural Character	<ul style="list-style-type: none"> • Distinct identity • Ties into street-scene • Interesting facades with shadow lines 	<ul style="list-style-type: none"> • Unique • Stoops at Area 1 and pedestrian entrances on Ninth Street • Balconies and architectural enhancements added to façade 	YES

In accordance with Section 16-445 (Planned Residential Groups) of the City Code, the applicant is requesting a deviation from the attached dwelling unit standards (Section 16-362) in the following areas:

1. A 1,000 square foot half-court basketball/recreational area with a 27 foot by 37 foot dimension is proposed instead of the required 2,500 square foot turf area with a 35 foot minimum dimension.
2. Unit S-1 in Area 2 is a second floor flat that does not provide a private balcony or patio.
3. 13 of the residential units will be parked in carports instead of enclosed in garages.

d) Site Design: The L-shaped property is 2.18 acres and fronts Ninth Street to the north and a public alley to the west. The four existing industrial buildings that are proposed to be adapted to residential use are situated along the northern and western property lines. The site is proposed to be gated. Thirty-three (33) parking bay lifts and a storage building are proposed to be constructed along the eastern and southern property lines.

- e) **Circulation and Parking:** The gated entry is located at the northeast corner of the property at Ninth Street. Only residents, office employees that work on-site, and emergency vehicles would have access to the property. The entry gates open through a remote sensing device. Guests would be directed to park on the adjacent public streets (see condition No. 80). A two-way drive aisle passes through the site with the residential buildings on one side and parking bays on the other. The private drive has an exit to a public alley at the southwest corner of the property. Only emergency vehicles would be allowed to enter through the southwest corner gate.

Resident Parking

Thirty-three (33) individually enclosed parking bays with vehicle lifts are proposed to satisfy the parking requirements for 33 of the two and three-bedroom units. Each parking bay has an automated lift that allows a vehicle to pull in and then be lifted up so that another car can pull in and be parked below. This results in 66 parking stalls utilizing the lift system. The lifts are operated with a key system from outside and the lift can not be lowered if a vehicle is parked below to ensure that the operator is safely out of the lift area. The enclosed bays are designed with sufficient clearance and have a large enough wheel base to comply with the City of Oxnard's garage construction standards (10'-6" wide X 20" deep w/ 7' minimum vertical clearance for each parking space). While the enclosed parking lift system is not conventional, the Planning Commission is requested to consider this as a tandem parking configuration which requires the approval of a special use permit [see 16-152(G) (3) of the City Code]. Resident parking for the remaining six two-bedroom units and the seven one-bedroom units is proposed in carports which are part of the planned residential group request considered by the Planning Commission. As a condition of approval, a landscape planter at the westerly row of parking within the project site will be removed to make room for one additional parking space (see condition no. 90).

Visitor and Office Parking

The applicant also proposes five parking spaces outside of the project gates along Ninth Street for guest and short term parking. Parking in these five parking spaces will be limited to a maximum of 60 minutes and the stalls will be posted so that these spaces are made available for deliveries and short visits (see condition no. 79). On-street parking is proposed to satisfy the remaining 33 guest parking spaces. According to City's parking requirements, the 6,000 square feet of proposed office space requires 24 parking spaces (1 space/250 sq. ft.). The applicant is proposing to provide 4 spaces in carports and 10 open parking stalls for the office use. The applicant is proposing to utilize on-street parking to satisfy the 10 remaining spaces required for the office space. The proposed office use requires a loading zone; therefore, the project is conditioned to provide 36 feet of curb in front of the building at Ninth Street between the cross walk and the curb return to be painted yellow for commercial deliveries (see condition No. 169). As part of the SUP, the Planning Commission may modify the loading zone requirement of 40 feet in length based on the nature of the anticipated use. Staff has conditioned the project requiring a loading zone with a reduced length of 36 feet for the anticipated office uses to be provided in front of the building on Ninth Street.

On-Street Parking

Redevelopment of the site creates unusual challenges to the site planning for the project. As proposed, the project is deficient in on-site code required parking by 42 spaces. The project has been conditioned to remove one landscape finger to provide one additional parking space, resulting in a shortage 41 parking spaces (see condition no. 90). To address this shortage, the applicant proposes to utilize a combination of off-street and on-street parking. The CBD zone allows this provided that the on-street parking is immediately adjacent and contiguous to the property line [Section 16-152(G) (1)]. A Parking Demand Study was prepared for the project by Penfield & Smith (dated December 10, 2007) indicates that there is not sufficient on-street parking contiguous to the property line on Ninth Street to account for the project parking requirements. However, the study found that there is ample parking within 250 feet of the project site along Ninth and B Street to compensate for this shortfall. To ensure that the proposed project does not create a parking shortage for other uses in the area, a condition of approval has been placed on the project requiring the developer pay into a Community Development Commission fund that will go towards the construction of diagonal parking along the eastern side of B Street to increase the amount of street parking in the area (see condition No.168). The City's Traffic Engineer is supportive of the proposed on-street parking provided condition no.168 of the attached resolution is satisfied and diagonal parking along the eastern side of B street is ultimately provided by the Community Development Commission to match the parking arrangement adjacent to Heritage Square. The Planning Commission must make the finding that the project meetings the parking provisions, as they relate to the Central Business District, and approve the proposed mix of onsite and on-street parking [Section 16-152(G)(2)].

- f) **Building Design:** Area 1 housed the *Press Courier* offices and is single-story. The proposal for this area is defined by an inner courtyard surrounded by 15 residential flats. The courtyard has a common keyed entry at the northeast corner and each of the 15 units has their principal entry taken from the courtyard. The courtyard is open to the sky with the exception of structural trusses which span overhead to support buildings roofing. The courtyard has landscaping, a common BBQ area, and seating. The five units facing Ninth Street have a secondary door with a stoop added to activate the street scene. Living-room and kitchen windows face the public alley to the west (for safety reasons no bedroom windows open to the alley at the ground level). The four units on the western side of the building have private patio areas facing a common courtyard that separates Area 1 from Area 3. An architectural tower element is added to the northwest corner to add interest and the building would be painted "Honey Glow" with "Concord Jam" purple trim.

Area 2 housed the *Press Courier* printing press equipment and is a single-story structure with a 40-foot high ceiling. Four floors are proposed to be installed in this structure resulting in nine units. Two units are flats and seven units have two stories. The bottom floor units have living room and kitchen windows facing the alley to the west and private patios on the east side of the building. Juliet balconies facing the alley are added to the upper units. A catwalk and eaves are added to the upper floors on the east side. The four units that occupy the third and fourth floor enjoy private rooftop decks. The ground floor units have private entries on the eastern side of the building. A metal-paneled stairwell with shared key access is added to the rear of the building for upper floor access. This building would be painted "Pecan Veneer" with "Rainy Lake" blue trim.

Area 3 also housed *Press Courier* printing press equipment and has a 34-foot high ceiling on the western section of the building and two floors of equipment rooms and offices on the eastern section. The building has a basement that served as an ink-well and equipment room. The applicant proposes 6,000 square feet of office space and 1,831 square feet of storage for the residents in the basement. Fourteen residential units and two community rooms are proposed in the three floors added above the basement area. To bring in natural light and ventilation, the building is retrofitted to allow an open air courtyard that extends down to the first floor level. The courtyard is open to the sky with the exception of a roof truss system that spans across the opening. A glass-enclosed stairwell is added to the front of Area 3 facing Ninth Street. This building would be painted "Hidden Hills" green with "Red Revival" trim.

Area 4 was the warehousing and distribution facility for the *Press Courier* newspaper and has a loading dock on the eastern side. It is a single-story structure with a 26 feet high ceiling. The proposal for this area is defined by an open air courtyard surrounded by eight residential units. This courtyard joins the courtyard in Area 3 thereby creating a T-shape common area shared by the residents of both Areas 3 and 4. Bay windows are proposed for the units facing Ninth Street to create shadow lines and interest. Eaves and a private balcony are added to the rear of the building. Private rooftop decks are proposed for each of the units in Area 3. A keyed common entry is proposed on the east side of the building. This building would be painted "Ash Hollow" brown with "Stately Stems" green trim.

The Modern architectural theme of the *Press Courier* building is being maintained and enhanced through the renovation process. Contemporary elements are added to the project through the glass enclosed stairwell, balconies, bay windows, eaves, and rooftop wind screens associated with the rooftop balconies. Each of the four buildings would be painted in distinct colors and are designed with distinct architectural elements to distinguish the individual structures. In addition, a stainless steel cable railing system is added to the edge of the roofs to enhance the existing parapets and tie the buildings together.

- g) Signs:** The Downtown Design Review Committee reviewed the proposed identification signs and approved of their design. A sign permit must be issued prior to the installation of the identification signs to assure that they comply with the Downtown Design Review Committee's approval and the City Code. Signs for the proposed office space are not considered at this time and must be reviewed by the Downtown Design Review Committee prior to issuance.

- h) Landscaping and Open Space:** As conditioned, the project meets the City Code requirements for landscaping and open space. Fifteen percent of the project site must be maintained as interior yard space (IYS) with a minimum dimension of 15 feet by 15 feet. The project has been conditioned to remove the two motorcycle parking stalls and the non-conforming "temporary parking space" from the landscaped area the center of the site so that this area may count towards the required 15% IYS as shown on the provided Open Space Diagram (see condition no. 91). The public right-of-ways that are adjacent to the site will be improved to match the streetscape design guidelines outlined by the Downtown Strategic Plan. As a condition of approval, the developer is paying into a Community Development Commission fund that will go towards improving the eastern side of B Street to match the design of the streetscape that is adjacent to Heritage Square (see condition No.168).
- i) Quimby, School Fees, Traffic Impact Fees, and Art in Public Places:** As a residential project, the developer must pay a Quimby fee to off-set the project's effect on local parks. School fees to the Oxnard High School District and Oxnard Elementary School District are required to off-set the project's effects on local schools. Traffic Impact fees are required to off-set effects on local and County roads. Additionally, the project must pay into the Art in Public Places fund. All of these fees will be calculated at the time of building permit issuance based on adopted formulas.
- j) Affordable Housing:** On February 20, 2008, the Community Development Commission granted a request to pay an in-lieu affordable housing fee for the project. Based on the developer's estimate, 43 of the units would be priced between \$231,000 and \$463,000 and three of the units would be priced between \$530,000 and \$662,000. The in-lieu payment would be \$5,000 for the 43 lower priced units and \$5,500-\$6,000 for the three higher priced units for a total estimated payment of \$233,000. This payment will be re-assessed at the time of building permit issuance.
- 7) Downtown Design Review Committee (DDRC) Consideration:** The Downtown Design Review Committee (DDRC) first reviewed the project on October 11, 2007 and recommended several changes. Prior to going back to the DDRC the project was reviewed by the Development Advisory Committee. The applicant redesigned the project according to both DDRC and DAC recommendations. The project's design ultimate design was approved by the DDRC on November 30, 2007.
- 8) Development Advisory Committee Consideration:** The Development Advisory Committee (DAC) reviewed this project on October 24, 2007 and November 28, 2007. Significant changes were made to the project's architecture and floor plan based on DAC input including the elimination of residential units in the basement area of Area 3 and eliminating bedrooms facing the alley on the ground floors of Areas 1 and 2. The DAC recommended conditions in the attached resolution.

9) Community Workshop: The proposed project was put on the agenda for the November 19, 2007 Community Workshop. The Applicant mailed notices to Hobson Park East Neighborhood and posted the site for the Community Workshop on November 9, 2007. Four people attended the workshop for this project. One attendee spoke in favor of the reuse of the vacant buildings.

10) Appeal Procedure: In accordance with Section 16-545 of the City Code, the Planning Commission's decision may be appealed to the City Council within 18 days.

Attachments:

- A. Maps (Vicinity, General Plan, Zoning)
- B. Reduced Project Plans
- C. Notice of Exemption
- D. Parking Demand Study Prepared by Penfield and Smith
- E. Special Use Permit Resolution
- F. Tentative Subdivision Map Resolution

Prepared by: <u>WW</u> WW
Approved by: <u>SM</u> SM

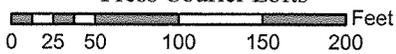
Attachment A:

Maps (Vicinity, General Plan, Zoning)



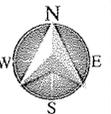
Oxnard Planning
October 11, 2007

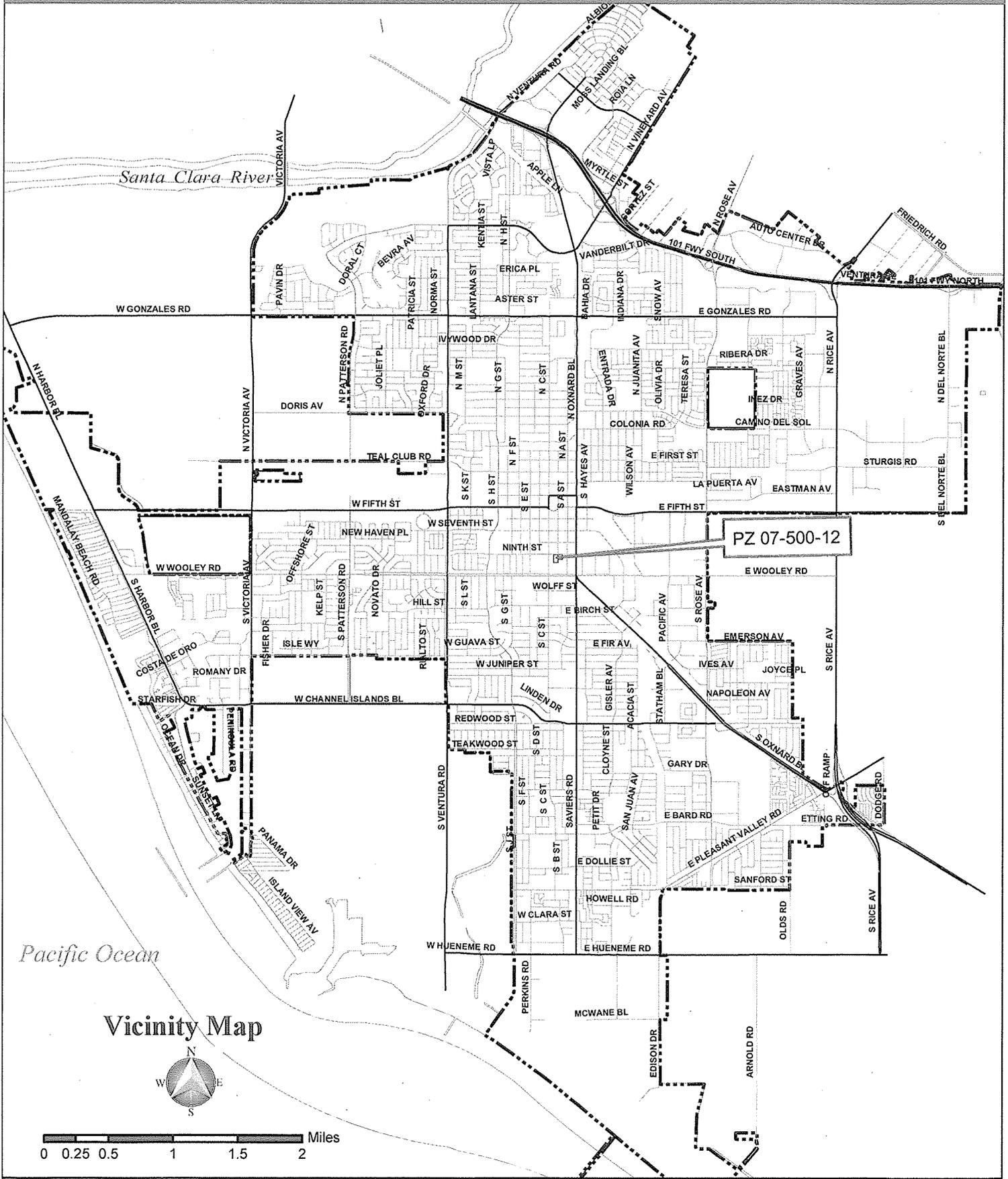
PZ 07-500-12, PZ 07-300-12
Location: 301 W Ninth St
APN: 202019137, 202019139
Press Courier Lofts



Aerial Map

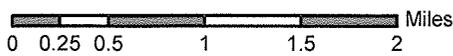
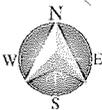
2003 Aerial





PZ 07-500-12

Vicinity Map



Oxnard Planning
October 11, 2007

PZ 07-500-12, PZ 07-300-12
Location: 301 W Ninth St
APN: 202019137, 202019139
Press Courier Lofts

S D ST

EIGHTH ST

RLM

S C ST

S B ST

NINTH ST

SCH

CBD

CBD

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S A ST

W WOOLEY RD

W WOOLEY RD

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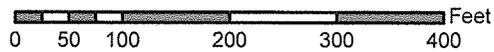
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October 11, 2007

PZ 07-500-12, PZ 07-300-12
Location: 301 W Ninth St
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Press Courier Lofts



General Plan Map



EIGHTH ST

S C ST

S B ST

NINTH ST

R2

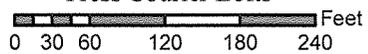
S A ST

W WOOLEY RD

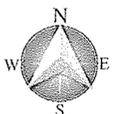
EASEMENT/ROW

S C ST

PZ 07-500-12, PZ 07-300-12
Location: 301 W Ninth St
APN: 202019137, 202019139
Press Courier Lofts



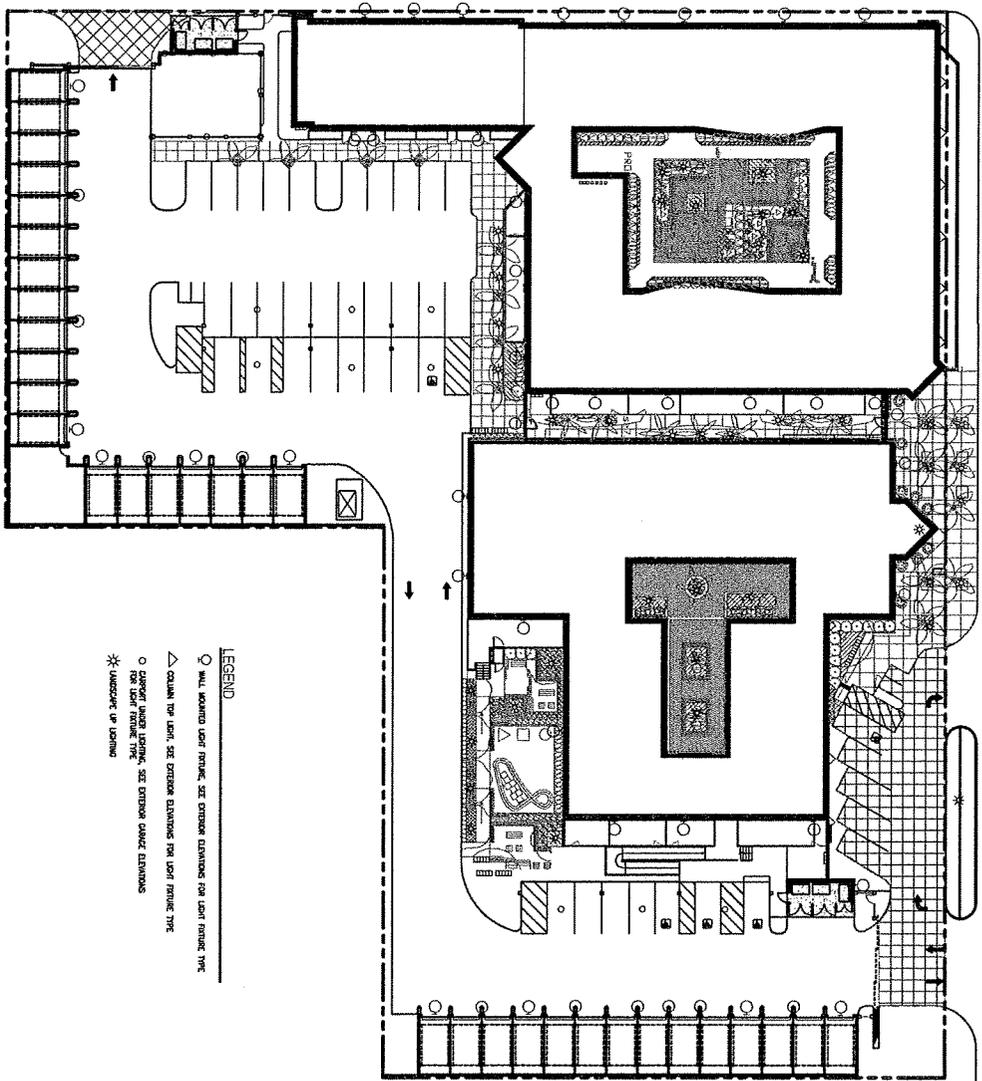
Zone Map



Oxnard Planning
October 11, 2007

Attachment B:

Project Plans



- LEGEND**
- WALL MOUNTED LIGHT FIXTURE, SEE EXTERIOR ELEVATIONS FOR LIGHT FIXTURE TYPE
 - △ COLUMN TOP LIGHT, SEE EXTERIOR ELEVATIONS FOR LIGHT FIXTURE TYPE
 - COLUMN BASE LIGHT, SEE EXTERIOR ELEVATIONS FOR LIGHT FIXTURE TYPE
 - * LANDSCAPE UP LIGHTING

SITE LIGHTING

PRESS COURIER LOFTS

RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

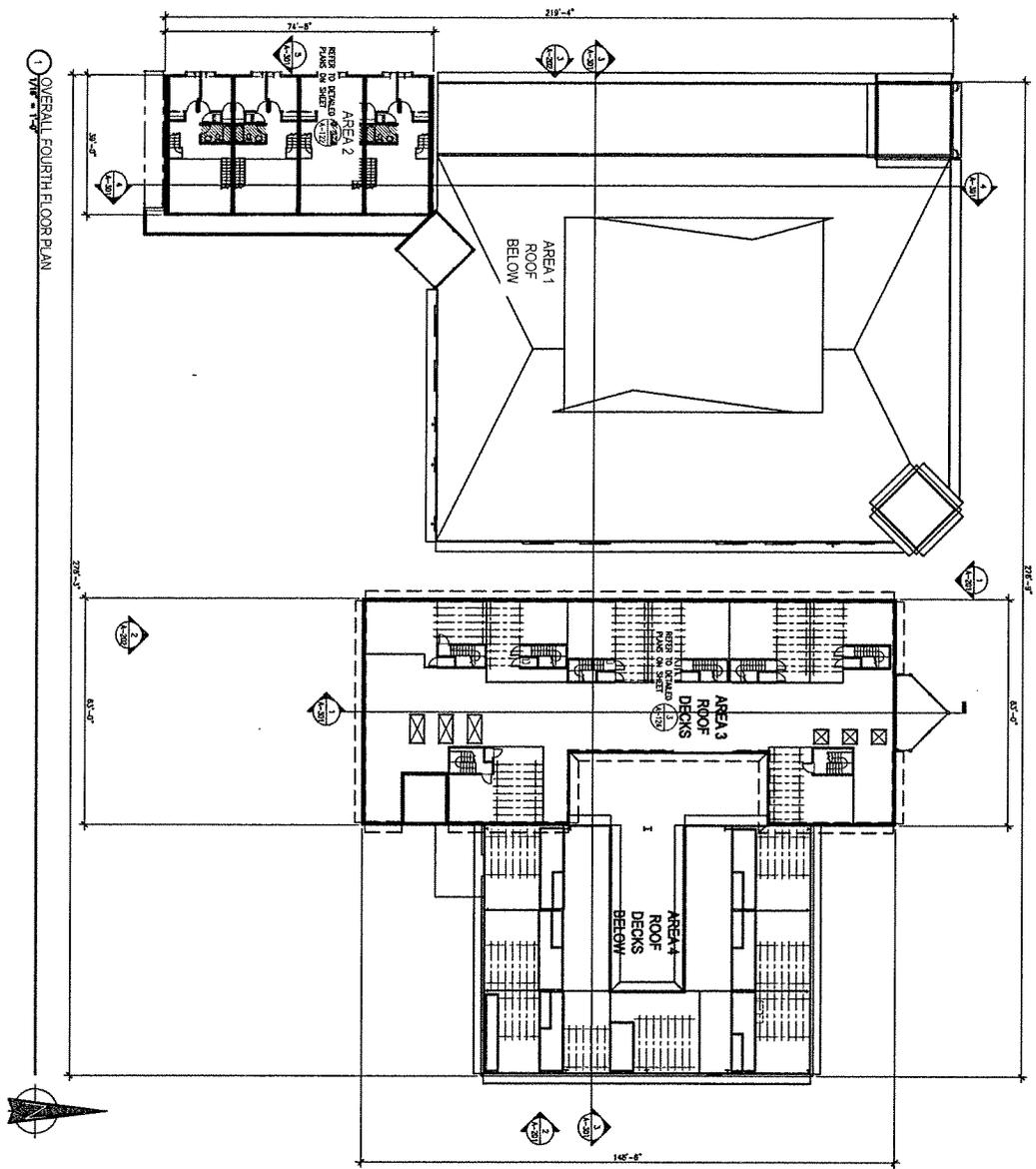
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DATE: 08/14/07
 BY: M. PETTIT
 CHECKED: M. PETTIT
 PROJECT: 07-00461

Press Courier Lofts, LLC.

