

PLANNING COMMISSION STAFF REPORT

TO: Planning Commission

FROM: Juan Martinez, Associate Planner

DATE: March 1, 2007

SUBJECT: Planning and Zoning Permit No. 06-300-18 (Parcel Map Waiver), Paseo Santa Clara Apartments, filed by Dan Hardy, Cabrillo Economic Development Corporation

1. Recommendation:

That the Planning Commission adopt a resolution approving Planning and Zoning Permit No. 06-300-18 (Parcel Map Waiver) for a 4.66 acre site located between Myrtle Street and Amazon River Court, within the RiverPark Specific Plan area, subject to certain findings and conditions.

2. Project Description and Applicant:

The Parcel Map Waiver proposes to re-subdivide a 4.67 acre site from one parcel into two parcels, a 2.01 acre parcel and a 2.66 acre parcel. The site is commonly known as Lot 19 of Tract 5352-1 (APN: 132-0-110-25 and 26) and located between Myrtle Street and Amazon River Court, within the RiverPark Specific Plan. Filed by Dan Hardy, Cabrillo Economic Development Corporation, 702 Country Square Drive, Ventura CA, 93004.

3. General Plan Policies, Specific Plan and Land Use Designation Conformance:

The 2020 General Plan land use designates the subject area for Medium Residential: 19-30 dwelling units per acre. The RiverPark Specific Plan Land Use Plan designates the subject area for Residential High: 18-30 dwelling units per acre. An approved development proposal for the subject site, at 30 dwelling units per acre, conforms to the density indicated in the General Plan and the RiverPark Specific Plan.

4. Existing and Surrounding Land Uses:

The 4.66 acre site lies within an area recently graded as part of the anticipated build-out of the RiverPark Specific Plan area. To the north, the site is bordered by Tract 5536 (Destination-Shae Homes) which is under construction. The site to the south and lot 18 to the west are currently vacant.

5. Environmental Determination:

In accordance with the California Environmental Quality Act (CEQA), an environmental impact report (EIR No. 00-03) was prepared to analyze potential impacts associated with the approval and the implementation of the RiverPark Specific Plan and the anticipated build out of the 701-acre

Specific Plan site. On July 16, 2002, the City Council adopted Resolution No. 12,209 upholding the Planning Commission's decision certifying the environmental impact report (State Clearinghouse No. 2000051046) and adopting findings of fact, statement of overriding considerations and mitigation monitoring and reporting program.

Mitigation measures identified in the RiverPark Specific Plan Environmental Impact Report No. 00-03 that are relevant to this project were incorporated into the approved project resolution.

6. Development Project Analysis:

a) *General Discussion:*

Section No. 15-11 of the Oxnard City Code states that the Planning Commission may waive the requirements of a parcel map if the Commission finds that the proposed land division complies with the requirements of area, improvement and design, flood water and drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, environmental protection, fees and other matter pertaining to such division of land. The proposed parcel map waiver proposes to re-subdivide a 4.66 acre site comprised of a single lot (Lot19 of Tract No. 5352-1) into two lots, a 2.01 acre parcel and a 2.66 acre parcel. Staff has determined that the proposed subdivision conforms to Section 66428 of the Subdivision Map Act and the City code section referenced above.

b) *Project History:*

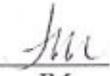
The subject site is vacant and on September 11, 2006, the Development Services Director approved the construction of a 140-unit affordable housing apartment complex, in accordance with the RiverPark Specific Plan. Related site improvements include landscaping, parking areas, pedestrian paths, lighting, surface and subsurface infrastructure to support the development and future occupancy of the residential complex. Reduced plans (8 ½ X11) plans are provided for reference only. (See Attachment D)

The subject site is part of the RiverPark master planned community which has been evaluated and approved for high density residential. The master developer has completed the infrastructure improvements (public roads, drainage, water supply, utility services, etc) necessary for this development to initiate construction. The approved density (30 units to the acre) and number of units (140 units) fall within the permitted and anticipated density range of the residential high (18-30 units/acre) land use designation adopted by the RiverPark Specific Plan for this site.

The 140 unit apartment complex is a component of the affordable housing requirement mix for the approved RiverPark Specific Plan development project. The developer has indicated and requested that the subdivision of a single parcel into two separate parcels is necessary in order to secure construction funding to develop the site and construct the 140 unit apartment complex. The subdivision is consistent with the vision, spirit, design, intent and objectives of the RiverPark Specific Plan.