221 STATE BLVD. SUITE 117 OXNARD, CA 93030

Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS + INC.



1 OVERALL FOURTH FLOOR PLAN

- LEGEND**
- DIRT STRIP
 - GROSS MASONRY
 - STAIRING AND ELEVATION AT STAIRS
 - GAS WATER
 - WATER HEATER
 - ELECTRICAL PANELS (FOUNDED FOR EACH UNIT)
 - WATER METER
 - MECHANICAL ROOM
 - MECHANICAL ROOM
 - MECHANICAL ROOM

PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

FLOOR PLANS - OVERALL

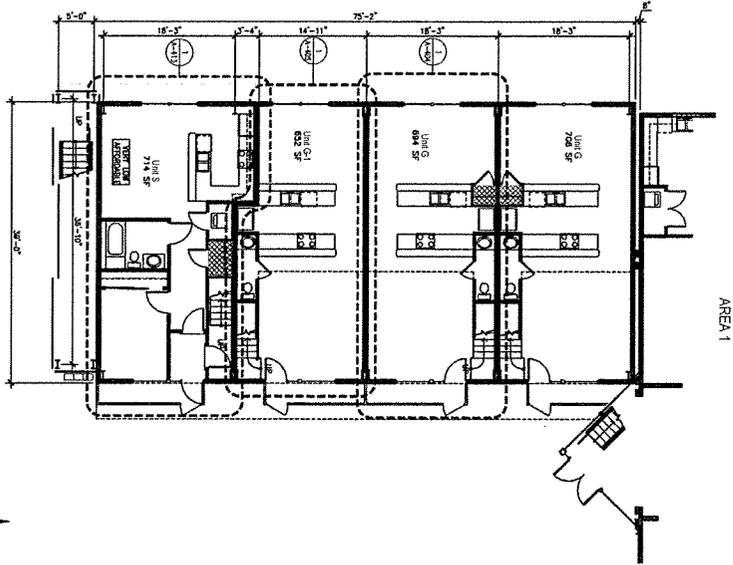
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DATE: 11/11/2009
 TIME: 11:00 AM
 PROJECT: PRESS COURIER LOFTS
 SHEET: A-114
 DRAWN BY: J. SMITH
 CHECKED BY: M. SMITH
 PLOT NO.: 20-070401

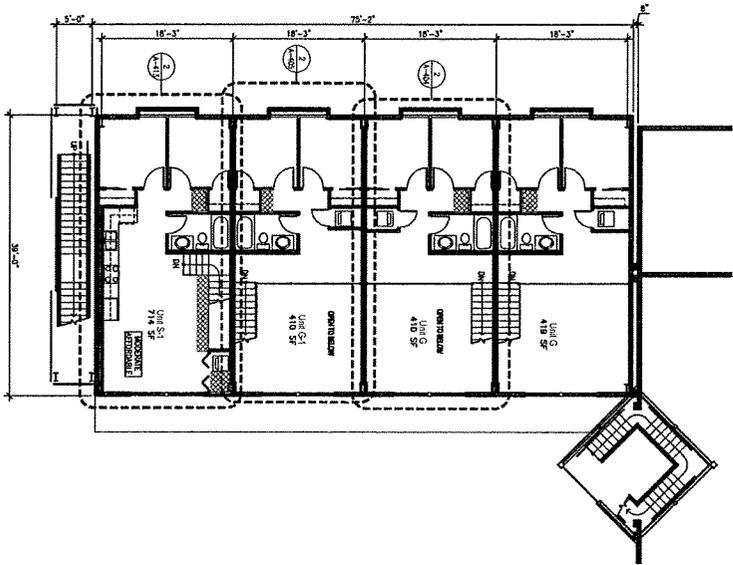
Press Courier Lofts, LLC.

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LAUTERBACH & ASSOCIATES
 ARCHITECTS & INC.

2201 STANWELL BLVD. SUITE 117, OXNARD, CA 93030



1 AREA 1 - FIRST FLOOR PLAN



2 AREA 2 - SECOND FLOOR PLAN

GENERAL NOTES
 UNITS SHOWN IN SIZE BASED ON STRUCTURAL
 LOCATIONS (CHECK SCHEDULE FOR DETAILS)

PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

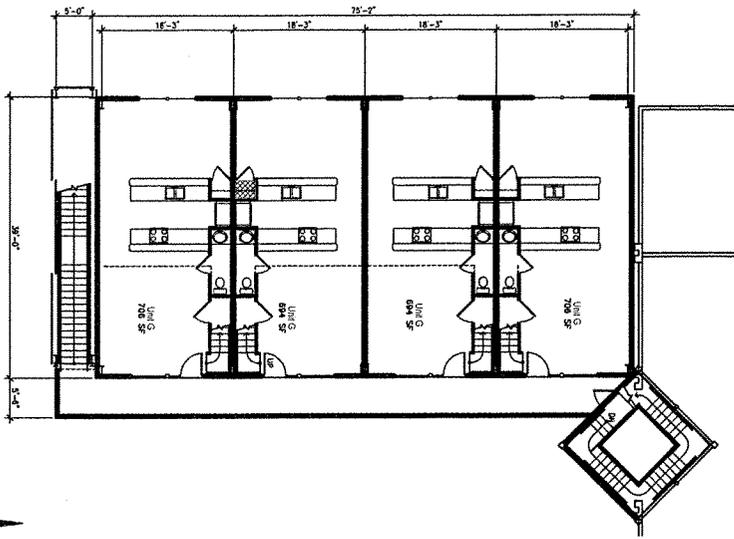
FLOOR PLANS - AREA 2

A-121

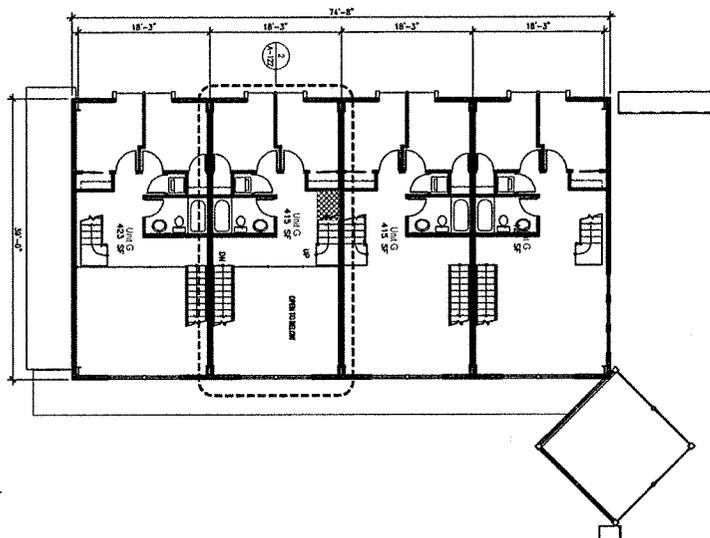
DATE: 11/17/2009
 DRAWN BY: J.S.
 CHECKED BY: M.S.
 PROJECT NO.: 09-0001
 SHEET NO.: 11

Press Courier Lofts, LLC.
 2011 STATEWAY BLVD., SUITE 117, OXNARD, CA 93030

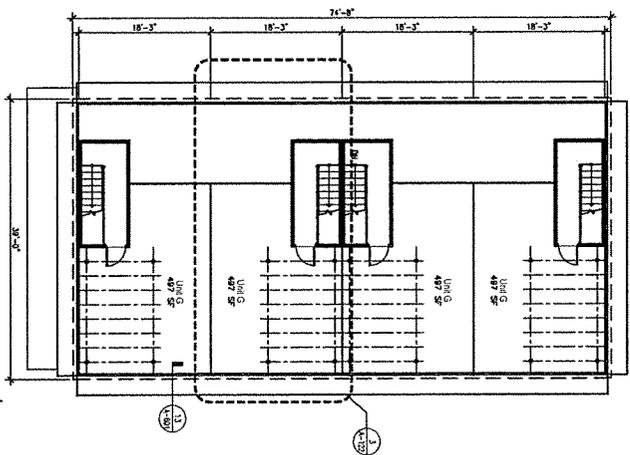
Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS P.C.
 1000 W. NINTH ST., OXNARD, CA 93030
 TEL: 805.325.1100 FAX: 805.325.1101
 WWW.LAUTERBACH-ARCHITECTS.COM



1 AREA 2 - THIRD FLOOR PLAN



2 AREA 2 - FOURTH FLOOR PLAN



3 AREA 2 - ROOF DECK PLAN

GENERAL NOTES
 UNITS SHOWN IN SIZE BASED ON STRUCTURAL
 LOADINGS (CHECK AGAINST THE CODES)

FLOOR PLANS - AREA 2

PRESS COURIER LOFTS

RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

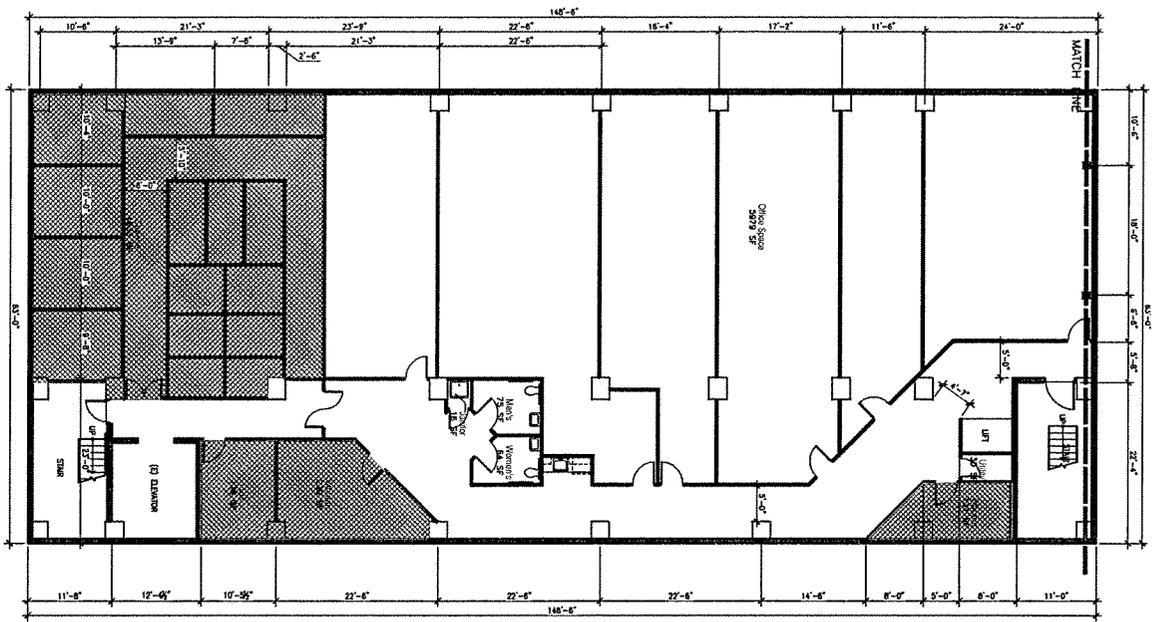
A-122

PROJECT NO. 20-070461
 DATE: 11/15/2020
 DRAWN BY: J. S. PELT
 CHECKED BY: M. S. PELT
 PROJECT MANAGER: M. S. PELT

Press Courier Lofts, LLC.
 221 STATE STREET, SUITE 117, OXNARD, CA 93030

Mark S. Pelt, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS + INC.

1 AREA 3 - GARDEN LEVEL FLOOR PLAN

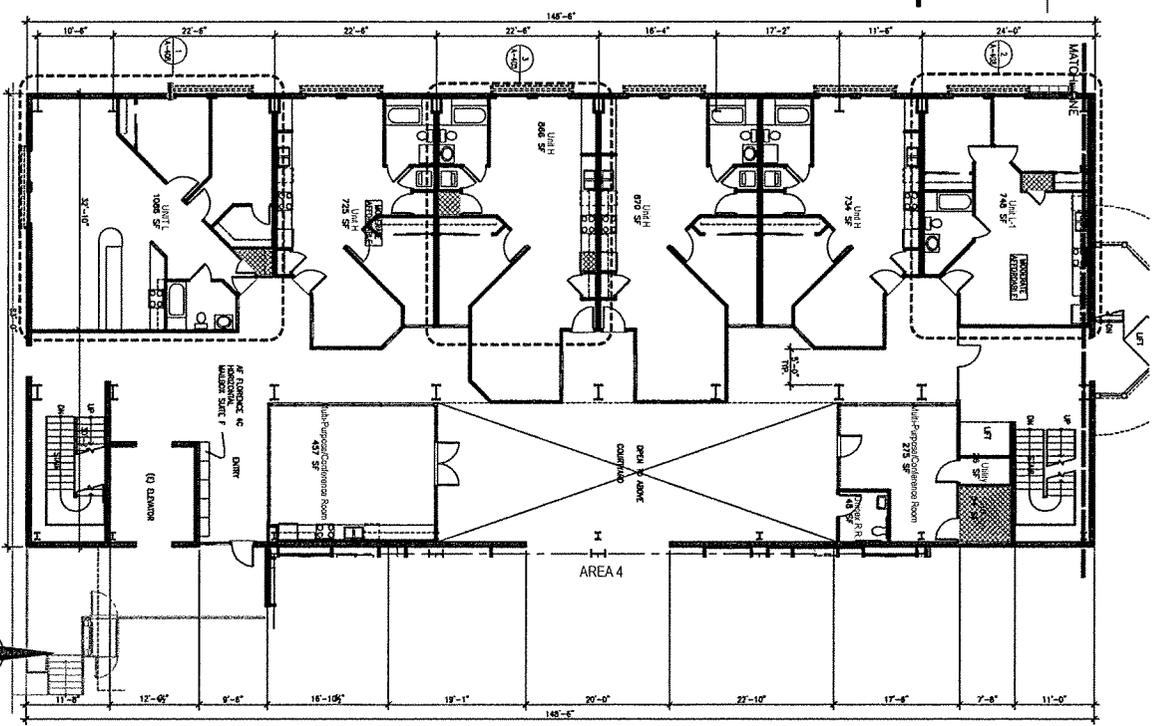


2 ENTRY PLAN AT GROUND LEVEL



GENERAL NOTES
 1. ALL STAIRS SHALL BE STAIRS WITH HANDRAILS.
 2. ALL STAIRS SHALL BE STAIRS WITH HANDRAILS.
 3. ALL STAIRS SHALL BE STAIRS WITH HANDRAILS.

3 AREA 3 - FIRST FLOOR PLAN



FLOOR PLANS - AREA 3

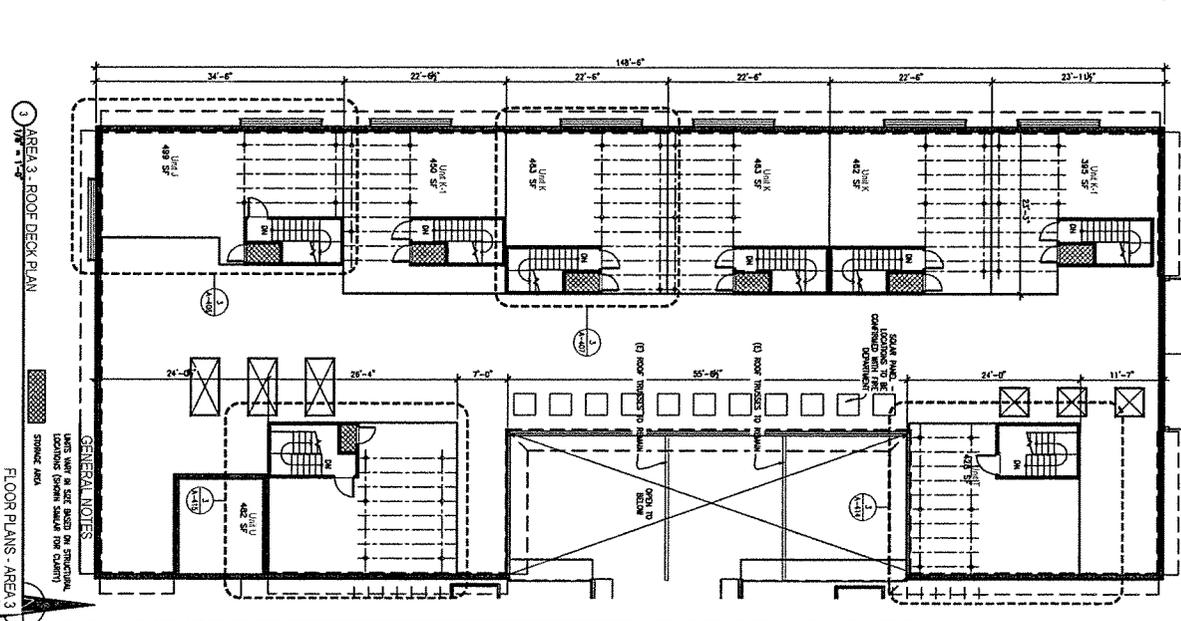
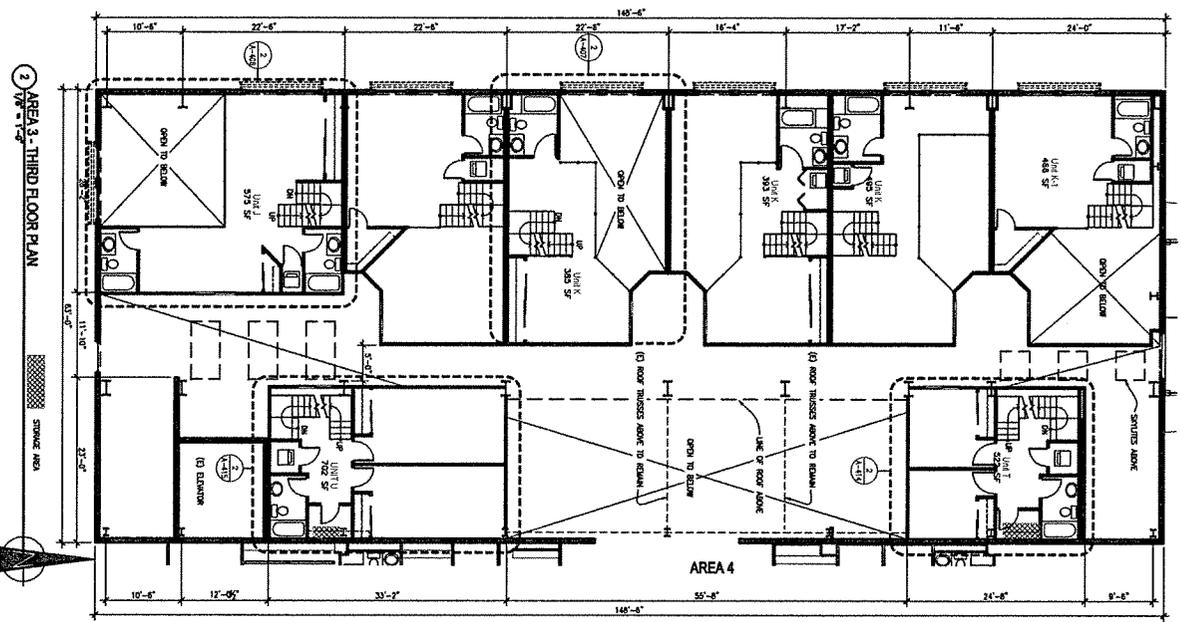
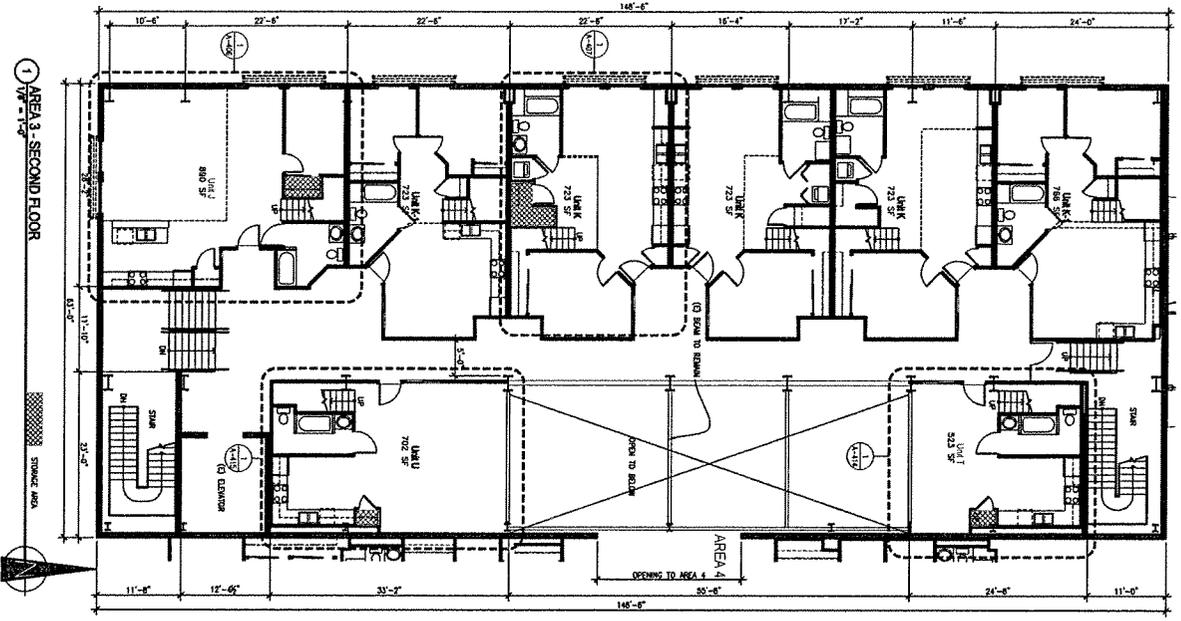
PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OAKLAND, CA 94612

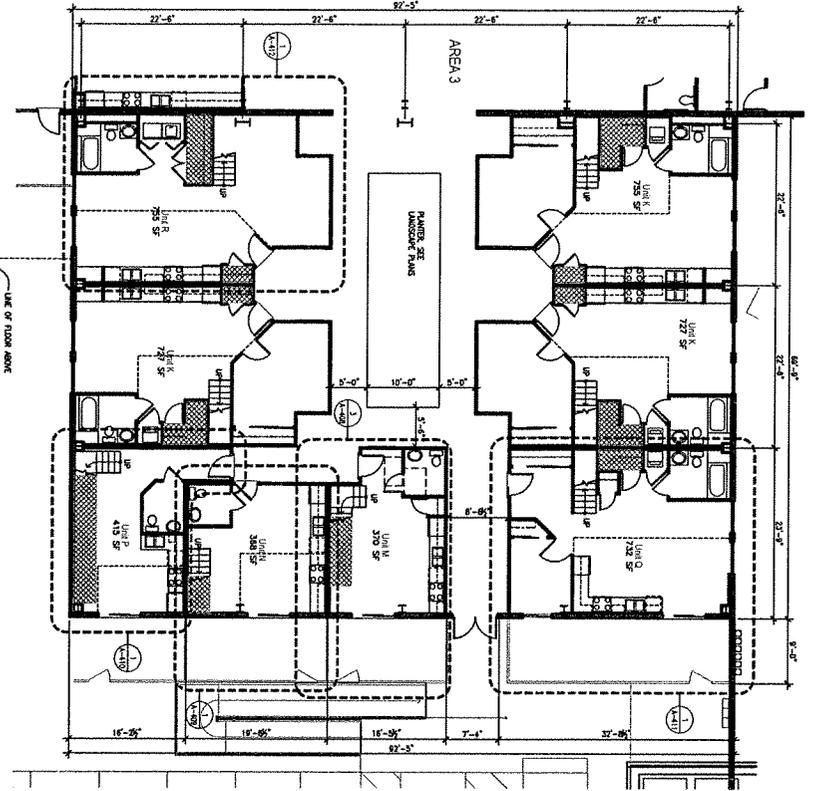
DATE: 01/10/2012
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 CHECKED BY: M. S. [unreadable]
 PROJECT NO.: 20-070401

Press Courier Lofts, LLC.

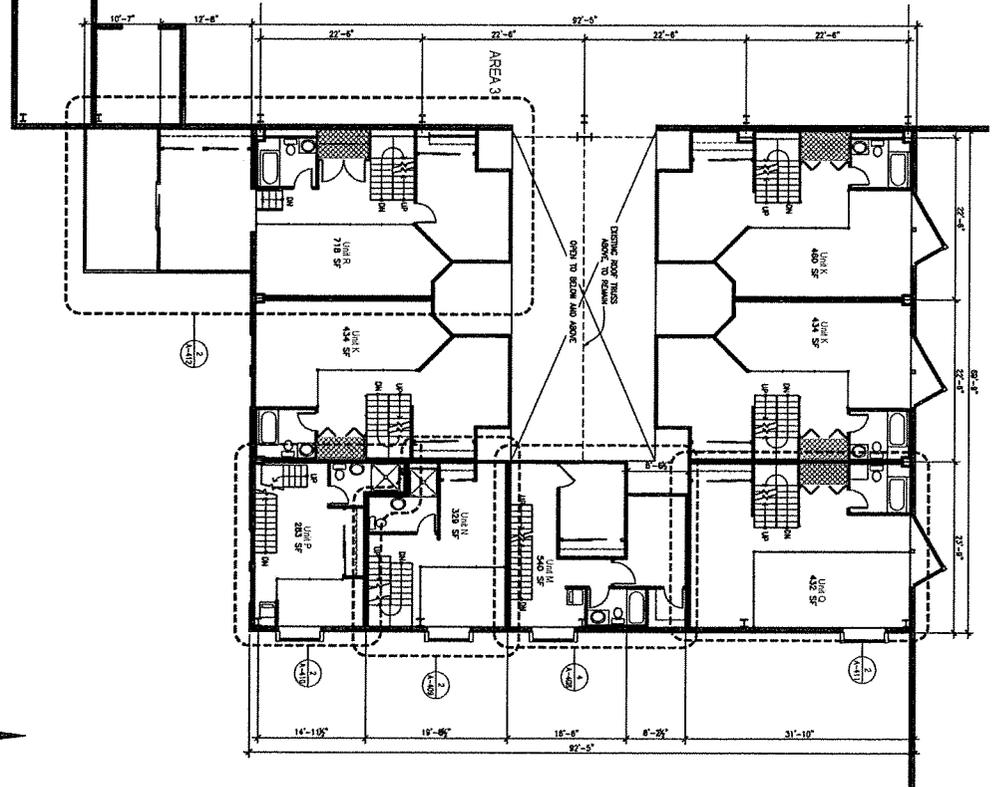
Mark S. Pettit, AIA, NCARB
 LAUTERBACH & ASSOCIATES
 ARCHITECTS, INC.

2011 EAST 9TH AVE., SUITE 111, OAKLAND, CA 94612





1 AREA 4 - FIRST FLOOR PLAN



2 AREA 4 - SECOND FLOOR PLAN



GENERAL NOTES
 UNITS HAVE IN SIZE BASED ON APPROXIMATE
 LOCATIONS (SHOWN SUBJECT TO CHANGE)

FLOOR PLANS - AREA 4
 PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

A-125

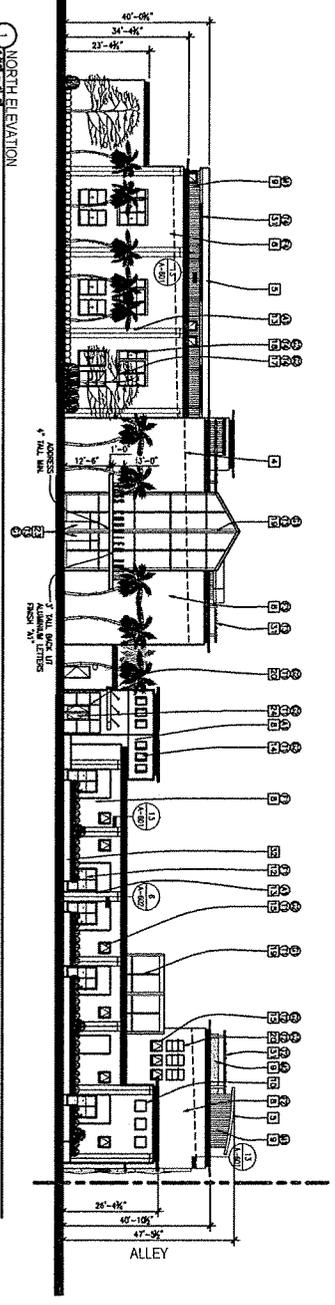
DATE: 11/15/2008
 DRAWN BY: J. SMITH
 CHECKED BY: M. SMITH
 PROJECT NO.: 20070901

Press Courier Lofts, LLC.

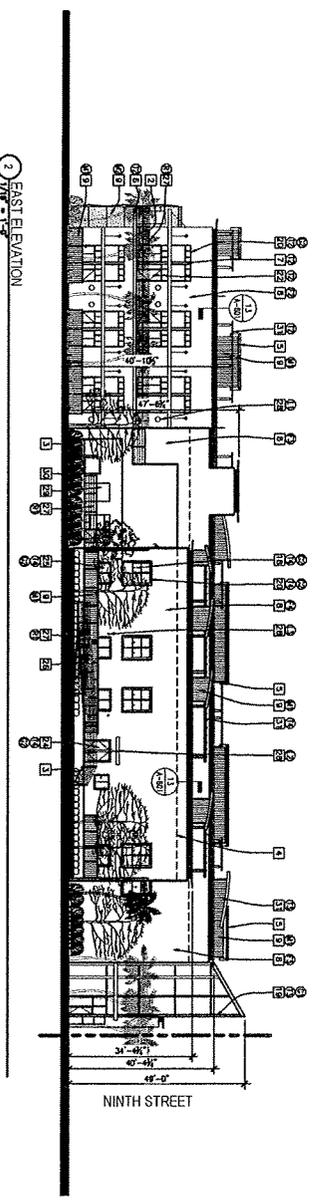
Mark S. Pettit, AIA, NCARB
 LAUTERBACH & ASSOCIATES
 ARCHITECTS & INC.

2201 STATHAM BLVD, SUITE 117, OXNARD, CA 93030

1 NORTH ELEVATION



2 EAST ELEVATION



COLORS AND MATERIALS

1	WOOD FINISH
2	LOWE EXTERIOR PAINT
3	CONCRETE
4	BRICK
5	WOOD FINISH
6	WOOD FINISH
7	WOOD FINISH
8	WOOD FINISH
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100	WOOD FINISH

KEYNOTES

1	BALCONY - ALUM.
2	EXTERIOR WALL - METAL
3	EXTERIOR SIGN - CONCRETE
4	ROOF
5	METAL ROOF
6	STEEL BEAM
7	STEEL POST
8	2" GYM WALL
9	METAL FRAMING
10	ORGANIC - WOOD ABOVE
11	ORGANIC - WOOD
12	COLUMN COVER - METAL
13	WINDOW - RECTANGULAR PICTURE
14	WINDOW - SINGLE WINDOW
15	WINDOW - CLAUDING
16	WINDOW - SINGLE WINDOW
17	WINDOW - SINGLE WINDOW
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97	WINDOW - SINGLE WINDOW
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99	WINDOW - SINGLE WINDOW
100	WINDOW - SINGLE WINDOW

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
 7. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.
 9. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ENVIRONMENT.

PLANNING/DESIGN: 10/12/2010
 ARCHITECTURE: 08/20/2010
 INTERIOR DESIGN: 08/20/2010
 EXTERIOR DESIGN: 08/20/2010
 PLOT: 08/20/2010
 Pkg. No. 20-010401

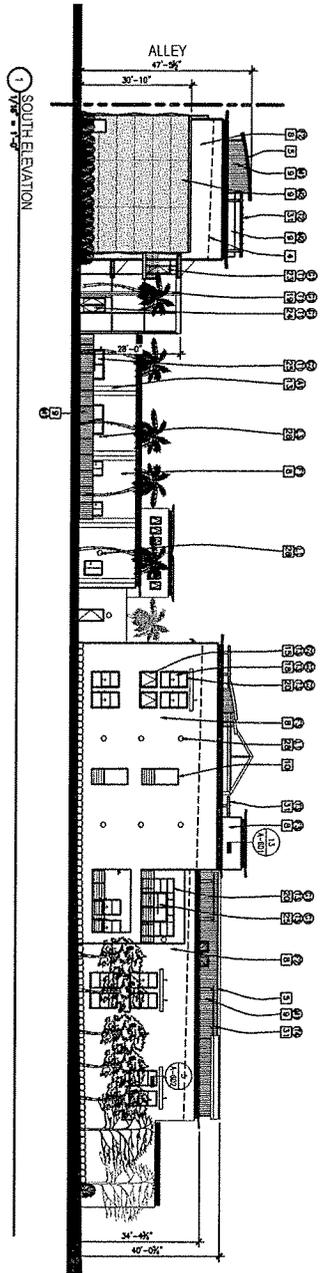
PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

A-201

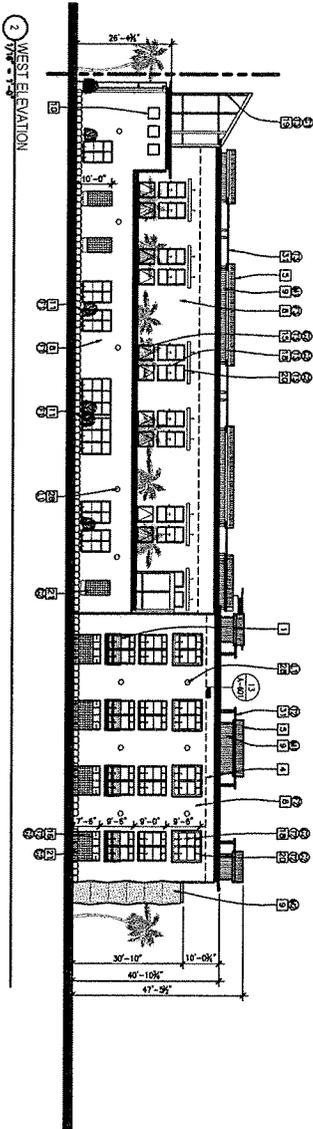
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LAUTERBACH & ASSOCIATES
 ARCHITECTS

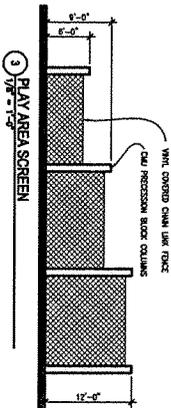
2211 STATEWAY BLVD., SUITE 117, OXNARD, CA 93030



1 SOUTH ELEVATION



2 WEST ELEVATION



3 PLAY AREA SCREEN

COLORS AND MATERIALS

1	PAINT FINISH
2	FIELD #1 FINISH
3	FIELD #2 FINISH
4	FIELD #3 FINISH
5	FIELD #4 FINISH
6	FIELD #5 FINISH
7	FIELD #6 FINISH
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101	FIELD #100 FINISH

KEYNOTES

1	BALCONY - ALUMINUM
2	EXTERIOR WALL - MCM
3	EXTERIOR STAIR - CONCRETE
4	ROOF
5	METAL ROOF
6	STEEL ROOF
7	STEEL ROOF
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96	STEEL ROOF
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GENERAL NOTES
 1. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
 2. REFER TO ALL DRAWINGS FOR DIMENSIONS AND LOCATIONS.
 3. REFER TO ALL DRAWINGS FOR NOTES AND SPECIFICATIONS.
 4. REFER TO ALL DRAWINGS FOR SCHEDULES AND DETAILS.
 5. REFER TO ALL DRAWINGS FOR CONDITIONS AND TOLERANCES.
 6. REFER TO ALL DRAWINGS FOR CONSTRUCTION METHODS AND SEQUENCES.
 7. REFER TO ALL DRAWINGS FOR PROTECTION AND PRESERVATION.
 8. REFER TO ALL DRAWINGS FOR SAFETY AND HEALTH.
 9. REFER TO ALL DRAWINGS FOR ENVIRONMENTAL PROTECTION.
 10. REFER TO ALL DRAWINGS FOR HISTORIC PRESERVATION.
 11. REFER TO ALL DRAWINGS FOR ACCESSIBILITY.
 12. REFER TO ALL DRAWINGS FOR ENERGY EFFICIENCY.
 13. REFER TO ALL DRAWINGS FOR SUSTAINABILITY.
 14. REFER TO ALL DRAWINGS FOR QUALITY CONTROL.
 15. REFER TO ALL DRAWINGS FOR RISK MANAGEMENT.
 16. REFER TO ALL DRAWINGS FOR COMMUNICATION.
 17. REFER TO ALL DRAWINGS FOR DOCUMENTATION.
 18. REFER TO ALL DRAWINGS FOR ARCHIVE.
 19. REFER TO ALL DRAWINGS FOR LEGAL COMPLIANCE.
 20. REFER TO ALL DRAWINGS FOR ETHICAL CONDUCT.

EXTERIOR ELEVATIONS

PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

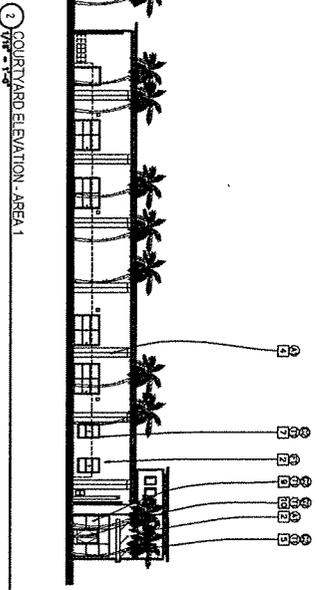
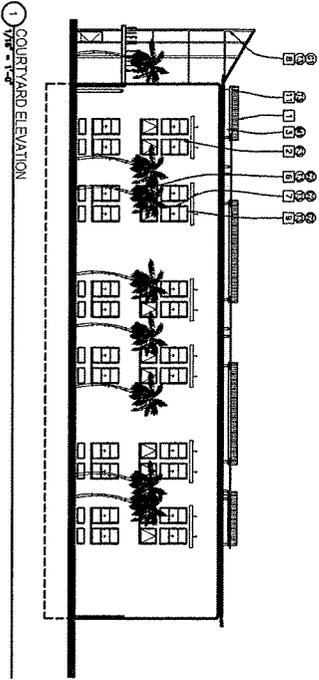
A-202

Press Courier Lofts, LLC.

Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS

2221 STATEWAY BLVD. SUITE 117, OXNARD, CA 93030

DATE: 11/15/2017
 DRAWING NO.: A-202
 PROJECT NO.: 17-000000
 SHEET NO.: 11 OF 11
 FILE NO.: 20-070401



COLORS AND MATERIALS

1	PAINT FINISH
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100	PAINT FINISH

GENERAL NOTES

- 1. REFER TO THE PROJECT SPECIFICATIONS FOR MATERIALS AND FINISHES.
- 2. CONSULT THE ARCHITECT FOR ANY CHANGES TO THE FINISHES.

KEYNOTES

- 1. METAL ROOF
- 2. 8" GIRD WALL
- 3. METAL PANELING
- 4. COLUMN COVER - METAL
- 5. WINDOW - RECTANGULAR FINISH
- 6. WINDOW - SQUARE FINISH
- 7. WINDOW - ARCH FINISH
- 8. CORNER WALL
- 9. ALUMINUM SHIMMER STAIN
- 10. DOUBLE FULL GLASS DOOR
- 11. TRAILS - METAL

COURTYARD ELEVATION

PRESS COURIER LOFTS

RESIDENTIAL DEVELOPMENT
300 W. NINTH ST., OXNARD, CA 93030

A-203

Proj. No. 20-070601

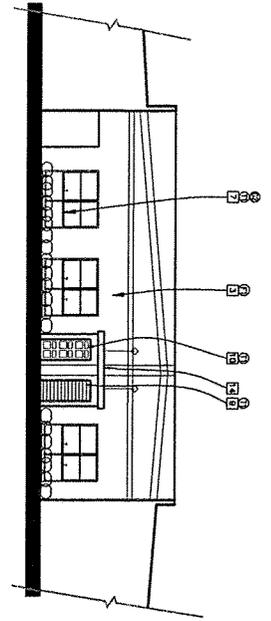
Press Courier Lofts, LLC.

2251 STATHAM BLVD., SUITE 111, OROVADO, CA 95963

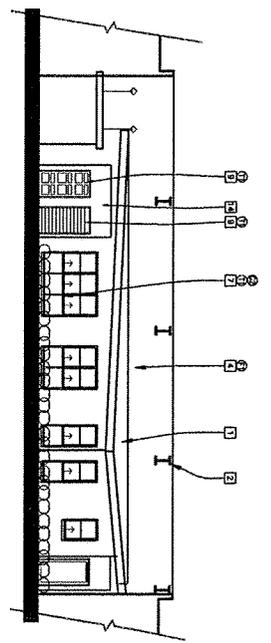


LAUTERBACH & ASSOCIATES
ARCHITECTS, INC.

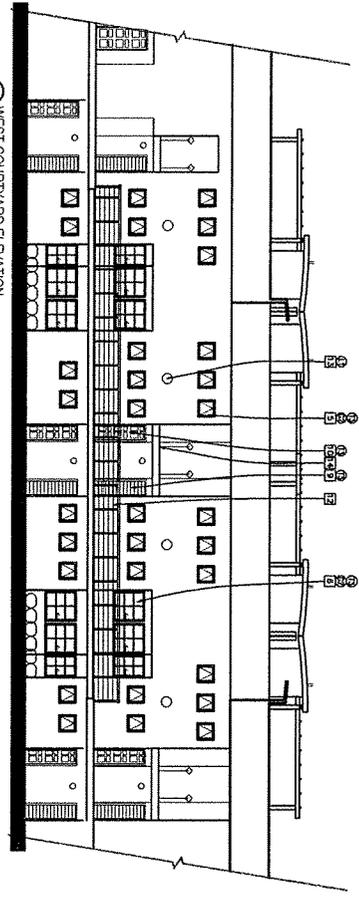
Mark S. Pettit, AIA, NCARB



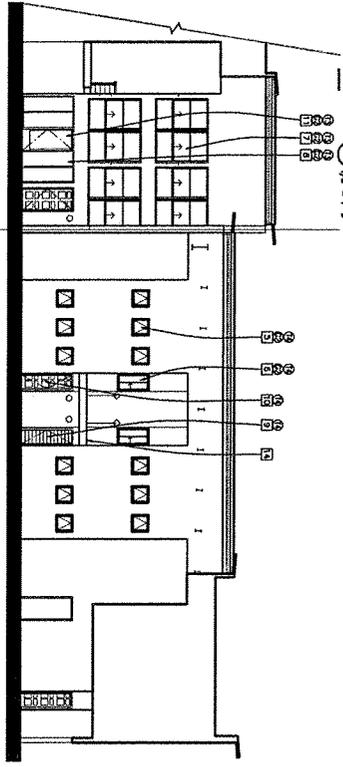
2 AREA 1 - NORTH COURTYARD ELEVATION SOUTH ELEVATION SCALE 1/8" = 1'-0"



1 AREA 1 - EAST COURTYARD ELEVATION WEST ELEVATION SCALE 1/8" = 1'-0"



3 WEST COURTYARD ELEVATION SCALE 1/8" = 1'-0"



3 NORTH COURTYARD ELEVATION SCALE 1/8" = 1'-0"

- KEYNOTES**
- 1 METAL ROOF
 - 2 STEEL BEAM
 - 3 6" CMU WALL
 - 4 5 1/2" STIP WALL WITH SMOOTH MASTER FINISH
 - 5 WINDOW - SINGLE
 - 6 WINDOW - DOUBLE
 - 7 WINDOW - SINGLE W/ING
 - 8 WINDOW - SINGLE W/ING
 - 9 WINDOW - SINGLE W/ING
 - 10 WINDOW - SINGLE W/ING
 - 11 WINDOW - SINGLE W/ING
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 - 100 WINDOW - SINGLE W/ING

COLORS AND MATERIALS

1	FRONT FLOOR	1	FRONT FLOOR
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GENERAL NOTES

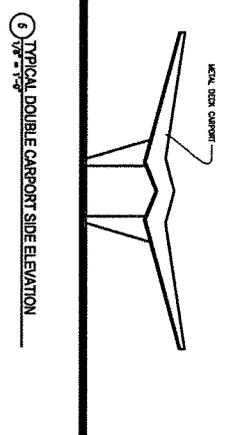
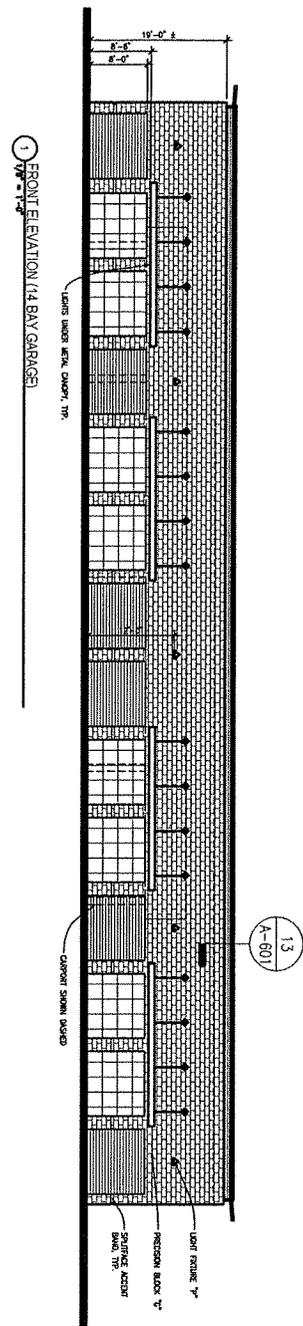
1. SEE GENERAL NOTES TO ARCHITECTURAL DRAWINGS.
2. SEE REPORT AT PROJECT SITE FOR FURTHER INFORMATION.

COURTYARD ELEVATIONS

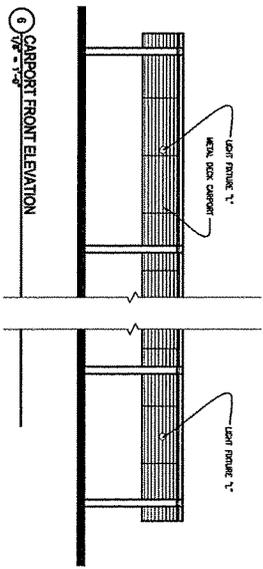
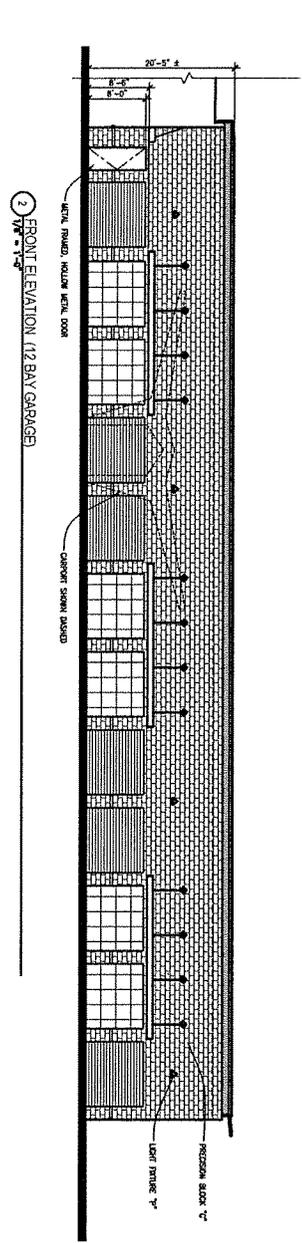
PRESS COURIER LOFTS

RESIDENTIAL DEVELOPMENT
300 W. NINTH ST., OXNARD, CA 93030

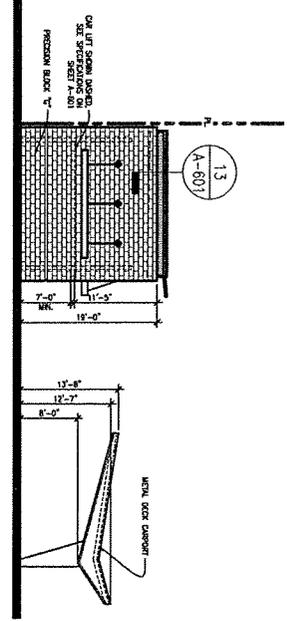
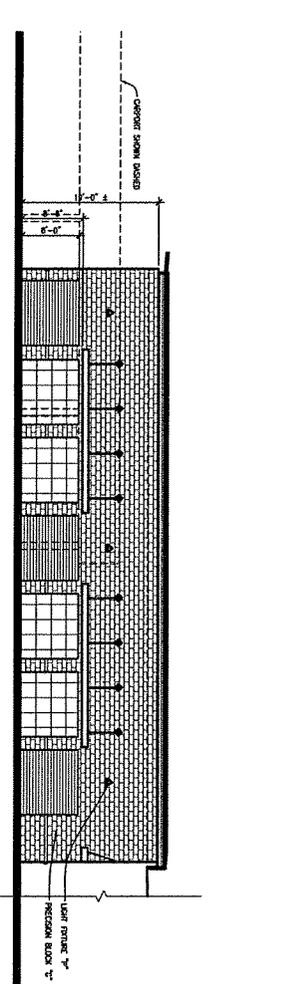
GENERAL NOTES
 1. SLOPE OF GARAGE FINISHING SHALL BE PROVIDED UP WITH DRAIN FINISHING ON THE GARAGE FLOOR.