7. Attachments:

- A. Parcel Map Waiver Resolution PZ 06-300-18 (PMW)
- B. Maps (Vicinity, Specific Plan, General Plan)
- C. Parcel Map Waiver (Reduced 8½X11)
- D. Development Plans (For Reference Only)

Prepared by: 
JM

Approved by: 
SM

**ATTACHMENT
A**

**Resolution
PZ 06-300-18
(Parcel Map Waiver)**

RESOLUTION NO. 2007-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD APPROVING PLANNING AND ZONING PERMIT NO. PZ 06-300-18 (PARCEL MAP WAIVER), TO RE-SUBDIVIDE A 4.67 ACRE SITE FROM ONE PARCEL INTO TWO PARCELS, A 2.01 ACRE PARCEL AND A 2.66 ACRE PARCEL. THE SITE IS COMMONLY KNOWN AS LOT 19 OF TRACT 5352-1 (APN: 132-0-110-25 AND 26) AND IS LOCATED BETWEEN MYRTLE STREET AND AMAZON RIVER COURT, WITHIN THE *RIVERPARK SPECIFIC PLAN*. FILED BY DAN HARDY, CABRILLO ECONOMIC DEVELOPMENT CORPORATION, 702 COUNTRY SQUARE DRIVE, VENTURA CA, 93004.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for a Parcel Map Waiver (PZ 06-300-18) to re-subdivide a 4.67 acre site from a single parcel into two parcels, in accordance with Chapter 15 (Subdivision Ordinance) of the City Code and the State Subdivision Map Act, filed by Dan Hardy, Cabrillo Economic Development Corporation; and

WHEREAS, the City Council adopted Resolution No. 12,692, approving the Final Map (Tract No. 5352-01) to subdivide approximately 306 acres of the 701 acre site commonly known as the *RiverPark Specific Plan Area*; and

WHEREAS, said parcel map waiver was referred to various public utility companies, City departments and the Development Advisory Committee for recommendations; and

WHEREAS, the proposed subdivision, together with the provisions for its design and improvement, is consistent with the 2020 General Plan; and

WHEREAS, the proposed subdivision is consistent with the vision, spirit, design, intent and objectives of the *RiverPark Specific Plan*; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA), an environmental impact report (EIR No. 00-03) was prepared to analyze potential impacts associated with the approval and the implementation of the *RiverPark Specific Plan* and the anticipated build out of the 701 acre specific plan site; and

WHEREAS, subsection (c) of section 753.5 of Title 14 of the California Code of Regulations exempts from the filing fee called for by subdivision 711.4(c) of the Fish and Game Code projects for which the lead agency claims a "de minimis exemption" based on certain information and declarations; and

WHEREAS, the Project meets the criteria for claiming a "de minimis exemption" and the Planning and Environmental Services Manager intends to complete a Certificate of Fee Exemption (DFG 753.5--5/91) for the Project, retain the original, and file two copies of the Certificate with the County Clerk, along with the Notice of Determination for the Project; and

WHEREAS, the Planning Commission finds that the proposed division of land complies with the requirements of area, improvement and design, flood water and drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, environmental protection, fees and other matter pertaining to the land division; and

WHEREAS, the Planning Commission finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this subdivision in particular.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby approves PZ 06-300-18 (Parcel Map Waiver), filed by Dan Hardy, Cabrillo Economic Development Corporation, subject to the following conditions:

Note: The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Public Works, Landscape Design	CE	Code Compliance

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another. (PL, *G-1*).
2. This permit is granted for the plans dated February 15, 2007, (“the plans”) on file with the Planning Division. The subdivision of land shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Planning and Environmental Services Manager or a major modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls. A major modification shall be required for substantial changes or increases in such items. (PL, *G-2 modified*)

3. This permit shall automatically become null and void 36 months from the date of its issuance, unless Subdivider has recorded a Certificate of Approval for a Parcel Map Waiver with the County of Ventura. (PL)
4. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein. (CA, G-5)
5. Developer shall record with the Ventura County Recorder a "Notice of Land Use Restrictions and Conditions" in a form acceptable to the City Attorney. Before the City issues building permits or allows Developer to occupy the project, Developer shall submit a copy of the recorded document to the Planning and Environmental Services Manager. (PL, CA G-8)
6. Developer shall record in a form acceptable to the City Attorney, a covenant for shared vehicular and pedestrian access and easements necessary for the two sites to function as a single lot development. (PL, CA)