6 TYPICAL DOUBLE CARPORT SIDE ELEVATION



8 CARPORT FRONT ELEVATION



5 SIDE ELEVATION AND TYPICAL CARPORT SIDE ELEVATION

- COLORS AND MATERIALS**
- 1 BRICK
 - 2 METAL TILES AND TRIM
 - 3 POLISHED METAL
 - 4 TRIM CHAMFER
 - 5 SMOOTH METAL CHAMFER
 - 6 ANTI-REFLECTIVE GLASS
 - 7 CONCRETE
 - 8 CARPORT FINISHING
 - 9 WALL FINISHING
 - 0 METAL DECK CARPORT
 - 1 EXPANDED LATHING
 - 2 FINISHES

EXTERIOR ELEVATIONS - GARAGES

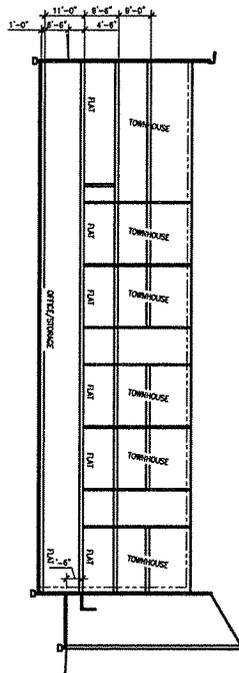
PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

A-205

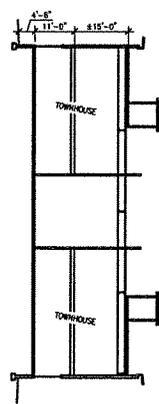
Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS INC.

Press Courier Lofts, LLC.
 2201 STATEWAY BLVD., SUITE 117, OXNARD, CA 93032

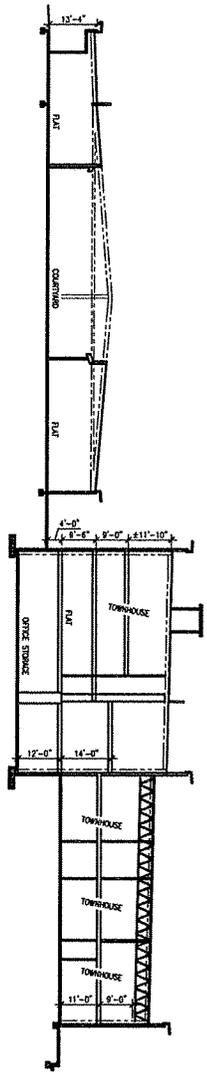
Project No. 20-07001
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 09/22/2019
 08/22/2019
 07/22/2019



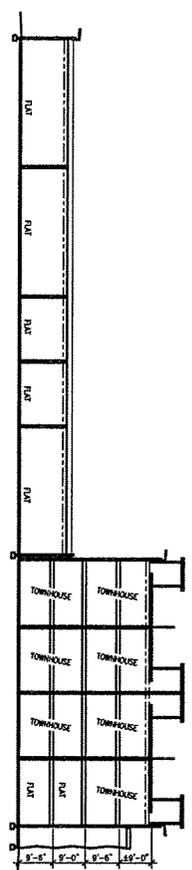
SECTION 1
1/8" = 1'-0"



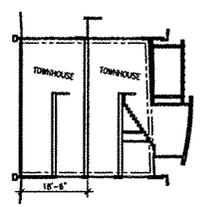
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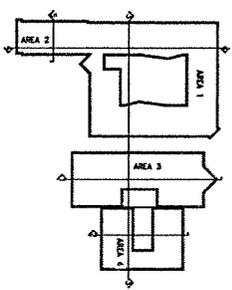
SECTION 3
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SECTION 4
1/8" = 1'-0"



SECTION 5
1/8" = 1'-0"



KEY PLAN - SECTIONS

SECTIONS

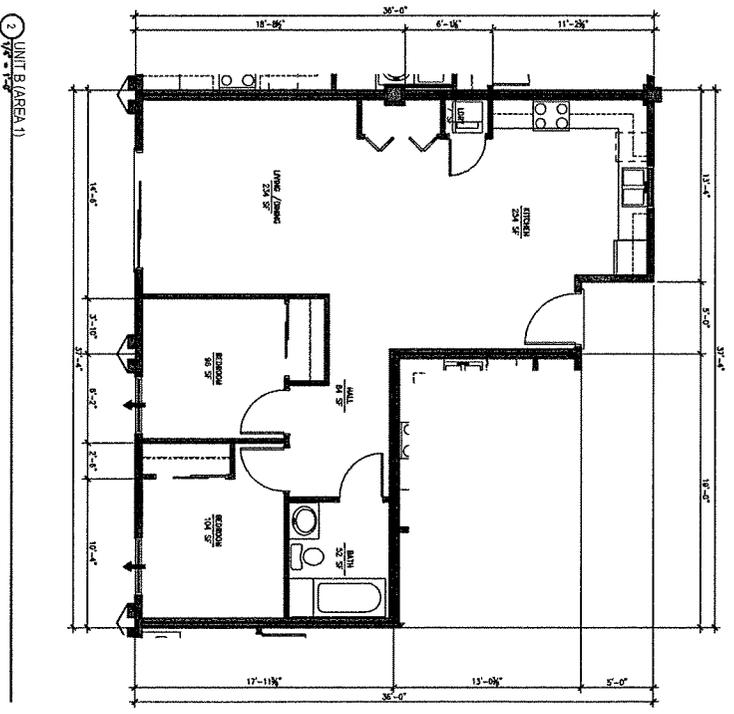
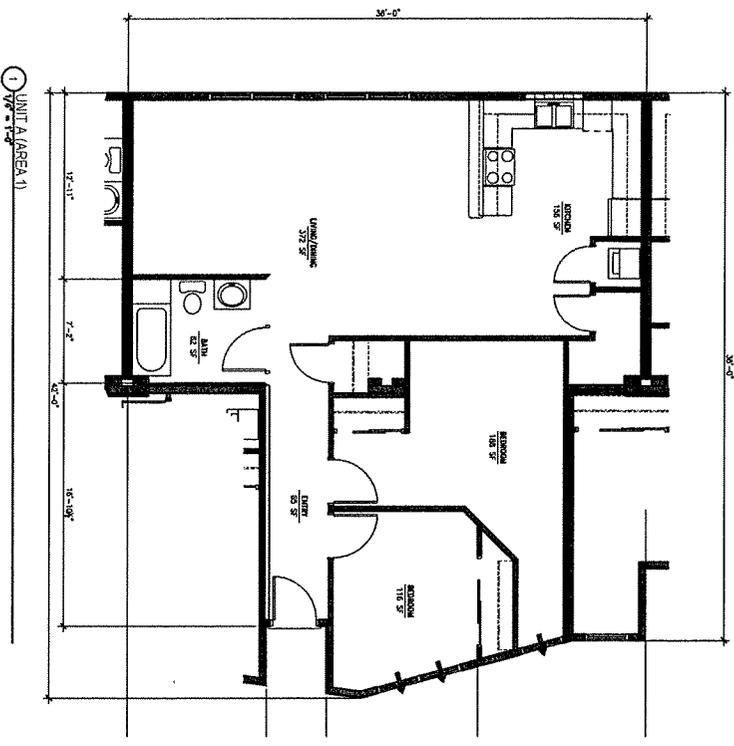
PRESS COURIER LOFTS
RESIDENTIAL DEVELOPMENT
300 W. NINTH ST., OXNARD, CA 93030

A-301

Prepared by: [Name]
Checked by: [Name]
Date: [Date]

Press Courier Lofts, LLC.
221 STATHAM BLVD., SUITE 111, OXNARD, CA 93030

Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
ARCHITECTS, INC.



GENERAL NOTES
 UNIT FINISHES SHOWN IN STIPPLE
 FINISHES SHOWN IN PRODUCT SIZE
 DIMENSIONS ARE APPROXIMATE AND
 ARE SUBJECT TO MODIFICATION

ENLARGED FLOOR PLANS

PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OKLAHOMA, CA 93030

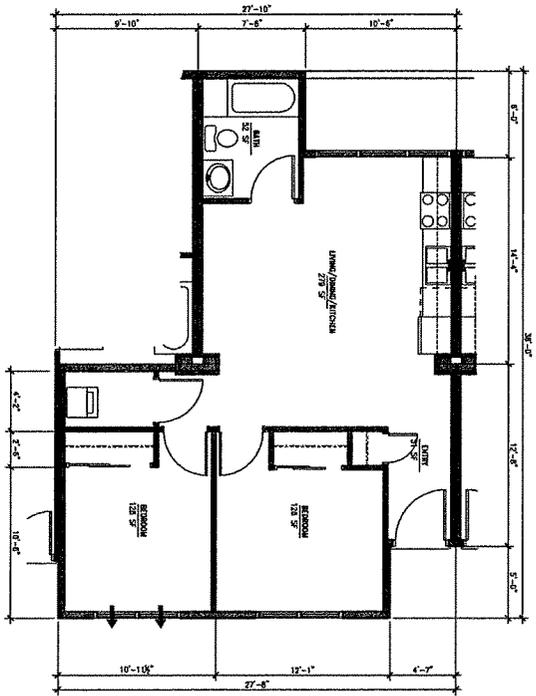
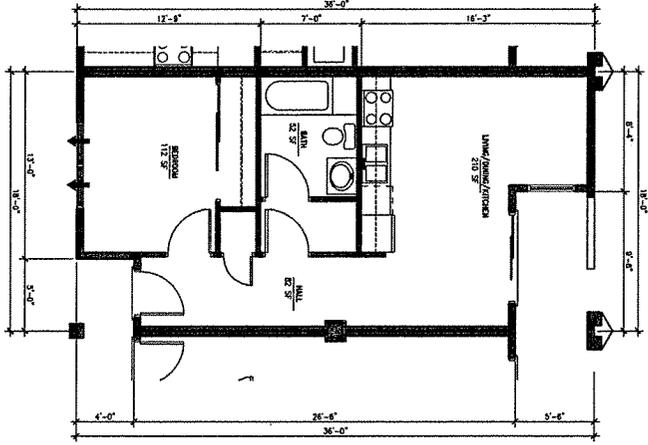
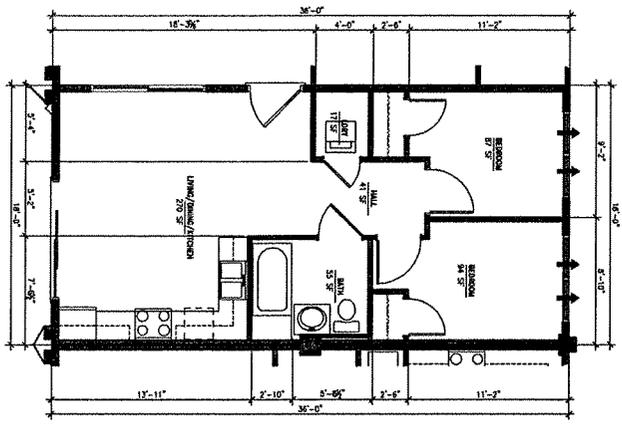
A-401

PLANNING: 10/2008
 ARCHITECT: 10/2008
 CONTRACTOR: 04/2009
 PERMITS: 05/2009
 OCCUPANCY: 05/2009
 Proj. No. 20-070401

Press Courier Lofts, LLC.

Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS INC.

201 STATHAM RD., SUITE 117, OKLAHOMA, CA 93030



GENERAL NOTES
 UNIT STORAGE PROVIDED IN STORAGE
 ROOMS. EXCESS STORAGE IN PRODUCT. SEE
 UNIT AND RESIDENTIAL PLAN AND
 ARE SUBJECT TO MODIFICATIONS

ENLARGED FLOOR PLANS

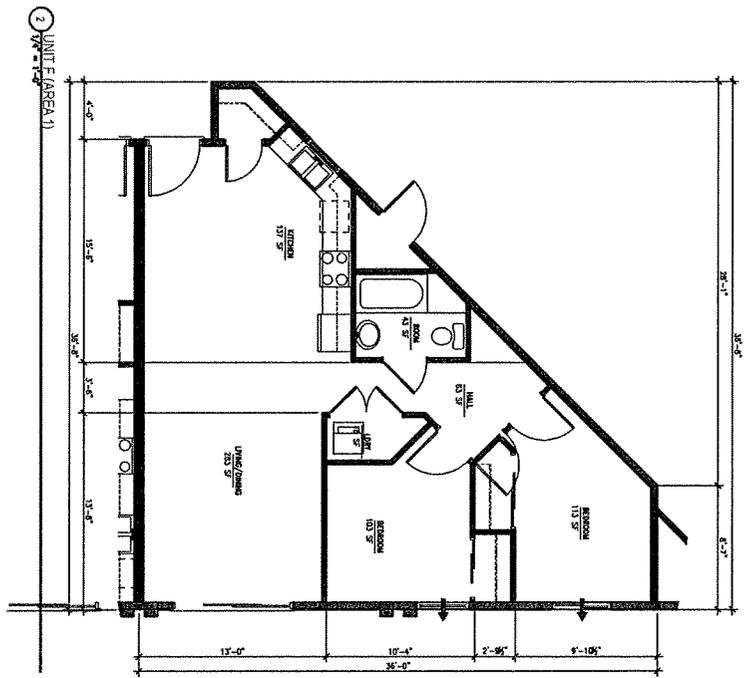
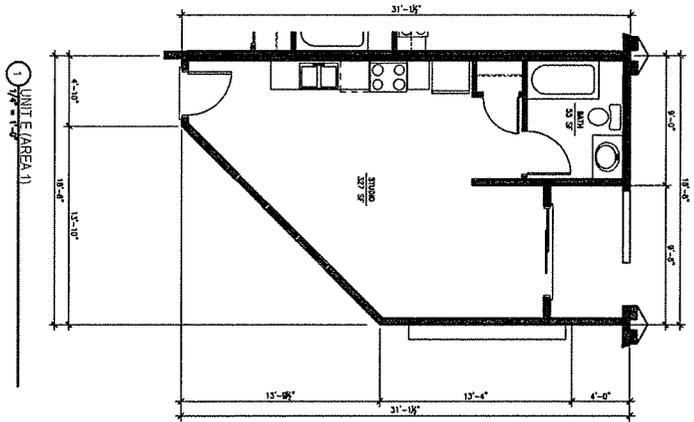
PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OAKLAND, CA 94612

A-402

201 STATHAM BLVD. SUITE 111, OAKLAND, CA 94612
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 415.778.1130

Press Courier Lofts, LLC.

Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS P.C.



GENERAL NOTES

UNIT STORAGE PROVIDED AS SHOWN
 FLOOR FINISHES IN PRODUCT SEE
 UNIT ARE RESPONSIVE ONLY AND
 ARE SUBJECT TO MODIFICATIONS

ENLARGED FLOOR PLANS

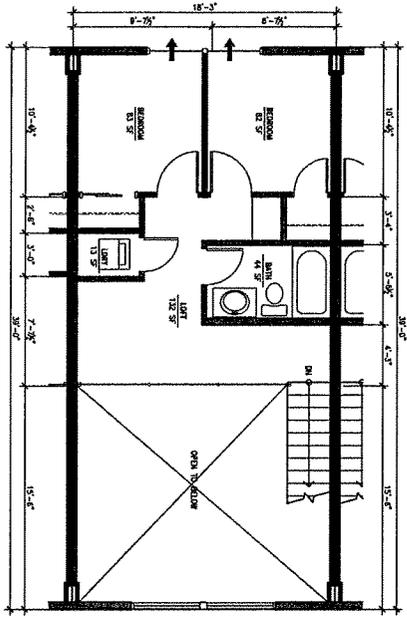
PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OAKLAND, CA 94612

A-403

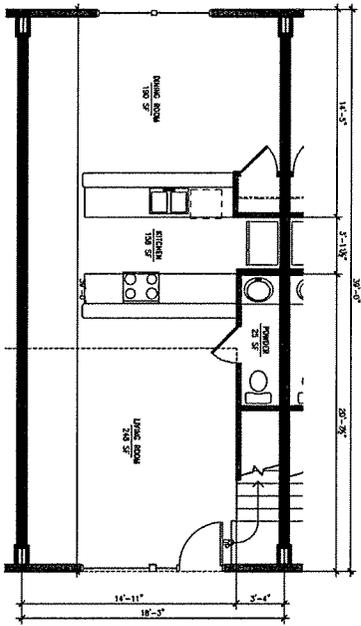
PLANNERS:
 DANIEL L. B. 101080
 Proj. No. 20-00401

Press Courier Lofts, LLC.
 225 STANFORD BLVD. SUITE 117, OAKLAND, CA 94612

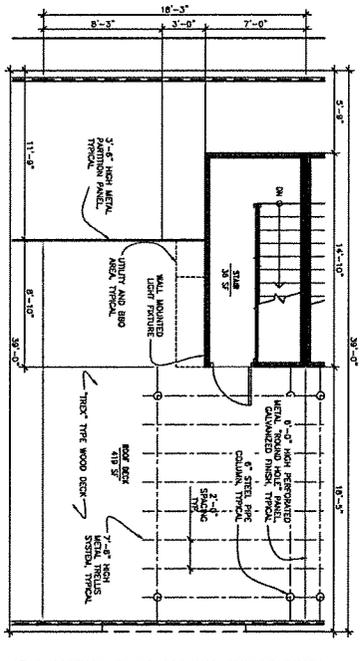
Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS & PLANNERS



2 UNIT G - SECOND FLOOR (AREA 2)
7/16" = 1'-0"



1 UNIT G - FIRST FLOOR (AREA 2)
7/16" = 1'-0"



3 UNIT G - ROOF DECK PLAN (AREA 2)
7/16" = 1'-0"

GENERAL NOTES
 UNIT STORAGE PROVIDED IN STORAGE
 AREA EXCEPT IN PRODUCT. SEE
 UNIT AND RESIDENTIAL ONLY AND
 BE SUBJECT TO MODIFICATIONS

ENLARGED FLOOR PLANS

PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OAKLAND, CA 94609

A-404

DATE: 10/15/2009
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

Press Courier Lofts, LLC.

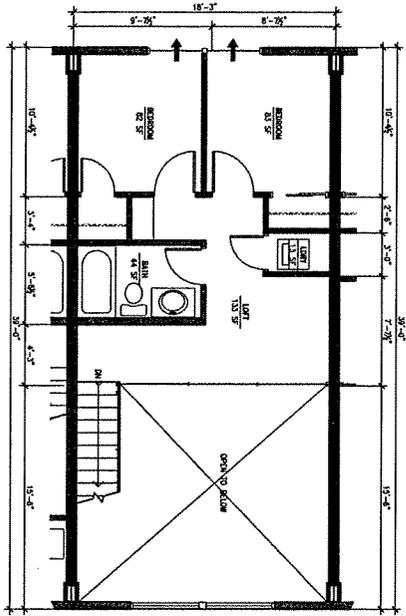


LAUTERBACH & ASSOCIATES
 ARCHITECTS & PLANNERS, INC.

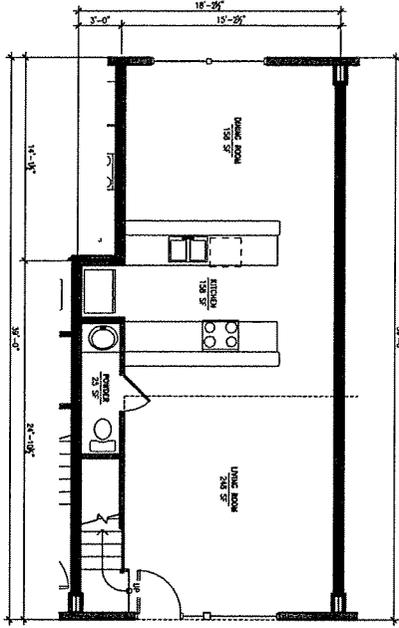
Mark S. Petri, AIA, NCARB

2011 STEPHAN BLVD. SUITE 111, OAKLAND, CA 94612

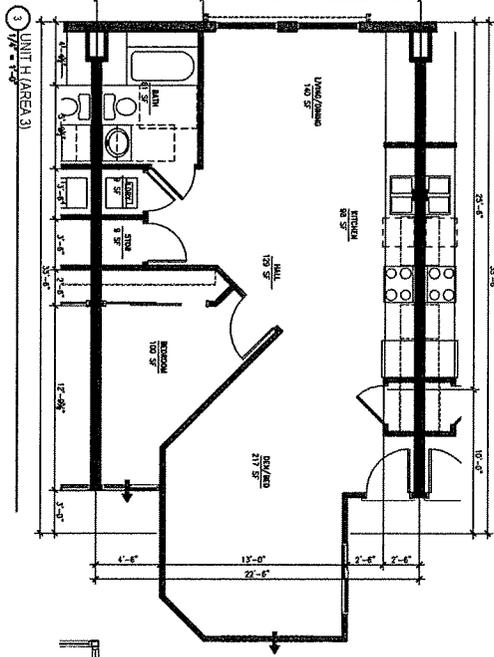
Proj. No. 20-07001



② UNIT G1 - SECOND FLOOR (AREA 2)



① UNIT G1 - FIRST FLOOR (AREA 2)



③ UNIT H (AREA 3)

GENERAL NOTES
 1. SEE CROSS SECTION AT TYPICAL
 2. SEE CROSS SECTION AT TYPICAL
 3. SEE CROSS SECTION AT TYPICAL
 4. SEE CROSS SECTION AT TYPICAL
 5. SEE CROSS SECTION AT TYPICAL
 6. SEE CROSS SECTION AT TYPICAL
 7. SEE CROSS SECTION AT TYPICAL
 8. SEE CROSS SECTION AT TYPICAL
 9. SEE CROSS SECTION AT TYPICAL
 10. SEE CROSS SECTION AT TYPICAL

ENLARGED FLOOR PLANS

PRESS COURIER LOFTS

RESIDENTIAL DEVELOPMENT

300 W. NINTH ST., OAKLAND, CA 94612

A-405

Project No. 20-07041
 Date: 11/15/2019
 Rev: 11/15/2019
 Rev: 11/15/2019
 Rev: 11/15/2019
 Rev: 11/15/2019

Press Courier Lofts, LLC.

1201 STEINBOCK BLVD. SUITE 117 OAKLAND, CA 94612

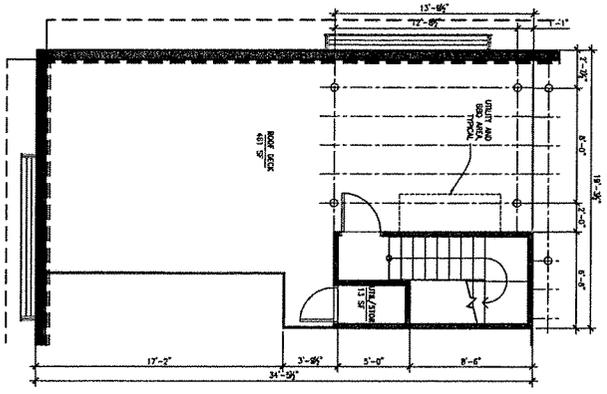


Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS, INC.

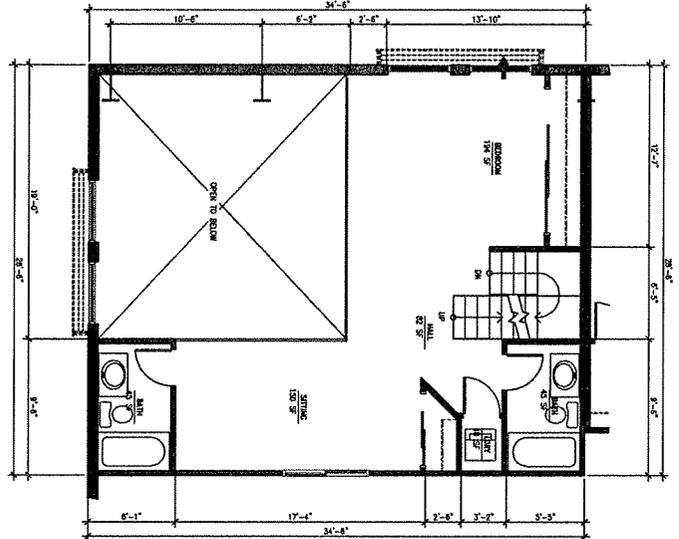
Mark S. Pettit, AIA, NCARB

GENERAL NOTES

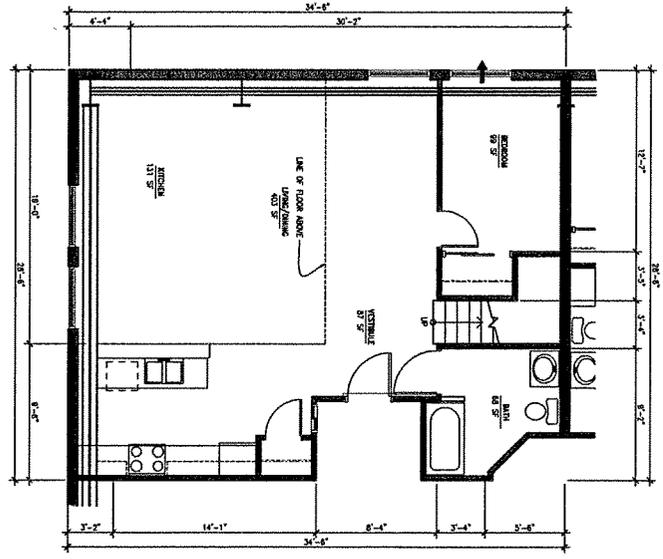
- 1. UNIT STAIRS PROVIDED IN COMMON AREA
- 2. FINISHES TO BE DETERMINED BY ARCHITECT
- 3. UNIT SIZE IS APPROXIMATE ONLY AND NOT SUBJECT TO MODIFICATIONS



3 UNIT 1, ROOF DECK (AREA 3)



2 UNIT 1, SECOND FLOOR (AREA 3)



1 UNIT 1, FIRST FLOOR (AREA 3)

ENLARGED FLOOR PLANS

PRESS COURIER LOFTS

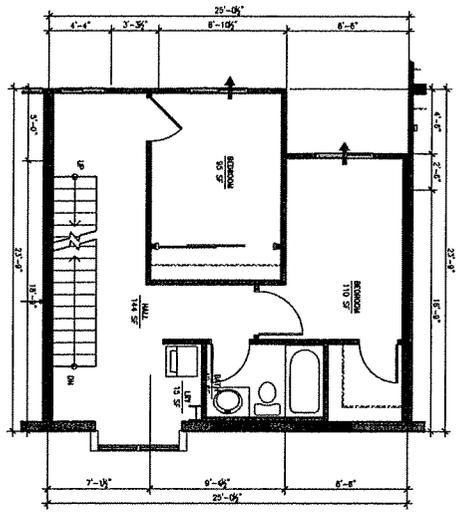
RESIDENTIAL DEVELOPMENT
300 W. NINTH ST., OAKLAND, CA 93030

A-406

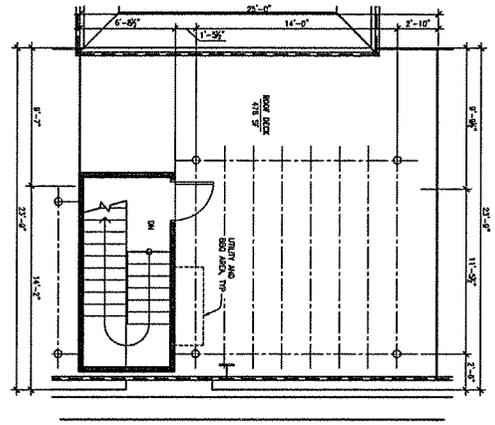
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 DATE: MANUFACTURER 9/15/2007
 FILE: MANUFACTURER 9/15/2007
 PROJ: MANUFACTURER 03/2007
 Proj. No. 20-070401

Press Courier Lofts, LLC.

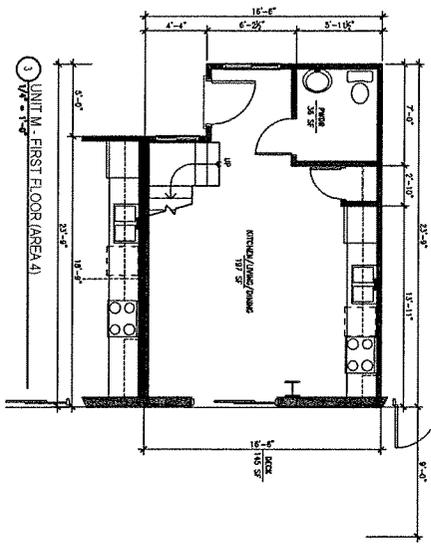
Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS P.C.
 221 SHAWHARDEN, SUITE 117 OAKLAND, CA 94612



4 UNIT M - SECOND FLOOR (AREA 4)

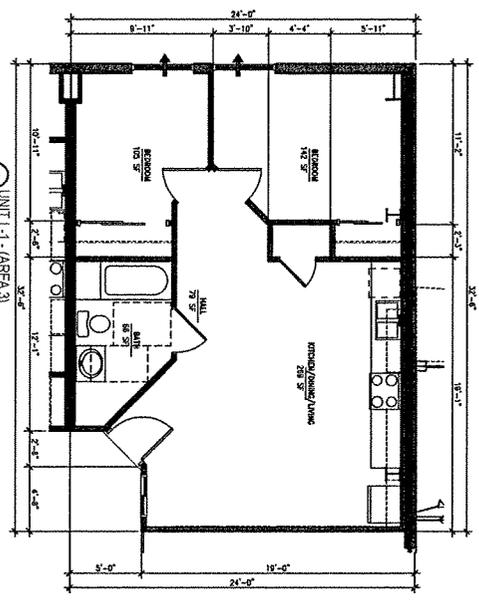


5 UNIT M - ROOF DECK (AREA 4)

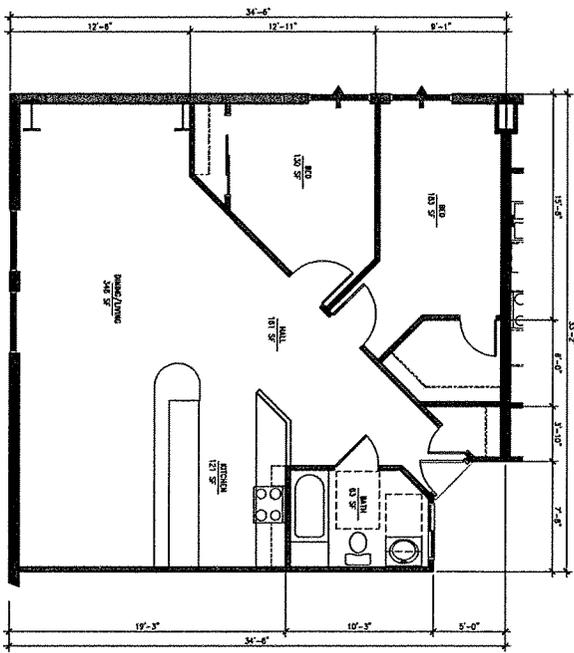


3 UNIT M - FIRST FLOOR (AREA 4)

GENERAL NOTES
 UNIT FINISHES SHOWN IN CONTOUR
 FLOOR FINISHES - SEE PRODUCT SCHEDULE
 UNITS ARE REPRESENTATIVE ONLY AND
 ARE SUBJECT TO MODIFICATIONS



2 UNIT L-1 (AREA 3)



1 UNIT L (AREA 3)

ENLARGED FLOOR PLANS

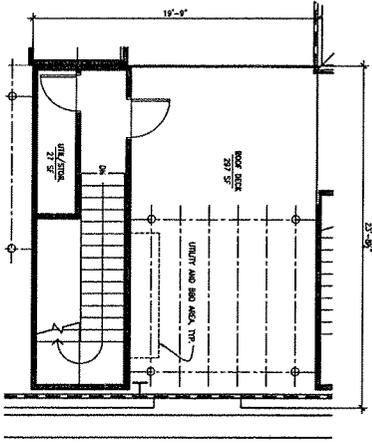
PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

A-408

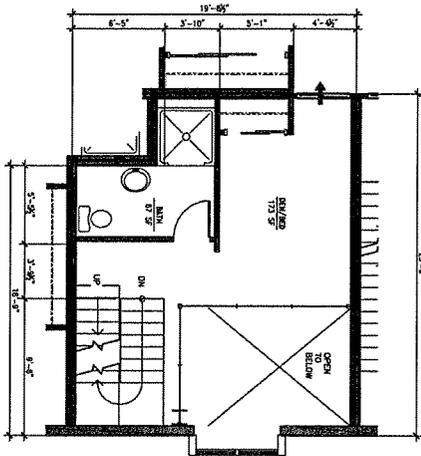
DATE: 10/15/09
 DRAWN BY: J. P. [unreadable]
 CHECKED BY: M. S. [unreadable]
 PROJECT: 09-000000
 SHEET: 14 OF 14
 PROJ. NO. 20-070401

Press Courier Lofts, LLC.
 2011 STANHAM BLVD. SUITE 111 OXNARD, CA 93030

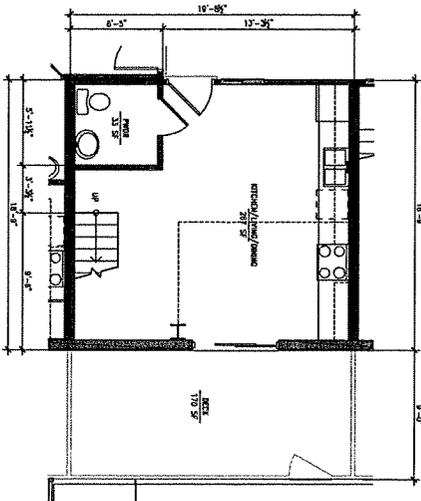
Mark S. Petti, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS & INTERIORS



3 UNIT N - ROOF DECK (AREA 4)



2 UNIT N - SECOND FLOOR (AREA 4)



1 UNIT N - FIRST FLOOR (AREA 4)

GENERAL NOTES:
 1. SEE OTHER SHEETS FOR DIMENSIONS AND FINISHES.
 2. UNITS ARE REPRESENTED ONLY AND NOT SUBJECT TO MODIFICATIONS.

ENLARGED FLOOR PLANS

PRESS COURIER LOFTS

RESIDENTIAL DEVELOPMENT
 309 W. NINTH ST., OAKLAND, CA 94609

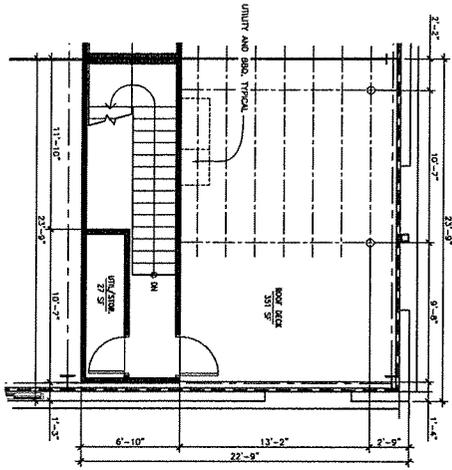
A-409

PREPARED BY: [Name]
 DATE: [Date]
 PROJECT: [Project Name]
 SHEET NO.: [Sheet Number]

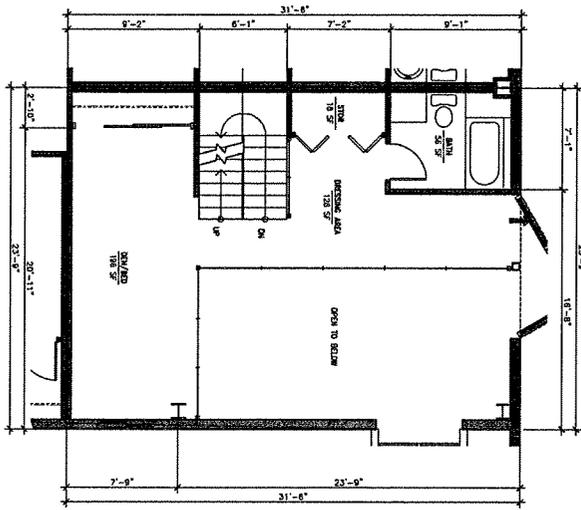
Press Courier Lofts, LLC.

Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS P.C.

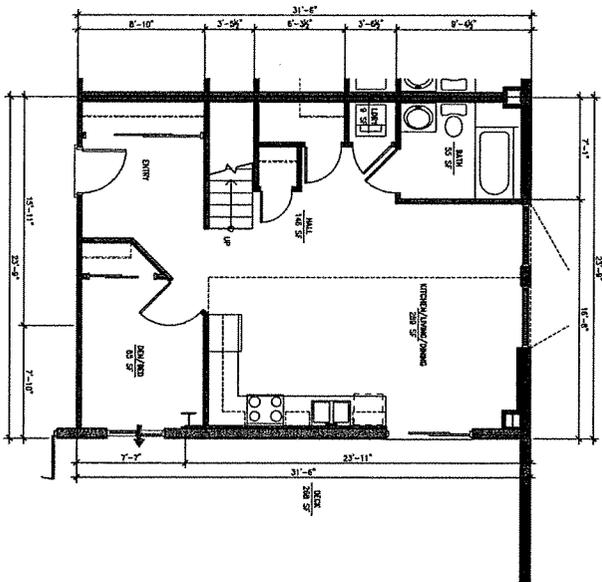
2221 STATHWALK DR., SUITE 117, OAKLAND, CA 94612



3 UNIT Q, ROOF DECK (AREA 4)
1/8" = 1'-0"



2 UNIT Q, SECOND FLOOR (AREA 4)
1/8" = 1'-0"



1 UNIT Q, FIRST FLOOR (AREA 4)
1/8" = 1'-0"

GENERAL NOTES

- 1. UNIT STRUCTURE PROVIDED AS SPECIFIED.
- 2. FINISHES TO BE DETERMINED BY ARCHITECT.
- 3. FLOOR FINISHES TO BE DETERMINED BY ARCHITECT.
- 4. ALL WORK TO BE ACCORDING TO SPEC AND UNIT AND BLDG. TYPICAL.

ENLARGED FLOOR PLANS

PRESS COURIER LOFTS

RESIDENTIAL DEVELOPMENT

300 W. NINTH ST., OAKLAND, CA 94608

A-411

Press Courier Lofts, LLC.

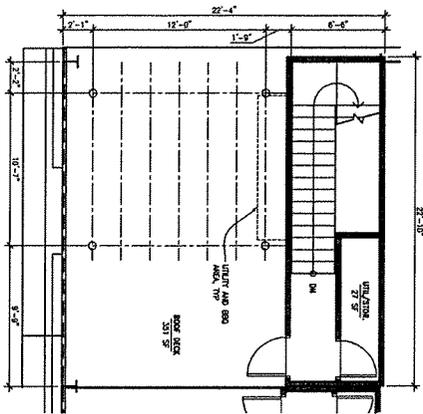
221 STANTON BLVD., SUITE 111, OAKLAND, CA 94608



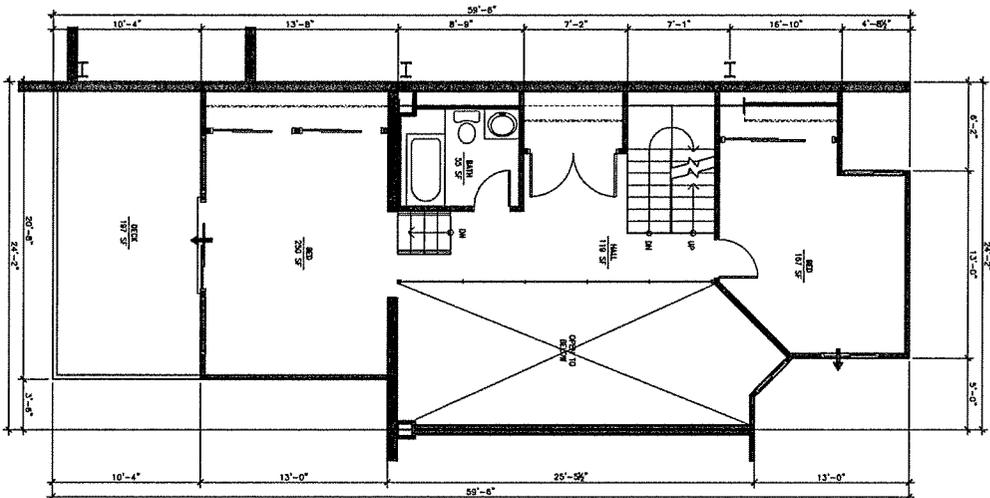
LAUTERBACH & ASSOCIATES
ARCHITECTS, INC.

Mark S. Pettit, AIA, NCARB

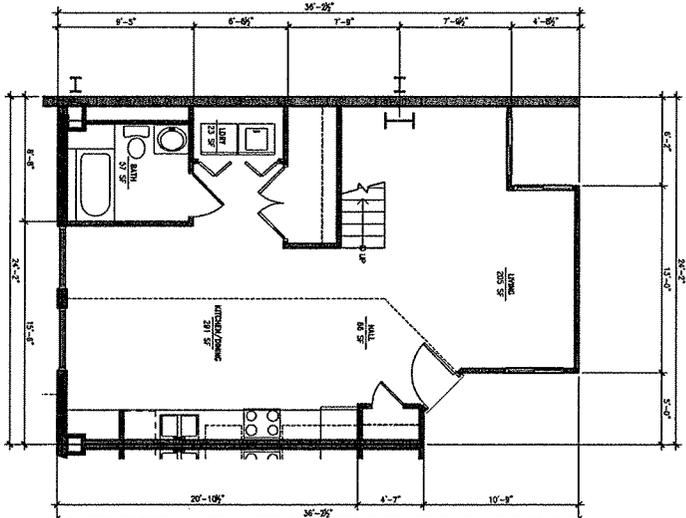
DATE: 10/15/08
 BY: [Signature]
 CHECKED: [Signature]
 DATE: 10/15/08
 BY: [Signature]
 CHECKED: [Signature]



3 UNIT R - ROOF DECK (AREA 4)
1/4" = 1'-0"



2 UNIT R - SECOND FLOOR (AREA 4)
1/4" = 1'-0"



1 UNIT R - FIRST FLOOR (AREA 4)
1/4" = 1'-0"

ENLARGED FLOOR PLANS

PRESS COURIER LOFTS

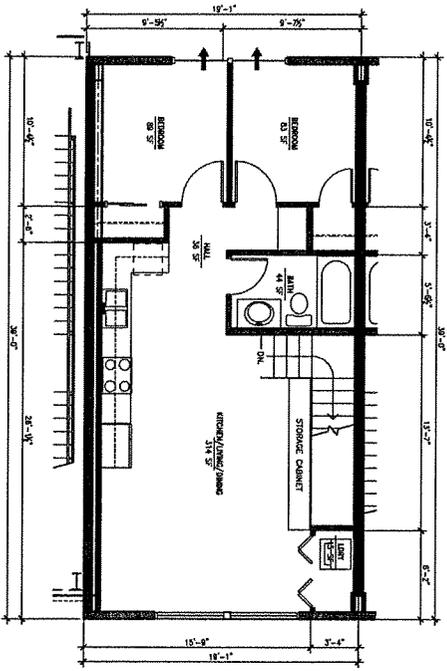
RESIDENTIAL DEVELOPMENT
300 W. NINTH ST., OAKLAND, CA 94601

A-412

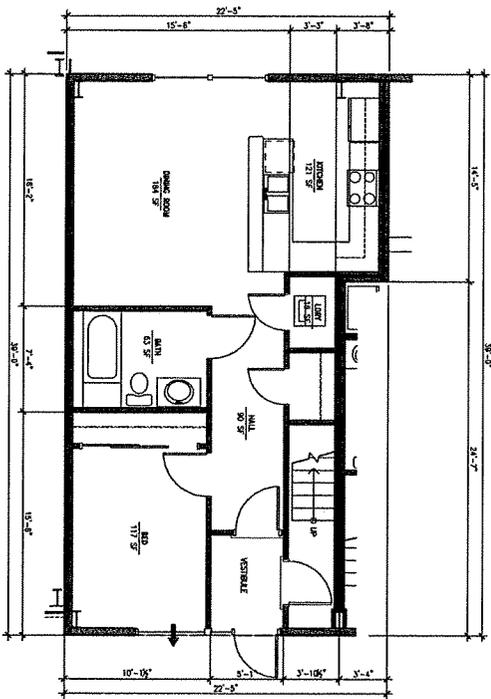
DATE: 11/15/07
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]
 SHEET NO.: 20-07041

Press Courier Lofts, LLC.
 221 STEINBOLO, SUITE 117 OAKLAND, CA 94612

Mark S. Pehtl, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS + INC.



2 UNIT S-1 (AREA 2)



1 UNIT S - FIRST FLOOR (AREA 2)

ENLARGED FLOOR PLANS

PRESS COURIER LOFTS

RESIDENTIAL DEVELOPMENT

300 W. NINTH ST., OXNARD, CA 93030

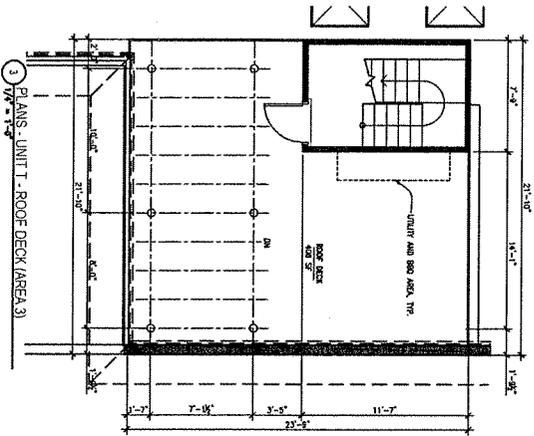
A-413

Proj. No. 20-070401

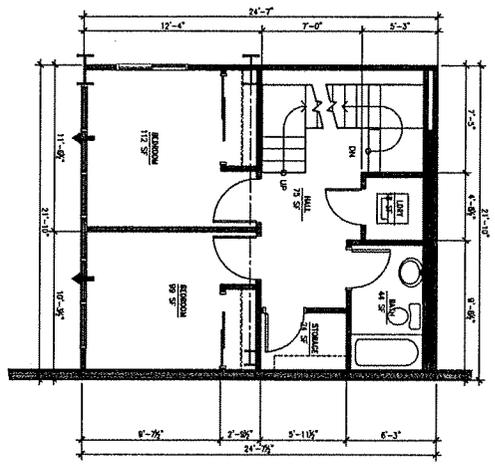
Press Courier Lofts, LLC.

2231 STARBUCK BLVD., SUITE 117, OXNARD, CA 93030

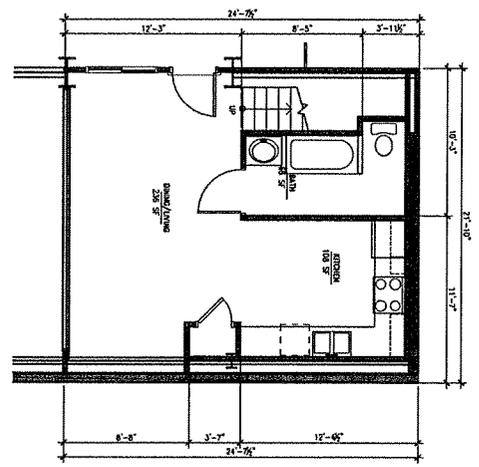
Mark S. Petri, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS INC.



3 PLANS - UNIT 1 - ROOF DECK (AREA 3)
1/4" = 1'-0"



2 UNIT 1 - SECOND FLOOR (AREA 3)
1/4" = 1'-0"



1 UNIT 1 - FIRST FLOOR (AREA 3)
1/4" = 1'-0"

GENERAL NOTES
 1. THIS PROJECT IS SUBJECT TO THE CITY OF OAKLAND'S ZONING ORDINANCES AND ALL APPLICABLE ORDINANCES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. UNITS ARE REPRESENTATIVE ONLY AND ARE SUBJECT TO MODIFICATIONS.

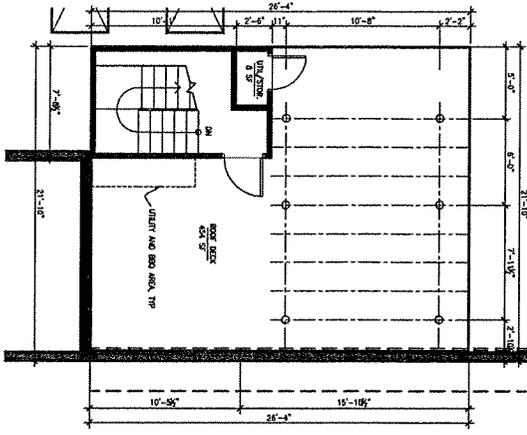
ENLARGED PLANS
 PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OAKLAND, CA 94609

A-414

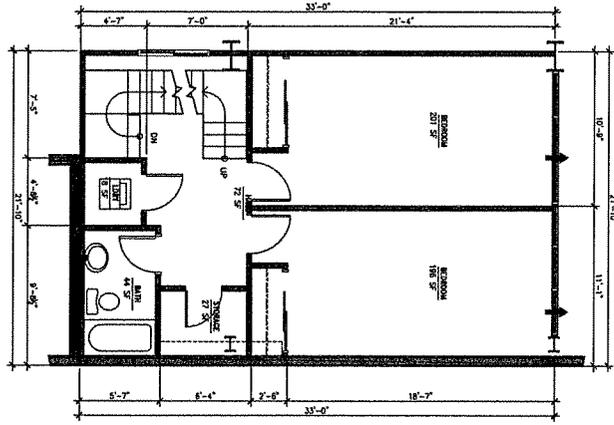
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Press Courier Lofts, LLC.

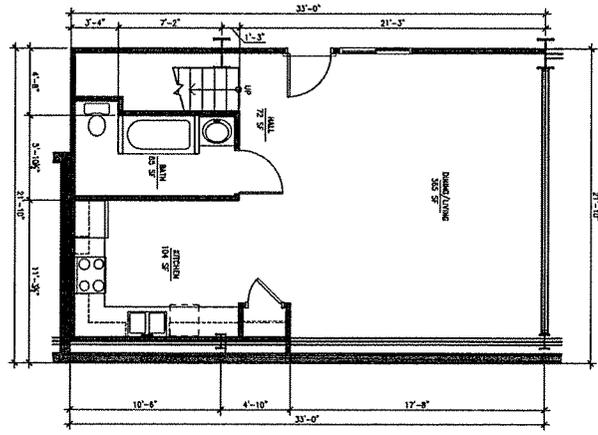
Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS A P.C.
 221 STATHAM BLVD, SUITE 117, OAKLAND, CA 94612



3 UNIT U, ROOF DECK (AREA 3)
 1/4" = 1'-0"



2 UNIT U, SECOND FLOOR (AREA 3)
 1/4" = 1'-0"



1 UNIT U, FIRST FLOOR (AREA 3)
 1/4" = 1'-0"

GENERAL NOTES
 UNIT SPACING PROVIDED IN STAIRS
 FLOOR ELEMENTS IN PARENTS, SIZE
 UNLESS OTHERWISE NOTED AND
 ARE SUBJECT TO MODIFICATIONS

ENLARGED PLANS

PRESS COURIER LOFTS
 RESIDENTIAL DEVELOPMENT
 300 W. NINTH ST., OXNARD, CA 93030

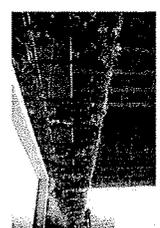
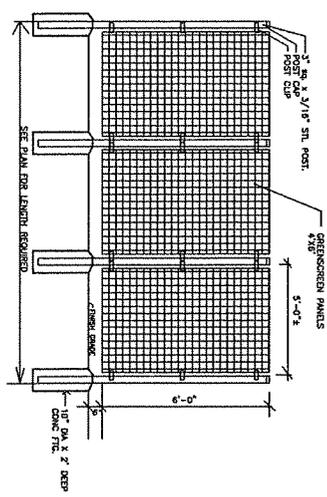
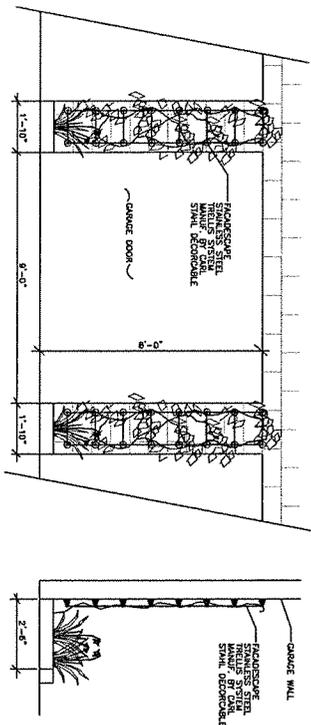
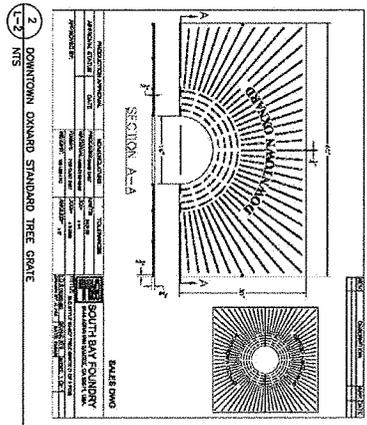
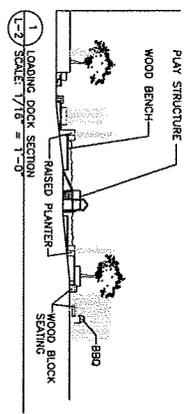
A-415

DATE: 04/27/17
 PREPARED BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: 20-070401

Press Courier Lofts, LLC.

Mark S. Pettit, AIA, NCARB
LAUTERBACH & ASSOCIATES
 ARCHITECTS P.C.

2201 STARBUCK BLVD., SUITE 117, GARDEN, CA 93025



PLANT MATERIAL - Based on the Grading, Trees and Landscapes Assumptions, unless otherwise noted.

NO.	PLANT MATERIAL	QUANTITY	UNIT	PRICE	TOTAL
1	FRUITFUL	10	EA	10.00	100.00
2	FRUITFUL	10	EA	10.00	100.00
3	FRUITFUL	10	EA	10.00	100.00
4	FRUITFUL	10	EA	10.00	100.00
5	FRUITFUL	10	EA	10.00	100.00
6	FRUITFUL	10	EA	10.00	100.00
7	FRUITFUL	10	EA	10.00	100.00
8	FRUITFUL	10	EA	10.00	100.00
9	FRUITFUL	10	EA	10.00	100.00
10	FRUITFUL	10	EA	10.00	100.00
11	FRUITFUL	10	EA	10.00	100.00
12	FRUITFUL	10	EA	10.00	100.00
13	FRUITFUL	10	EA	10.00	100.00
14	FRUITFUL	10	EA	10.00	100.00
15	FRUITFUL	10	EA	10.00	100.00
16	FRUITFUL	10	EA	10.00	100.00
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47	FRUITFUL	10	EA	10.00	100.00
48	FRUITFUL	10	EA	10.00	100.00
49	FRUITFUL	10	EA	10.00	100.00
50	FRUITFUL	10	EA	10.00	100.00

PLANT MATERIAL - Based on the Grading, Trees and Landscapes Assumptions, unless otherwise noted.

NO.	PLANT MATERIAL	QUANTITY	UNIT	PRICE	TOTAL
1	FRUITFUL	10	EA	10.00	100.00
2	FRUITFUL	10	EA	10.00	100.00
3	FRUITFUL	10	EA	10.00	100.00
4	FRUITFUL	10	EA	10.00	100.00
5	FRUITFUL	10	EA	10.00	100.00
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48	FRUITFUL	10	EA	10.00	100.00
49	FRUITFUL	10	EA	10.00	100.00
50	FRUITFUL	10	EA	10.00	100.00

PLANT MATERIAL - Based on the Grading, Trees and Landscapes Assumptions, unless otherwise noted.

NO.	PLANT MATERIAL	QUANTITY	UNIT	PRICE	TOTAL
1	FRUITFUL	10	EA	10.00	100.00
2	FRUITFUL	10	EA	10.00	100.00
3	FRUITFUL	10	EA	10.00	100.00
4	FRUITFUL	10	EA	10.00	100.00
5	FRUITFUL	10	EA	10.00	100.00
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8	FRUITFUL	10	EA	10.00	100.00
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22	FRUITFUL	10	EA	10.00	100.00
23	FRUITFUL	10	EA	10.00	100.00
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31	FRUITFUL	10	EA	10.00	100.00
32	FRUITFUL	10	EA	10.00	100.00
33	FRUITFUL	10	EA	10.00	100.00
34	FRUITFUL	10	EA	10.00	100.00
35	FRUITFUL	10	EA	10.00	100.00
36	FRUITFUL	10	EA	10.00	100.00
37	FRUITFUL	10	EA	10.00	100.00
38	FRUITFUL	10	EA	10.00	100.00
39	FRUITFUL	10	EA	10.00	100.00
40	FRUITFUL	10	EA	10.00	100.00
41	FRUITFUL	10	EA	10.00	100.00
42	FRUITFUL	10	EA	10.00	100.00
43	FRUITFUL	10	EA	10.00	100.00
44	FRUITFUL	10	EA	10.00	100.00
45	FRUITFUL	10	EA	10.00	100.00
46	FRUITFUL	10	EA	10.00	100.00
47	FRUITFUL	10	EA	10.00	100.00
48	FRUITFUL	10	EA	10.00	100.00
49	FRUITFUL	10	EA	10.00	100.00
50	FRUITFUL	10	EA	10.00	100.00

5 TREE APPRAISAL VALUES

UNDERGROUND SERVICE ALERT
CALL: TOLL FREE 1-800-277-2600

THESE DRAWINGS, SPECIFICATIONS AND DESIGNS ARE INSTRUMENTS OF PROFESSIONAL SERVICES AND AS SUCH ARE THE PROPERTY OF JORDAN, GILBERT & BAIN LANDSCAPE ARCHITECTS, INC. REPRODUCTION OR OTHER USE NOT AUTHORIZED BY JORDAN, GILBERT & BAIN IS PROHIBITED WITHOUT WRITTEN APPROVAL.

<p>CLIENT LAUTERBACH & ASSOCIATES 300 MONTGOMERY AVENUE OXNARD, CA 93036</p>	<p>REVISIONS/REVIEWS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>11/07/07</td><td>REVISED</td><td></td></tr> <tr><td>11/12/07</td><td>REVISED</td><td></td></tr> <tr><td>12/12/07</td><td>REVISED</td><td></td></tr> </table>	NO.	DATE	DESCRIPTION	11/07/07	REVISED		11/12/07	REVISED		12/12/07	REVISED		<p>JORDAN, GILBERT & BAIN LANDSCAPE ARCHITECTS, INC. 3000 LOMA VISTA DRIVE, VICTORIA, CA 94093 (805) 842-2941 (705) 842-2911 www.jgbai.com</p>
NO.	DATE	DESCRIPTION												
11/07/07	REVISED													
11/12/07	REVISED													
12/12/07	REVISED													
<p>SHEET TITLE PRELIMINARY ELEVATIONS & DETAILS</p> <p>PROJECT PRESS COURIER LOFTS 300 W. 9TH STREET OXNARD, CA</p>	<p>PROJECT NO: 07-39</p> <p>DRAWN BY: [Name]</p> <p>CHECKED BY: [Name]</p> <p>DATE: 7/20/07</p> <p>DRAWING</p>	<p>FILE NUMBER: 07-39</p> <p>SHEET 2 OF 2</p>												

Attachment C:

Notice of Exemption



NOTICE OF EXEMPTION

Project Description:

The applicant requests approval of a special use permit (SUP) to allow the adaptive reuse of an existing industrial facility through structural modification, 33 parking bay lifts, 25 carports, 15 parking spaces, recreational facilities, interior drive aisles, and landscaping in order to construct 46 residential units and 6,000 square feet of office space. A tentative subdivision map is requested for condominium purposes for both the residential and office units. The SUP request is for a planned residential group for consideration of several variations from City Code requirements. Specifically, a reduction in the required open space area (from 2,500 sq. ft. to 1,000 sq. ft.), one second floor unit that lacks private balcony space, and provision to allow carport parking spaces (instead of enclosed garages) for 13 residential units. In addition, 41 required parking spaces and a commercial loading zone are proposed along Ninth and B Streets. The project site is located at 300 West Ninth Street and is commonly known as the Press Courier Building. Filed by Press Courier Lofts, LLC, 2201 Statham Blvd, Suite 117, Oxnard, CA 93033.

Finding:

The Planning Division of the Development Services Department of the City of Oxnard has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, 14 Cal. Code of Regs. 15270]
- No Possibility of Significant Effect [CEQA Guidelines, 14 Cal. Code of Regs. 15061(b)(3)]

Supporting Reasons: In accordance with the California Environmental Quality Act Guidelines and Section 15332 of the California Code of Regulations “*projects characterized as in-fill development*” may be found to be exempt from the requirements of CEQA. The proposed project qualifies for this exemption for the following reasons: 1) The proposed project is consistent with the City of Oxnard’s *2020 General Plan* and all applicable general plan policies and zoning regulations. 2) As a 2.18 acre property in downtown Oxnard, the project site is less than five acres and is surrounded by urban uses. 3) The site is already developed with industrial buildings; therefore, the project site has no value for endangered, rare, or threatened species.

Planning Division

305 West Third Street, Oxnard, CA 93030 ♦ (805) 385-7858 ♦ FAX (805) 385-7417

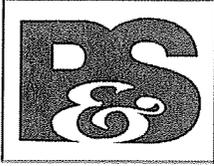
4) The environmental impacts associated with the project fall below the City of Oxnard's adopted *Threshold Guidelines*; therefore, it is not anticipated that approval of the project will result in any significant effects relating to traffic, noise, air quality, or water quality. 5) The project site is served by the City of Oxnard through existing water, wastewater, trash, roadway, and emergency services. Therefore, staff has determined that there is no substantial evidence that the project may have a significant effect on the environment.

(Date)

Susan L. Martin, AICP
Planning Division Manager

Attachment D:

Parking Demand Study



Penfield & Smith

111 East Victoria Street
Santa Barbara, CA 93101

tel 805-963-9532
fax 805-966-9801

www.penfieldsmith.com

Santa Barbara
Camarillo
Santa Maria
Lancaster

Civil Engineering

Land Surveying

Land Use Planning

Construction
Management & Inspection

Traffic & Transportation
Engineering

Transportation Planning

W.O. 18112.01

December 10, 2007

Mr. Mark Pettit
Lauterbach & Associates
300 Montgomery Avenue
Oxnard, CA 93036

SUBJECT: Parking Demand Study for the proposed Press Courier Lofts,
Oxnard, CA

Dear Mr. Pettit,

Penfield & Smith (P&S) is pleased to submit the following Parking Demand Study for the proposed Press Courier Lofts. Our task was to conduct an inventory of the on-street parking in the vicinity of the project site, determine the existing on-street parking demand and evaluate whether sufficient parking exists in the surrounding area to meet a portion of the parking needs of your site. The following letter summarizes our analysis and findings.

PROJECT DESCRIPTION

The site is located at 300 West Ninth Street in downtown Oxnard and includes converting the existing Press Courier Printing plant to townhomes. Forty-six townhomes are proposed, including 7 one-bedroom units and 39 two and three-bedroom units, along with office/studio space at the lower level. Fifteen percent of the units will be designated "affordable" units. The site is surrounded by the Verizon Communications building on the west, condos and the Entre Amigos Adult Day Care parking lot to the north, and a Family Medical Clinic to the east. A site plan is provided as an attachment to this letter.

The main entrance to the Lofts Building will be provided off of 9th Street. Seven visitor parking spaces will be provided in an existing parking lot located along the building frontage on 9th St. Sixty-six two-story tandem garage spaces will be provided along the eastern and southern perimeter of the property. The remainder of the on-site parking will be provided in the existing parking lot located towards the rear of the site. The parking lot will be reconfigured to include 37 additional spaces. Access to the parking lot will be available from an existing 25-foot wide driveway on 9th Street, located at the eastern end of the site. Emergency vehicle access will also be provided from an existing alley located on the west side of the property. With the exception of the visitor parking, all of the parking on-site will be gated for residents/occupants of the building.

CITY PARKING REQUIREMENTS

The City requested that a Parking Demand Study be prepared to determine that the actual parking demand will be met on site and on-street in the surrounding blocks. Based on the City's parking requirements for "market rate" units, 148 spaces would be required for a project of this size and composition. The project is proposing to provide 110 spaces. A shortfall of 38 visitor spaces exists. A summary of the City's parking requirements is presented in Table 1.

**Table 1
 City Required Parking**

	Proposed No. of Units/SF	City Parking Requirement	No. of Spaces Required	Parking Provided*
1 bedroom units	7 units	1 space/unit	7 spaces	7 spaces
2 bedroom units	39 units	2 spaces/unit	78 spaces	78 spaces
Visitor parking	-	1 space/unit for the first 30 units	30 spaces	7 spaces
Visitor parking	-	0.5 spaces/unit for 31 st unit and greater	8 spaces	0 spaces
Office/studio space	6,250 SF	1 space/250 SF	25 spaces	18 spaces
Total	-	-	148 spaces	110 spaces

*Two loading/temporary parking spaces will be provided in addition to the spaces noted above. These spaces are not counted towards the City's parking requirements.

EXISTING PARKING SUPPLY

P&S conducted an inventory of the on-street parking available in the vicinity of the project. The limits of the parking survey area are no more than 500 feet from the site and were determined based on a reasonable location and distance visitors would park and walk to the site. Specifically, the inventory included the on-street parking spaces on 8th Street, between C Street and A Street, on 9th Street, between E Street and Oxnard Boulevard, on C and B Streets, between 8th and 9th Street, and on A Street between 8th and just north of West Wooley Road. Within this area, there are 248 on-street spaces. A map of the parking survey area is included as Exhibit 1. Various parking restrictions exist on each block and are noted on the attached exhibit. The existing parking supply is summarized in Table 2.

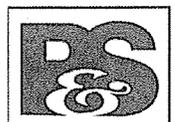


Table 2
Parking Inventory- On-street Parking Spaces

Street	Block	No. of Existing Parking Spaces
8 th Street	Between C St. & B St.	22 spaces
	Between B St. & A St.	27 spaces
9 th Street	Between E St. & C St. (north side)	24 spaces
	Between E St. & C St. (south side)	23 spaces
	Between C St. & A St.	32 spaces
	Between A St. & Oxnard Blvd.	8 spaces
C Street	Between 8 th St. & 9 th St.	20 spaces
B Street	Between 8 th St. & 9 th St.	20 spaces
A Street	Between Oxnard School District Educational Services office & 9 th St.	30 spaces
	Between 9 th St. & 8 th St.	42 spaces
Total Spaces	-	248 spaces

PARKING DEMAND SURVEY

P&S conducted a parking demand survey on Tuesday, October 23, 2007 of the surrounding on-street parking spaces. The parking counts were collected every 30 minutes from 8:00 AM until 5:00 PM. During the parking demand survey, there was a minimum of 41 spaces available within approximately 250 feet of the site. This included the parking spaces along 9th Street, between C Street and A Street, and on B Street, between 8th and 9th Street. (Thirty seven of these spaces were located within 150 feet of the site). Approximately one block from site there was an additional 66 spaces available on C Street, A Street, and 8th Street. The parking counts for the entire survey period are provided as an attachment to this letter. The parking demand by location is summarized in Table 3 and illustrated in Exhibit 2.

Table 3
Peak Parking Demand by Location

Street	Block	Spaces Occupied	Vacant Spaces	Percent Occupied
8 th Street	Between C St. & B St.	9 spaces	13 spaces	41%
	Between B St. & A St.	7 spaces	20 spaces	26%
9 th Street	Between E St. & C St. (north side)	13 spaces	11 spaces	54%
	Between E St. & C St. (south side)	15 spaces	8 spaces	65%
	Between C St. & A St.	7 spaces	25 spaces	22%
	Between A St. & Oxnard Blvd.	6 spaces	2 spaces	75%
C Street	Between 8 th St. & 9 th St.	6 spaces	14 spaces	30%
B Street	Between 8 th St. & 9 th St.	4 spaces	16 spaces	20%
A Street	Between Oxnard School District Educational Services office & 9 th St.	29 spaces	1 space	97%
	Between 9 th St. & 8 th St.	24 spaces	18 spaces	57%



SUMMARY

Penfield & Smith evaluated whether adequate on-street parking exists to accommodate both the existing uses and a portion of the visitor parking needs for the project. Based on the City's parking requirements, an additional 38 visitor spaces are needed.

All of the offsite visitor parking spaces cannot be accommodated on-street immediately adjacent and contiguous to the project's property line as required by the City of Oxnard Zoning Code 16-152.G.1.b. However, sufficient additional on-street parking is available at 9th Street and along B Street. The combination of the proposed on-site spaces and the spaces currently available on-street would meet the required parking for the project without jeopardizing the existing parking demand of the surrounding uses. This is based on the following reasons:

- During the parking demand survey there was a minimum of 127 spaces available within the entire parking survey area.
- Specifically there was a minimum of 41 spaces available immediately adjacent to the site on 9th Street and B Street.
- Many of the surrounding businesses have on-site parking lots which are currently underutilized. As a conservative analysis, the parking survey did not include the parking spaces contained in these lots. These spaces would be available should there be an increase in the area parking demand in the future for those specific properties.
- The parking demand on A Street declines after 5PM when many of the surrounding businesses are closed. Additional on-street spaces, other than those noted above, would become available for use by the visitors to the site in the evening and on weekends.

This concludes our parking study for the proposed Press Courier Lofts. Should you require any additional information or wish to discuss this study further, please contact me at (805) 963-9532 ext 121 or via e-mail at lmv@penfieldsmith.com.

Sincerely,

PENFIELD & SMITH



Lisa Valdez
Senior Transportation Planner



Attachment E:
Special Use Permit Resolution

RESOLUTION NO. 2008 – [PZ 07-500-12]

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD APPROVING PLANNING AND ZONING PERMIT NO. 07-500-12 (SPECIAL USE PERMIT), TO ALLOW THE ADAPTIVE REUSE OF EXISTING INDUSTRIAL BUILDINGS THROUGH STRUCTURAL MODIFICATIONS, PARKING GARAGE LIFTS, AND SITE IMPROVEMENTS INCLUDING LANDSCAPING, RECREATIONAL FACILITIES, INTERIOR DRIVE AISLES, AND PARKING TO PERMIT THE CONSTRUCTION OF 46 RESIDENTIAL CONDOMINIUM UNITS AND 6,000 SQUARE FEET OF OFFICE SPACE LOCATED AT 300 WEST NINTH STREET COMMONLY KNOWN AS THE PRESS COURIER BUILDING (APN 202-0-191-375 & 202-0-191-395), SUBJECT TO CERTAIN FINDINGS AND CONDITIONS. FILED BY PRESS COURIER LOFTS, LLC, 2201 STATHAM BLVD, SUITE 117, OXNARD, CA, 93033.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for Planning and Zoning Permit No. 07-500-12, filed by Press Courier Lofts, LLC, in accordance with Section 16-530 through 16-553 of the Oxnard City Code; and

WHEREAS, Section 15332 of Title 14 of the California Code of Regulations exempts the project from the requirement for the preparation of environmental documents imposed by the California Environmental Quality Act; and

WHEREAS, the Planning Commission, in accordance with Section 16-152(G)(3) of the Oxnard City Code, has reviewed the proposal to utilize parking lifts and has determined that the proposed tandem parking is appropriate for the proposed use; and

WHEREAS, Planning Commission, in accordance with Section 16-152(G)(1) of the Oxnard City Code, finds that the number of required parking spaces have been met by one or a combination of the following methods:

1. Within the subject property; and/or
2. On-street immediately adjacent and contiguous to the property line; and/or
3. Public parking lots within 700 feet of the nearest point of the subject property; and/or
4. Public parking structures within 1,000 feet of the nearest point of the subject property; and/or
5. Off-site private parking within 500 feet of the nearest point of the subject property.

WHEREAS, the Planning Commission, in accordance with Section 16-152(G)(2) of the Oxnard City Code, has reviewed the proposed parking arrangement and has determined that the proposed mix of on-site and on-street parking is appropriate for the proposed use; and

WHEREAS, the Planning Commission, in accordance with Section 16-644(B)(1) of the Oxnard City Code, has reviewed the proposed on-street loading zone and has determined that the proposed location and size are appropriate based on the nature of the use or combination of uses, as well as the specific design characteristics of the project; and

WHEREAS, in approving the Planned Residential Group with a reduced open space requirement, elimination of the requirement for a second floor balcony, and eliminating the requirement that residential parking be provided in a garages, the Planning Commission find the following circumstances exist:

1. A substantial improvement of the use of the land will be thereby effected, and there will not be any detrimental effect upon the surrounding area.
2. The residential use proposed is permitted within the zone.
3. Building shall take place substantially in conformance with plot plans and elevations submitted in support of the special use permit.
4. The applicant has demonstrated that population densities proposed are in conformance with existing and proposed public facilities such as streets, sewers, water, schools, and parks.

WHEREAS, as conditioned and in accordance with Section 16-150(G), the Planning Commission finds that the project provides at least 15% of the lot in interior yard space; and

WHEREAS, the Planning Commission finds, after due study, deliberation and public hearing that the following circumstances exist:

1. The proposed use is in conformance with the General Plan and other adopted policies of the City of Oxnard.
2. The proposed use will not adversely affect or be materially detrimental to the adjacent uses, buildings or structures or to the public health, safety or general welfare.
3. The site for the proposed use is adequate in size and shape to accommodate the setbacks, parking, landscaping, and other City standards except as may be specifically excepted by the special findings and conditions of this resolution.
4. The site for the proposed use will be served by streets and highways adequate in width and structure to carry the kind and quantity of traffic such use will generate.
5. The site for the proposed use will be provided with adequate sewerage, water, fire protection and storm drainage facilities.

WHEREAS, the Planning Commission finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby approves this permit subject to the following conditions. The decision of the Planning Commission is final unless appealed in accordance with the provisions of Section 16-545 of the Oxnard City Code.

Note: The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Public Works, Landscape Design	CE	Code Compliance

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning and Environmental Services Division (“Planning Division”), and may not be transferred from one property to another. (PL, *G-1*).
2. This permit is granted for the plans stamped approved (“the plans”) on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Planning and Environmental Services Manager (“Planning Manager”) or a major modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls. A major modification shall be required for substantial changes or increases in such items. (PL, *G-2*)
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements, or the beginning of the proposed use. (PL, *G-3*)

4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Development Services Manager allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements. (DS, G-4)
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein. (CA, G-5)
6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. Developer's commencement of construction or operations pursuant to the resolution shall be deemed to be an acceptance of all conditions thereof. (CA, G-6)
7. Any covenants, conditions, and restrictions (CC&Rs) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&Rs and the City Code or this permit, the City Code or this permit shall prevail. (CA, G-7)
8. Developer shall complete the "Notice of Land Use Restrictions and Conditions" form, using the form provided by the City, for recording with the Ventura County Recorder. Before the City issues building permits, Developer shall submit the original completed, signed and notarized document, together with the required fees to the Planning Manager. (PL, G-8)
9. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property. (PL/B, G-10)
10. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit. (B, G-11)
11. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property. (FD, G-12)
12. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief. (FD, G-13)

13. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code. (CA, G-14)
14. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property. (PL, G-15).

LANDSCAPE STANDARD CONDITIONS

15. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Development Services Division and obtain approval of such plans. (PK/DS, PK-2)
16. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems that have been approved by Parks and Facilities Superintendent. (PK, PK-3)
17. Developer shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so will result in the revocation of this permit and initiation of legal proceedings against Developer. (PK, PK-4)
18. Before the City issues a certificate of occupancy, Developer shall provide a watering schedule to the building owner or manager and to the Parks and Facilities Superintendent. The irrigation system shall include automatic rain shut-off devices, or instructions on how to override the irrigation system during rainy periods. (PK, PK-5)
19. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit. (PK, PK-6)
20. Developer shall install an irrigation system that includes a water sensor shut off device as a water conservation measure. (PK, PK-22)

LANDSCAPE SPECIAL CONDITIONS

21. Prior to the issuance of building permits, Developer shall illustrate on the landscape and irrigation plan all of the existing trees on the project site and identify the trees to be saved, transplanted, or removed.

22. The Arborist's Tree Report, dated August 22, 2007, submitted by the Developer established the economic value of the existing trees found on the project site at \$58,275. On the landscape plan submitted to the Planning Commission, the Developer proposes to remove \$40,473 worth of trees. The landscape plan also demonstrates that the Developer intends to reinvest \$13,500 into the trees that will be planted on the site by increasing the size of the new trees above the minimum tree size of 24" box as approved by the Parks and Facilities Superintendent. Prior to the issuance of building permits and through a new landscape plan, the Developer shall demonstrate how the total \$40,473 will be reinvested on-site by increasing the size of new trees above the minimum tree size of 24" box as approved by the Parks and Facilities Superintendent. If the landscape plan submitted for building permits does not demonstrate how the remaining \$26,973 ($\$40,473 - \$13,500 = \$26,973$) will be reinvested on-site, the developer shall pay the remaining amount to the Community Development Commission to be used towards street landscape improvements in the Central City Revitalization Project area. If it is determined at the time of building permit plan check that additional trees must be removed the value of those additional trees must also be reinvested in the project landscaping, or paid to the Community Development Commission, accordingly. Prior to the issuance of a certificate of occupancy, the Parks and Facilities Superintendent shall confirm that the increased sized trees illustrated on the approved landscape plan have been planted.

FIRE DEPARTMENT STANDARD CONDITIONS

23. Developer shall construct all vehicle access driveways on the project property to be at least 25 feet wide. Developer shall mark curbs adjacent to designated fire lanes in parking lots to prohibit stopping and parking in the fire lanes. Developer shall mark all designated fire lanes in accordance with the California Vehicle Code. Excepted from this condition is the existing drive aisle that connects the on-site east and west parking areas as shown on the project plans. (FD/B, *F-1*)
24. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Fire Chief and in compliance with the City Code. (FD, *F-2*)
25. Before the City issues building permits, Developer shall obtain the Fire Chief's approval of a plan to ensure fire equipment access and the availability of water for fire combat operations to all areas of the project property. The Fire Chief shall determine whether or not the plan provides adequate fire protection. (FD/DS, *F-3*)
26. At Developer's expense, Developer shall obtain two certified fire flow tests for the project property. The first test shall be completed before City approval of building plans and the second shall be completed after construction and prior to the issuance of a certificate of occupancy. A mechanical, civil, or fire protection engineer must certify the tests. Developer shall obtain permits for the tests from the Engineering Division. Developer shall send the results of the tests to the Fire Chief and the City Engineer. (FD/DS, *F-4*)

27. All structures on the project property shall conform to the minimum standards prescribed in Title 19 of the California Code of Regulations. (FD, *F-5*)
28. The project shall meet the minimum requirements of the "Fire Protection Planning Guide" published by the Fire Department. (FD, *F-6*)
29. At all times during construction, developer shall maintain paved surfaces capable of handling loads of 46,000 pounds which will provide access for fire fighting apparatus to all parts of the project property. (FD/DS, *F-7*)
30. Developer shall identify all hydrants, standpipes and other fire protection equipment on the project property as required by the Fire Chief. (FD, *F-8*)
31. Developer shall install security devices and measures, including walkway and vehicle control gates, entrance telephones, intercoms and similar features, subject to approval of the Police Chief and the Fire Chief. Vehicle control gates shall be operable by City approved radio equipment. (FD/PD, *F-9*)
32. Developer shall provide central station monitoring of the fire sprinkler system and all control valves. (FD, *F-10*)
33. The turning radius of all project property driveways and turnaround areas used for emergency access shall be a minimum of 48 feet outside diameter for a semi-trailer. (FD, *F-11*)
34. Developer shall provide automatic fire sprinklers as required by the City Code and shall contact the Fire Chief to ascertain the location of all connections. (FD, *F-12*)
35. Developer shall install in each structure in the project a detection/alarm system with a central station monitor that will automatically notify the Fire Department in the event of a fire in the structure. The alarm system shall include a UL or State Fire Marshal approved device, which shall not exceed design specifications, that reports the location of the fire and allows the central station monitor to inform the Fire Department of the point of entry into the structure that is nearest the fire. (FD, *F-13*)
36. Developer shall install a carbon monoxide detector on each level of the residence in accordance with the manufacturer's specifications. The detector shall be hardwired with a battery backup. (FD, *F-17*)

FIRE DEPARTMENT SPECIAL CONDITIONS

37. Fire sprinkler coverage is required for:
 - a. Patios, overhangs or any other projections that are 48" or more from the structure.
 - b. Open areas beneath stairs that serve a habitable space or when that area is accessible for storage or has mechanical equipment.
 - c. The protection of the forced air unit when located in the attic or other areas that are normally inaccessible. (FD)
38. All emergency egress/Fire Department access windows or doors that serve any room that can be utilized for sleeping shall have access to a public right-of-way without re-entering the unit as it relates to the building code. (FD)
39. Prior to the issuance of a certificate of occupancy, the Developer shall underground all of the utility lines that run along the western property line so that they do not interfere with Fire Department fire fighting and/or rescue operations in case of an emergency. (FD)
40. Prior to the issuance of a certificate of occupancy, the Developer shall install a Knox Box key vault at a location on the building to be determined by the Fire Department. (FD)

PLANNING DIVISION STANDARD CONDITIONS

41. The final building plans submitted by Developer with the building permit application shall depict on the building elevation sheets all building materials and colors to be used in construction. (PL/B, *PL-1*)
42. Any application for a minor modification to the project shall be accompanied by four copies of plans reflecting the requested modification, together with applicable processing fees. (PL, *PL-2*)
43. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project. (PL, *PL-3*)
44. Before the City issues building permits, Developer shall provide to the Planning Division Manager color photographic reductions (8 1/2" by 11") of full-size colored elevations and any other colored exhibit approved by the Planning Commission. Developer may retain the full-size colored elevations after the reductions are so provided. (PL, *PL-4*)
45. Developer acknowledges that because of population limitations placed on the City by the Air Quality Management Program, approval of this permit does not guarantee that the City will issue building permits. The City's issuance of building permits may be delayed as a result of implementation of an air quality plan. (PL, *PL-5*)

46. Developer may not modify any use approved by this permit unless the Planning Division Manager determines that Developer has provided the parking required by the City Code for the modified use. (PL, *PL-7*)
47. During the plan check review process, the Developer shall provide a lighting plan that provides design details (light standards, bollards, wall mounted packs, etc.) and illumination site information within alleyways, pathways, streetscapes, and open spaces proposed throughout the development. An electrical engineer shall prepare the site lighting plan demonstrating that adequate lighting ranges will be provided throughout the development without creating light spillover, light pollution, or conflicts with surrounding factors such as tree locations, off-site or adjacent lighting. (PL)
48. Prior to issuance of building permits, Developer shall demonstrate that light standards illustrated on conceptual lighting plan do not conflict with tree locations. Developer shall submit a plan showing both the lighting and landscape on the same sheet. (PL)
49. In order to minimize light and glare on the project property, all parking lot and exterior structure light fixtures shall be high cut-off type that divert lighting downward onto the property and shall not cast light on any adjacent property or roadway. (PL, *PL-9*)
50. During construction, Developer shall water the area to be graded or excavated prior to commencement of grading or excavation operations. Such application of water shall penetrate sufficiently to minimize fugitive dust during grading activities. (B/DS, *PL-11*)
51. During construction, Developer shall control dust by the following activities:
 - a. All trucks hauling graded or excavated material offsite shall be required to cover their loads as required by California Vehicle Code section 23114, with special attention to sub sections 23114(b)(2)(F), (e)(2) and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads.
 - b. All graded and excavated material, exposed soils areas, and active portions of the construction site, including unpaved onsite roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally-safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible. (B/DS, *PL-12*)
52. Developer shall provide for dust control at all times during project property preparation and construction activities. (B/DS, *PL-13*)
53. Developer agrees to participate in a water conservation program that includes refitting water fixtures existing on the project property with water conserving devices within residences or businesses in the City's water service area, if such a program is in effect when building permits are issued for this project. Among the requirements of such a program might be refitting existing toilets, faucets, shower heads, landscaping irrigation or other fixtures and items that consume water within the structure. (PL, *PL-14*)

54. Because of water limitations placed upon the City by its water providers, approval of this permit does not guarantee that the City will issue building permits. Issuance of building permits may be delayed as a result of implementation of a water conservation or allocation plan. (PL, *PL-15*)
55. Prior to issuance of building permits, Developer shall pay a document imaging fee for the planning files in an amount calculated by planning staff at the time of building permit review based on fees then in effect. (PL/B, *PL-16*).
56. Developer shall provide elevators in structures of three stories or more, except where the third story consists entirely of upper levels of residence that have entrances at the first or second story. This condition will be waived for Area 2 if it is demonstrated that the project meets the Building Code requirements. (PL/B, *PL-17*)
57. Before the City issues building permits, Developer shall provide to the Planning Division Manager a disk in DWG format of a 100-foot scale site plan of the project as approved. (PL, *PL-50*)
58. Developer shall install all rain gutters and downspouts to integrate as closely as possible with building design elements, including matching adjacent building colors as closely as possible. Developer shall submit a plan and scheme for approval by the Planning Division Manager prior to issuance of building permits. (PL, *PL-18*)
59. Developer shall provide utility meters, mailboxes and address directories, placed in decorative cabinets and clustered for efficient access for residents and service persons. Developer shall coordinate placement and design of such items accordingly, with the Planning Division Manager, the appropriate utility service provider and the United States Postal Service, prior to issuance of building permits. (PL, *PL-19*)
60. Developer shall provide automatic garage door openers for all garages. (PL/B, *PL-20*)
61. Developer shall establish a homeowners association and the association shall be responsible for the maintenance of parking, landscape, recreation and other interior areas held in common by the association and for the enforcement of Conditions Covenants & Restrictions related to property maintenance. (PL/DS, *PL-33*)
62. Developer shall construct each dwelling unit with separate utility systems and meters. Developer shall paint utility meter panels to match structures upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-ways, to the maximum extent feasible. (DS/B, *PL-34*)
63. Developer shall include in all deeds for the project and in the Conditions Covenants & Restrictions a prohibition against parking recreational vehicles over 20 feet long in the project. (CE/PL, *PL-35*)

64. Developer shall pay Quimby Fees (fees for park acquisition and improvement) before issuance of building permits. The amount of the fee shall be calculated by the Planning Division, and verified by the Parks Division at the time of payment. (PK/B, *PL-36*)
65. Developer shall post in the sales office of the project the latest City planning documents and maps that may affect the project and adjacent properties. At a minimum, this information shall include the 2020 Oxnard General Plan and General Plan Land Use Map showing all adjacent properties, a copy of the ordinances regulating the zone, any specific plan that may apply to the project, and this resolution. Such documents may be purchased at cost from the Planning Division Manager. Developer shall require that all purchasers sign an affidavit declaring that they have familiarized themselves with the planning documents and project conditions. Developer shall make such affidavits and planning information available for review upon reasonable request of the Planning Division Manager. (PL, *PL-38*)
66. Where feasible and economically reasonable, Developer shall locate individual unit plumbing within individual unit walls, as opposed to common or shared walls, and shall paint roof vents to match the roofing material. (PL/B, *PL-40*)
67. Developer shall recess or screen roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Developer shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color. (PL/B, *PL-41*)
68. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-ways, to the maximum extent feasible. (PL, *PL-43*)
69. Prior to issuance of a certificate of occupancy, Developer shall remove all construction materials and vehicles from the subject property. (PL/B, *PL-47*)

PLANNING DIVISION SPECIAL CONDITIONS

70. Developer shall remove any and all graffiti from the project premises, including but not limited to graffiti within the building, such as in restrooms or fitting rooms, within 24 hours of its appearance. The surface of such affected areas shall be matched to blend in with the underlying colors and/or design, and shall not look like a paint patch. (PL)

71. In accordance with Community Development Commission Resolution No. 111, or the ordinance in effect at the time building permits are issued, Developer shall pay the current **in-lieu affordable housing** fees, to be calculated at the time of building permit issuance. (PL)
72. For the life of the project, the Developer, or any subsequent owner, shall not convert the office space illustrated in the Garden Level Floor Plan of Area 3 to residential use. This restriction shall be inserted into the Covenants, Conditions and Restrictions (“CC&Rs”) developed for the project and provided to any individual or business entity purchasing such office space. (PL)
73. For the life of the project, the storage spaces illustrated on the Garden Level Floor Plan of Area 3 shall be for the exclusive use of the residential condominium owners or the Home Owner’s Association (“HOA”). These storage spaces shall not be leased, sold, or used in any way by anyone other than the residential condominium owners or the HOA. This restriction shall be inserted into the Covenants, Conditions and Restrictions (“CC&Rs”) developed for the project and provided to any individual or business entity purchasing a residential condominium. (PL)
74. For the life of the project, the Multipurpose/Conference Rooms illustrated on the First Floor Plan of Area 3 shall be for the exclusive use of the residential condominium owners or the Home Owner’s Association (“HOA”). These Multipurpose/Conference Rooms shall not be leased, sold, or used in any way by anyone other than the residential condominium owners or HOA. This restriction shall be inserted into the Covenants, Conditions and Restrictions developed for the project and provided to any individual or business entity purchasing a residential condominium. (PL)
75. For the life of the project, the Multipurpose/Conference Rooms illustrated on the First Floor Plan of Area 3 shall not be converted to residential use. (PL)
76. Prior to the issuance of building permits, Developer shall provide a Graffiti Deterrent Plan, subject to the approval the Planning Division Manager. Such plan shall include such elements as clear film on windows and/or mirrors, as well as washable paint and sealers on the building and perimeter walls. (PL)
77. This permit is granted subject to the City’s approval of a tentative map and final map and recordation of the final map. The City shall issue building permits only after such recordation, unless otherwise approved by both the Planning Division Manager and the Development Services Manager. Before occupying any structures or initiating any use approved by this permit, Developer shall comply with all conditions of the tentative and final map. (PL/DS)
78. Developer shall participate in the City's Art in Public Places Program by paying the Public Art fee prior to issuance of building permits, in accordance with City Council Resolution No. 13,103. (PL)

79. Prior to the issuance of certificate occupancy, the Developer shall post the five parking stalls outside of the projects gates along Ninth Street limiting the parking to a maximum of one hour. This restriction shall be inserted into the Covenants, Conditions and Restrictions developed for the project and provided to any individual or business entity purchasing a residential or office condominium. The Home Owner's Association shall be responsible for enforcing this restriction. (PL)
80. Prior to the issuance of certificate occupancy, the Developer shall post the entry gate at Ninth Street to direct guests to park on the adjacent public streets. Guests shall be restricted from parking within the project boundaries and this restriction shall be inserted into the Covenants, Conditions and Restrictions ("CC&Rs") developed for the project and provided to any individual or business entity purchasing a residential or office condominium. The Home Owner's Association (HOA) shall be responsible for enforcing this restriction. This restriction shall be inserted into the CC&Rs developed for the project and provided to any individual or business entity purchasing a residential or office condominium. The HOA shall be responsible for enforcing this restriction. (PL)
81. For the life of the project, the studio and one bedroom units shall be provided with a carport instead of a parking bay lift. The parking bay lifts shall be preserved for the two or three-bedroom units. The owners of the office condominium and their employees shall not have access to the parking bay lifts unless they also own one of the residential units. This restriction is to prevent the parking bay lifts from having to be shared and to the preserve the functionality of the lifts. This restriction shall be inserted into the Covenants, Conditions and Restrictions developed for the project and provided to any individual or business entity purchasing a residential. The Home Owner's Association shall be responsible for enforcing this restriction. (PL)
82. For the life of the project, the parking bay lifts must be in working order and shall not be used for storage or any use other than parking motor vehicles. The Home Owner's Association (HOA) shall be responsible for maintaining the lifts in working order and shall be responsible for paying any necessary repairs to the lifts from special HOA fees charged to the condominium units that have lifts. The condominium units that do not have a lift shall not be assessed HOA fees for the maintenance of the lifts. The HOA shall be responsible for monitoring the condition the lifts and shall take immediate action against owners that convert the parking bay lifts to any use other than parking. This condition shall be inserted into the Covenants, Conditions and Restrictions ("CC&Rs") developed for the project and provided to any individual or business entity purchasing a residential condominium. (PL)
83. Prior to the issuance of building permits, all units shall have a minimum size of 450 net square feet. For the life of the project, none of the units shall be retrofitted to be less than 450 net square feet. (PL)

84. For the life of the project, bedrooms may not be added to the one bedroom units. This would result in a shortage of parking for the project. This restriction shall be inserted into the Covenants, Conditions and Restrictions developed for the project and provided to any individual or business entity purchasing a residential condominium. The Home Owner's Association shall be responsible for monitoring this restriction. (PL)
85. For the life of the project, none of the 46 units may be subdivided to create additional units. This would result in a shortage of parking for the project. This restriction shall be inserted into the Covenants, Conditions and Restrictions developed for the project and provided to any individual or business entity purchasing a residential condominium. The Home Owner's Association shall be responsible for monitoring this restriction. (PL)
86. For the life of the project, bedrooms may not be added to the ground floor units that are against the public alley on the western property line in Area 1 and Area 2. For safety reasons bedroom windows shall not be against the alley. This restriction shall be inserted into the Covenants, Conditions and Restrictions developed for the project and provided to any individual or business entity purchasing a residential condominium. The Home Owner's Association shall be responsible for monitoring this restriction. (PL)
87. Prior to the issuance of building permits, Developer shall provide all of the plans necessary to construct photo-voltaic solar panel arrays in same or similar location as illustrated on sheet A-124. The solar panel arrays are provided to supplement power to the Home Owners Association house panel. To be sized and design by Developer's electrical engineer for such panel. Prior to issuance of Certification of Occupancy, the illustrated solar panels arrays shall be installed. The solar arrays shall remain in operating condition for the life of the project. The Home Owner's Association (HOA) shall be responsible for monitoring the condition of the solar panels and shall also be responsible for paying for any necessary repairs from established HOA fees (i.e. no special assessment). (PL)
88. For the life of the project, all personal effects of condominium owners with roof top decks shall remain in the confines of the private deck area. Plants, outdoor furniture, and such shall not spill over onto the roof areas adjacent to the rooftop decks. This restriction shall be inserted into the Covenants, Conditions and Restrictions developed for the project and provided to any individual or business entity purchasing a residential condominium. The Home Owner's Association shall be responsible for enforcing this restriction. (PL)
89. Prior to the issuance of building permits, Developer shall provide a working set of plans to the Planning Division for the file. Interior alterations will not require the issuance of a Major or Minor Modification Permit so long as there is not an increase in the number of units or bedrooms added to the project. Minor exterior alterations will require the issuance of a Minor Modification Permit to assure that the project remains in compliance with the original approval. (PL)

90. Prior to the issuance of building permits, Developer shall redesign the plans to eliminate the finger planter within the westerly row of parking to provide one additional on-site parking space. (PL)
91. Prior to the issuance of building permits, Developer shall remove the two motorcycle parking stalls within the project site and the non-conforming temporary parking space and the landscaped area in the terminal landscape planter, at the center of the site, so that this landscaped area may count towards the required 15% IYS as shown on the Open Space Diagram illustrated on Sheet A-101.
92. Each of the residential condominium owners shall have access to at least 225 cubic feet of storage space. Prior the issuance of building permits, Developer shall submit a plan illustrating where each unit will be provided the 225 cubic feet of storage space and the plan shall be approved by the Planning Division Manager. This requirement shall be inserted into the Covenants, Conditions and Restrictions developed for the project and provided to any individual or business entity purchasing a residential condominium. The Deed of each residence shall reflect where the allocated storage space is located.
93. Prior to the issuance of a Certificate of Occupancy, the Covenants, Conditions and Restrictions developed for the project shall be submitted to the Planning Manager for review and approval.

Air Quality

94. Developer shall ensure that all construction equipment is maintained and tuned to meet applicable Environmental Protection Agency and California Air Resources Board emission requirements. At such time as new emission control devices or operational modifications are found to be effective, Developer shall immediately implement such devices or operational modifications on all construction equipment. (C-1)
95. At all times during construction activities, Developer shall minimize the area disturbed by clearing, grading, earth moving, or excavation operations to prevent excessive amounts of dust. (C-3)
96. During construction, Developer shall water the area to be graded or excavated prior to commencement of grading or excavation operations. Such application of water shall penetrate sufficiently to minimize fugitive dust during grading activities. (C-4)

97. During construction, Developer shall control dust by the following activities:
- a. All trucks hauling graded or excavated material offsite shall be required to cover their loads as required by California Vehicle Code §23114, with special attention to Sections 23114(b)(F), (e)(2) and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads.
 - b. All graded and excavated material, exposed soils areas, and active portions of the construction site, including unpaved onsite roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally-safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible. (C-5)
98. During periods of high winds (i.e. wind speed sufficient to cause fugitive dust to impact adjacent properties), Developer shall cease all clearing, grading, earth moving, and excavation operations to prevent fugitive dust from being a nuisance or creating a hazard, either onsite or offsite. (C-7)
99. Throughout construction, Developer shall sweep adjacent streets and roads at least once per day at any time when construction activity cause dirt/debris to be tracked off the site, preferably at the end of the day, so that any visible soil material and debris from the construction site is removed from the adjacent roadways. (C-8)
100. Prior to grading permit approval, Developer shall include on the grading plans a reproduction of all conditions of this permit pertaining to dust control requirements. (PL)

ENVIRONMENTAL RESOURCES DIVISION

101. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused or recycled, Developer shall complete and submit a “City of Oxnard C&D Environmental Resources Management & Recycling Plan” (“Plan”) to the City for review and approval. The Plan shall provide that at least 50% of the waste generated on the project be diverted from the landfill. The Plan shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The Plan shall be submitted to and approved by the Environmental Resources Division prior to issuance of a building permit. The Plan shall include the following information: material type to be recycled, reused, salvaged or disposed; estimated quantities to be processed; management method used; destination of material including the hauler name and facility location. Developer shall use the Plan form.

102. Developer shall follow the approved “City of Oxnard C&D Environmental Resources Management & Recycling Plan” and provide for the collection, recycling, and/or reuse of materials (i.e., concrete, wood, metal, cardboard, green waste, etc.) and document results during construction and/or demolition of the proposed project. After completion of demolition and/or construction, Developer shall complete and submit the “City of Oxnard C&D Environmental Resources Management & Recycling Report For Work Completed” (“Work Completed Report”) and provide legible copies of weight tickets, receipts, or invoices for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, Developer shall provide documentation, on the disposal facility’s letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused, and the project generating the discarded materials. Developer shall submit and obtain approval of the Work Completed Report prior to issuance of a certificate of occupancy.
103. Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Environmental Resources Division or Developer shall arrange for self-hauling to an authorized facility.
104. Covenants, conditions and restrictions (“CC&Rs”) shall be developed for the project that require the homeowner’s association to make provisions to divert at least 50% of the material through source reduction, recycling, reuse, and/or green waste programs. Developer shall submit a “City of Oxnard C&D Environmental Resources Management & Recycling Occupancy Plan” (“Occupancy Plan”) to the City’s Environmental Resources Division. An Occupancy Plan must be submitted and approved prior to issuance of a final inspection. The CC&Rs shall require the homeowner’s association to submit to the Environmental Resources Division a “City of Oxnard C&D Environmental Resources Management & Recycling Occupancy Report” annually on the anniversary date of the certificate of the final inspection for approval.
105. Developer shall dispose of sewage and solid waste from the project by City’s wastewater and solid waste systems in a manner approved by the City Engineer.
106. Developer shall construct triple-bin trash enclosures (one bin for recycle use) with a solid non-combustible roof (8-foot minimum clearance) that prevents stormwater from entering the refuse bins. Developer shall construct all other components of the trash enclosure in accordance with the approved City Standard Plan on file with the Development Services Division. Developer shall finish the trash enclosure to match the major design elements of the main structure. The finish and roof appearance shall be indicated on the building plans and are subject to approval by the Planning Division. The location and configuration of trash enclosures shall be reviewed and approved by the Environmental Resources Division. All refuse bins on the site shall be stored in an approved trash enclosure. No objects other than refuse bins may be stored in the trash enclosure without the written permission of the Environmental Resources Division.

107. Developer shall construct triple-bin trash enclosures (one bin for recycle use) with a solid non-combustible roof (8-foot minimum clearance) that prevents stormwater from entering the refuse bins. Developer shall provide a traffic rated, grated trench drain (or other approved drain) along the inside front edge of the trash enclosure to catch all wash water from the trash enclosure. This drain shall connect to the sanitary sewer system via a grease interceptor or sand/oil interceptor if Public Works determines a grease interceptor or sand/oil interceptor is required under the City Code at time of plan check. Developer shall construct all other components of the trash enclosure in accordance with the approved City Standard Plan on file with the Development Services Division. Developer shall finish the trash enclosure to match the major design elements of the main structure. The finish and roof appearance shall be indicated on the building plans and are subject to approval by the Planning Division. The location and configuration of trash enclosures shall be reviewed and approved by the Environmental Resources Division. All refuse bins on the site shall be stored in an approved trash enclosure. No objects other than refuse bins may be stored in the trash enclosure without the written permission of the Environmental Resources Division.
108. RECYCLING: Developer and operator shall install clearly labeled storage containers in the kitchen base cabinet within each unit to facilitate separate disposal of recyclable and non-recyclable waste typically generated by residents. The location and specifications (size, materials, etc.) of such storage unit shall be shown on the construction document floor plans submitted to the City for building permits. Recycling guidelines shall be clearly posted on the door of the storage cabinet. The intent of this mitigation measure is to create a situation wherein recycling is as convenient for project residents as disposing of trash.
109. RECYCLING: Developer and operator shall provide convenience recycling containers near the point of use in common areas for residents and guests to dispose of their recyclable waste (examples: indoors for newspapers and beverage containers; outdoors for beverage containers) that may be used while using the common areas. Containers used exclusively for recycling shall be clearly identified as "recycling only" with clear icons or other graphics on each container appropriate to the container's content.

DEVELOPMENT SERVICES DIVISION STANDARD CONDITIONS

110. Developer shall pay plan check and processing fees in effect at the time of construction plan submittal and shall pay development fees, encroachment permit fees, and other applicable fees in effect at the time the City issues building permits. (DS-1)
111. Developer's Engineer shall design parking lot structural sections based on an analysis of the soils R-value and a traffic index (T.I.) approved by the City Engineer. The minimum structural section for parking lots is two inches of asphalt on four inches of base material. Developer shall show the proposed structural section on the site improvement plans. (DS-2)

112. Developer shall have the site improvement plans prepared on standard Development Services Division mylars by a civil engineer licensed in the State of California. The plans shall incorporate recommendations from soil engineering and geology reports. Prior to issuance of a grading permit, improvement plans must be approved by the City Engineer and the original ink-on-mylar plans filed with the Development Services Division. (DS-3)
113. Developer shall submit improvement plans and drainage calculations that demonstrate that storm drainage from the project property and all upstream areas will be safely conveyed to an approved drainage facility. The design and conveyance route shall be compatible with the City's Master Plan of Drainage and shall be approved by the City Engineer prior to approval of improvement plans. (DS-4)
114. Developer shall protect building pads from inundation during a 100-year storm. (DS-5)
115. Developer shall remove and replace all improvements that are damaged during construction. (DS-6)
116. Before connecting the project to existing sewer and water service laterals, Developer shall arrange for City staff to inspect such facilities. Developer shall make such repairs to such facilities as City staff determines to be necessary. Developer shall bring all existing water services into compliance with City standards. (DS-7)
117. Each structure shall be served by separate sewer and water services. There shall be no interconnections between structures. (DS-8)
118. Curb cut widths and design shall conform to City ordinances, standards, and policies in effect at the time City issues an encroachment permit. (DS-9)
119. Where a separate loop or terminal line is required for water mains, fire hydrants or fire sprinkler systems, Developer's site improvement plans shall include an on-site water plan. (DS-11)
120. Developer shall enter into an agreement, approved as to form by the City Attorney, to install and construct all public improvements required by this permit and by the City Code and shall post security satisfactory to the Finance Director, guaranteeing the installation and construction of all required improvements within the time period specified in the agreement or any approved time extension. (DS-14)

121. A civil engineer licensed in the State of California shall prepare the public improvement plans and documents for this project in accordance with City standards and shall submit all such plans to the City Engineer. Such plans and documents shall include, but not be limited to, grading, street, drainage, sewer, water and other appurtenant improvement plans; a master utility plan showing the layout and location of all on-site and off-site utility improvements that serve the project; construction cost estimates, soils reports, and all pertinent engineering design calculations. City will not accept an application for the final map or parcel map for the project or issue a grading, site improvement or building permit until the City Engineer has approved all improvement plans. (DS-15)
122. Developer shall provide all necessary easements for streets, highways, alleys, sidewalks, breezeways, parkways, landscaping, utilities, drainage facilities, and other improvements as required by City. If such easements cannot be obtained from the property owner by negotiation, City may acquire them at the expense of Developer by exercise of the power of eminent domain. Developer shall bear all costs of eminent domain proceedings, including appraisal, acquisition, attorney's fees, and court costs. Before City issues a site improvement permit, Developer shall dedicate all required easements to City. (DS-19)
123. Developer shall remove graffiti from the project, including graffiti on offsite public infrastructure under construction by Developer, within 24 hours of its appearance. If Developer fails to remove graffiti in accordance with this condition, the City may at the discretion of the Development Services Manager issue a stop work order until such time as the graffiti is removed. (DS-20)
124. The conditions of this resolution shall prevail over all omissions, conflicting notations, specifications, dimensions, typical sections, and the like, that may or may not be shown on the improvement plans. (DS-21)
125. Developer shall pay the cost of all inspections of on-site and off-site improvements. (DS-22)
126. Developer shall be responsible for all project-related actions of Developer's employees, contractors, subcontractors, and agents until City accepts the improvements. (DS-23)
127. Prior to beginning construction, Developer shall designate in writing an authorized agent who shall have complete authority to represent and to act for Developer. The authorized agent shall be present at the work site whenever work is in progress. Developer or the authorized agent shall make arrangements acceptable to City for any emergency work. When City gives orders to the authorized agent to do work required for the convenience and safety of the general public because of inclement weather or any other cause, and the orders are not immediately acted upon by the authorized agent, City may do or have such work done by others at Developer's expense. (DS-24)

128. "Standard Specifications for Public Works Construction," latest edition, and any modifications thereto by City, and City of Oxnard Standard Land Development Specifications and all applicable City Standard Plans, shall be the project specifications, except as noted otherwise on the approved improvement plans. City reserves the right to upgrade, add to, or revise these specifications and plans and all other City ordinances, policies, and standards. If the improvements required of this project are not completed within 12 months from the date of City's approval of the improvement plans, Developer shall comply with and conform to any and all upgraded, additional or revised specifications, plans, ordinances, policies and standards. (DS-27)
129. Developer shall retain a Civil Engineer licensed in the State of California to ensure that the construction work conforms to the approved improvement plans and specifications and to provide certified "as-built" plans after project completion. Developer's submittal of the certified "as-built" plans is a condition of City's final acceptance of the project. (DS-29)
130. All grading shall conform to City's grading ordinance and any recommendations of Developer's soils engineer that have been approved by the City Engineer. Developer shall conform to all applicable notes specified on the site improvement/grading plan cover sheet and grading permit. (DS-30)
131. In order to mitigate any potential flooding or erosion affecting adjacent properties and public rights-of-way, Developer shall construct required drainage facilities concurrently with the rough grading operations, or with prior approval of the City Engineer, provide interim drainage improvements on a temporary basis. (DS-31)
132. Storm drain, sewer and water facilities shall conform to applicable City Master Plans. Developer shall prepare plans for these facilities in accordance with City's engineering design criteria in effect at the time of improvement plan submittal. Developer shall submit plans with pertinent engineering analyses and design calculations for review and approval by the City Engineer prior to issuance of a site improvement permit. (DS-34)
133. Each lot shall drain into a street, alley, or approved drain so that there will be no undrained depressions. (DS-35)
134. Prior to issuance of a site improvement permit, Developer shall provide to the City Engineer easements or written consents from all affected landowners for any diversion of historical flows or change in drainage conditions caused by the project, as evidence that such landowners accept any additional water flowing over their property. (DS-36)
135. Developer shall dispose of sewage and solid waste from the project by City's wastewater and solid waste systems in a manner approved by the City Engineer. (DS-38)
136. Developer shall install water mains, fire hydrants and water services in conformance with City Standard Plans and specifications as directed by the City Engineer. (DS-41)

137. Developer shall install adequately sized water services and meters to each lot or unit in accordance with City standards in effect at the time City issues building permits. There shall be no interconnections between structures. (DS-42)
138. Prior to issuance of building permits, Developer shall present to the City Engineer a "Proof of Payment - Authorization for Building Permits" form issued by the Calleguas Municipal Water District. (DS-44)
139. Developer shall install City approved backflow prevention devices for water connections if so ordered by the City Engineer. (DS-45)
140. Prior to designing the water system for the project, Developer shall have a certified fire flow test performed to determine existing water pressure and flow characteristics. The water system shall be designed to allow for a 10 psi drop in the static water pressure measured during the fire flow test. After construction and before City issues a certificate of occupancy, the City Engineer may require a second test. Before performing the tests, Developer shall obtain permits from the City Engineer. Developer shall have all tests certified by a mechanical, civil, or fire protection engineer and provide written results of all tests to the City Engineer. (DS-47)
141. Developer shall submit a landscape irrigation plan prepared by a licensed professional, showing proper water meter size, backflow prevention devices, and cross-connection control. (DS-59)
142. Developer shall be responsible for and bear the cost of replacement of all existing survey monumentation (e.g., property corners) disturbed or destroyed during construction, and shall file appropriate records with the Ventura County Surveyor's Office. (DS-64)
143. Developer shall provide adequate vehicle sight distance as specified by CalTrans specifications at all driveways and intersections. (TR-71)
144. Developer, property owner or tenant shall participate in a Traffic Management Association (TMA) if one is formed and shall implement and participate in all programs and strategies established by the TMA. This condition shall be included in all leases and rental agreements for the project property. (TR-72)
145. Prior to issuance of a building permit, pavement marking and sign plans shall be prepared by a registered California civil engineer and approved by the City Engineer prior to issuance of a grading, site improvement or a building permit. (TR-74)
146. Prior to issuance of an encroachment permit, Developer's shall obtain City's approval of a contractor qualified to install pavement markings and signs. (TR-76)

STORMWATER QUALITY CONDITIONS

147. Developer shall comply with all National Pollutant Discharge Elimination System (NPDES) permit Best Management Practice (BMP) requirements in effect at the time of grading or building permit issuance. Requirements shall include, but not be limited to, compliance with the Ventura Countywide Stormwater Quality Urban Impact Mitigation Plan (SQUIMP). (DS-78)
148. Developer shall construct triple-bin trash enclosures (one bin for recycle use) with a solid non-combustible roof (8-foot minimum clearance) that prevents storm water from entering the refuse bins. Developer shall construct all other components of the trash enclosure in accordance with the approved City Standard Plan on file with the Development Services Division. Developer shall finish the trash enclosure to match the major design elements of the main structure. The finish and roof appearance shall be indicated on the building plans and are subject to approval by the Planning Division. The location and configuration of trash enclosures shall be reviewed and approved by the Solid Waste Collection Division. All refuse bins on the site shall be stored in an approved trash enclosure. No objects other than refuse bins may be stored in the trash enclosure without the written permission of the Solid Waste Collection Division. (DS-79)
149. Developer shall design parking lot and other drive areas to minimize degradation of storm water quality. Using Best Management Practices (BMPs), such as oil and water separators, sand filters, landscaped areas for infiltration, basins or approved equals, Developer shall intercept and effectively prevent pollutants from discharging to the storm drain system. The storm water quality system design shall be approved by the City Engineer prior to the issuance of a site improvement permit. (DS-81)
150. Using forms provided by the Development Services Division, Developer shall submit a storm water quality control measures maintenance program ("the Program") for this project. If the BMPs implemented with this project include proprietary products that require regular replacement and/or cleaning, Developer shall provide proof of a contract with an entity qualified to provide such periodic maintenance. The property owner is responsible for the long-term maintenance and operation of all BMPs included in the project design. Upon request by City, property owner shall provide written proof of ongoing BMP maintenance operations. No grading or building permit shall be issued until the Development Services Manager approves the Program and Developer provides an executed copy for recordation. (DS-82)
151. Developer shall maintain parking lots free of litter and debris. Developer shall sweep sidewalks, drive aisles, and parking lots regularly to prevent the accumulation of litter and debris. When swept or cleaned, debris must be trapped and collected to prevent entry into the storm drain system. Developer may not discharge any cleaning agent into the storm drain system. (DS-84)

152. Prior to issuance of a grading permit or commencement of any clearing, grading or excavation, Developer shall provide the City Engineer with a copy of a letter from the California State Water Resources Control Board, Storm Water Permit Unit assigning a permit identification number to the Notice of Intent (NOI) submitted by Developer in accordance with the NPDES Construction General Permit. Developer shall comply with all additional requirements of the General Permit, including preparation of a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall identify potential pollutant sources that may affect the quality of discharges to storm water and shall include the design and placement of recommended Best Management Practices (BMPs) to effectively prohibit pollutants from the construction site entering the storm drain system. Developer shall keep the SWPPP updated to reflect current site conditions at all times and shall keep a copy of the SWPPP and the NOI on the site and make them available for City or designated representative to review upon request. (DS-86)

DEVELOPMENT SERVICES DIVISION SPECIAL CONDITIONS

153. Prior to issuance of a site improvement permit, Developer shall provide to the Development Services Division a compact Disc (CD) containing digital copies of the final subdivision map, address map, and civil improvements drawings in DWG format. Prior to improvement bond release, Developer shall provide an updated CD containing all changes that occur during construction. (DS-101)
154. Developer shall remove and reconstruct the sidewalk along the project's Ninth Street frontage to provide a minimum 7 foot wide sidewalk. (DS)
155. Developer shall provide a curb cut along the sidewalk at the project's Ninth Street frontage at the crosswalk to provide an ADA compliant ramp. (DS)
156. Developer shall design and construct driveways to provide an ADA compliant pedestrian path (maximum 2% cross-fall) along the public sidewalk. (DS)
157. Prior to issuance of a site improvement permit, Developer shall dedicate a sidewalk easement to City that encompasses all portions of the proposed or existing sidewalk not within an existing City easement. (DS)
158. In accordance with City Ordinance, Developer shall provide each condominium unit with a separate domestic water meter. Location and configuration of water meters subject to approval by the City. (DS)
159. Developer shall provide onsite fire hydrants such that all points of all structures are within one hundred fifty (150) feet of a fire hydrant, or as otherwise approved by the Fire Department. Fire hydrant line improvements shall be designed in accordance with City standards and shown on the civil engineer's improvement plans prior to issuance of a site improvement/grading permit. Developer shall provide the City with an easement over the waterline using standard City format. (DS)

160. Developer shall replace all broken, uplifted or missing sidewalk along the project's street and alley frontages. Required repairs shall be shown on the grading/site improvement plan. (DS)
161. Developer shall relocate the trash enclosure shown adjacent to the alley to eliminate any encroachment of the enclosure door swing into the alley or driveway. The trash enclosure shall also be located such that it does not cause any vehicular sight distance conflicts as determined by the City Traffic Engineer. (DS)
162. Developer shall construct a concrete apron along the length of the trash enclosure opening that extends a minimum of 15 feet from the face of the enclosure. (DS)
163. Proposed porous pavement (concrete not asphalt) shall be designed in accordance with the Technical Design Manual for Storm Water Quality Control Measures and good engineering practice. The final location and extent of the porous pavement shall be approved by the Development Services Manager. (DS)
164. Developer shall install proposed concrete pavers in a manner that promotes infiltration (no concrete foundation except at the edges). (DS)
165. Developer shall construct relocated 8" sewer main in accordance with City design requirements including a minimum slope of 0.4% with laterals sloped in accordance with California Plumbing Code. Developer shall dedicate a sewer easement to the City over the relocated main. (DS)
166. Developer shall provide proof of written permission from the adjacent property owners for the relocation of their sewer laterals. (DS)
167. Developer shall provide proof of dedication and acceptance of a sewer easement to the lateral owner for any sewer lateral crossing a property line. (DS)
168. To mitigate the project's lack of required parking as demonstrated in the submitted parking study, the Developer shall pay \$95,000 into a Community Development Commission fund that will go towards improving the eastern side of B Street to match the design of the streetscape that is adjacent to Heritage Square. The future City improvements include but are not limited to the removal the existing curb and sidewalk on the eastside of B Street from Eighth Street to Ninth Street and construct improvements to include all concrete and asphalt work, installation of signs, curb paint, thermoplastic street markings, landscaping and any necessary relocation of utilities to match the diagonal parking and streetscape in front of Heritage Square. This payment is not reimbursable from the Circulation System Impact Fees and shall be made prior to the issuance of the site grading permit. (TR)

169. Prior to the issuance of building permits, Developer illustrate on the plans that 36 feet of curb in front of the building at Ninth Street between the cross walk and the curb return shall be painted yellow for commercial deliveries. This commercial loading zone shall be painted prior to the issuance of a certificate of occupancy and maintained for the life of the project. The businesses that occupy the office space shall be responsible for maintaining the yellow paint to the satisfaction of the City's Traffic Engineer. (TR)
170. The Developer shall install the nostalgic street light standards that are typical of the Central Business District in front of the project along the southern side Ninth Street. These street lights shall be illustrated on the building permit plans to City standards prior to the issuance of building permits and shall be installed prior to the issuance of the first Certificate of Occupancy. (DS)

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 17th day of April, 2008, by the following vote:

AYES: Commissioners

NOES: Commissioners

ABSENT: Commissioners

Michael Sanchez, Chairman

ATTEST: _____
Susan L. Martin, Secretary

Attachment F:
Tentative Subdivision Map Resolution

RESOLUTION NO. 2008 – [PZ 07-300-12]

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD RECOMMENDING APPROVAL OF A TENTATIVE SUBDIVISION MAP OF TRACT 5770 (PLANNING AND ZONING PERMIT NO. 07-330-12) FOR CONDOMINIUM PURPOSES TO CREATE 46 RESIDENTIAL UNITS AND 6,000 SQUARE FEET OF OFFICE SPACE, FOR PROPERTY LOCATED AT 300 WEST NINTH STREET (APN 202-0-191-375 & 202-0-191-395), SUBJECT TO CERTAIN CONDITIONS. FILED BY PRESS COURIER LOFTS, LLC, 2201 STATHAM BOULEVARD, SUITE 117, OXNARD, CA 93033.

WHEREAS, the Planning Commission of the City of Oxnard has considered the tentative subdivision map of Tract No. 5770 (Planning and Zoning Permit No. 07-300-12), filed by Press Courier Lofts, LLC in accordance with Chapter 15 of the Oxnard City Code; and

WHEREAS, said tentative map was referred to various public utility companies, City departments and the Development Advisory Committee for recommendations; and

WHEREAS, the Planning Commission finds the tentative map conforms to the City's General Plan and elements thereof; and

WHEREAS, Section 15332 of Title 14 of the California Code of Regulations exempts the project from the requirement for the preparation of environmental documents imposed by the California Environmental Quality Act; and

WHEREAS, the Planning Commission finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this subdivision in particular.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby recommends to the City Council the approval of the tentative subdivision map, subject to the following conditions:

Note: The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Public Works, Landscape Design	CE	Code Compliance

PLANNING CONDITIONS

1. An approved tentative map shall expire thirty-six (36) months after its approval, unless an extension is applied for and approved by the City Council pursuant to Section 15-46 of the City Code. (PL)
2. This permit is granted for the property described in the application on file with the Planning and Environmental Services Division (“Planning Division”), and may not be transferred from one property to another. (PL, *G-1*).
3. Any covenants, conditions, and restrictions (CC&Rs) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&Rs and the City Code or this permit, the City Code or this permit shall prevail. (CA, *G-7*)

DEVELOPMENT SERVICES CONDITIONS

4. Developer agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Developer’s expense, City and its agents, officers and employees from and against any claim, action or proceeding commenced within the time period provided for in Government Code Section 66499.37, to attack, review, set aside, void or annul the approval of this resolution or to determine the reasonableness, legality or validity of any condition attached thereto. City shall promptly notify Developer of any such claim, action or proceeding of which City receives notice, and City will cooperate fully with Developer in the defense thereof. Developer shall reimburse City for any court costs and attorney's fees that City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Developer of the obligations of this condition. Developer’s acceptance of this resolution or commencement of construction or operations under this resolution shall be deemed to be acceptance of all conditions thereof. (DS-18)

5. Prior to approval of the final map or parcel map, Developer shall provide the City Engineer with written evidence from the Ventura County Clerk's Office that Developer has executed and filed with the Clerk all certificates, statements and securities required by Government Code Sections 66492 and 66493. (DS-26)
6. By title sheet dedication at the time of filing the subdivision map, Developer shall dedicate all water rights for the project property to City. (DS-39)
7. Prior to release of the final map or parcel map for recordation, Developer shall provide the City Engineer with a 100-scale base map for addressing purposes. The map shall be drawn on 18-inch by 24-inch mylar and shall show the standard address map title block, north arrow, street names, tract number, phase boundary and lot numbers. The City will assign all addresses. (DS-56)
8. Prior to release of the final map or parcel map for recordation, Developer shall post a bond or other security satisfactory to the City Attorney, guaranteeing that all monuments will be set as required by the Government Code and the City Code. (DS-57)

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 17th day of April, 2008, by the following vote:

AYES: Commissioners

NOES: Commissioners

ABSENT: Commissioners

Michael Sanchez, Chairman

ATTEST: _____
Susan L. Martin, Secretary