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 15th day of February, 2007, by the following vote:

AYES: Commissioners

NOES: Commissioners

ABSENT: Commissioners

Ronald R. Fischer, Chairman

ATTEST: _____
Susan L. Martin, Secretary

**ATTACHMENT
B**

**Maps
(Vicinity, Specific Plan, General Plan)**



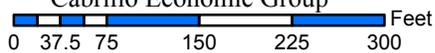
Zone Map

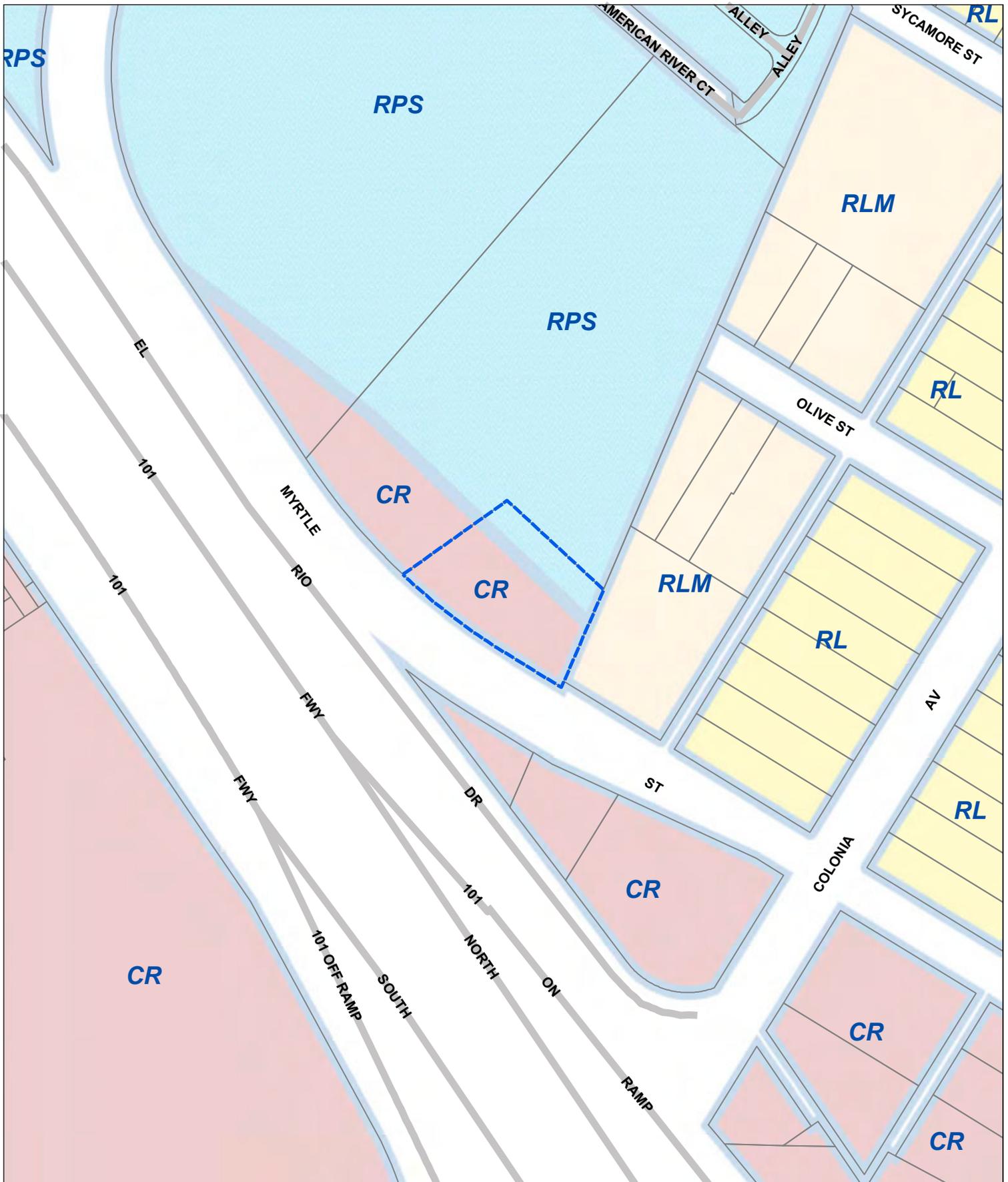
PZ 06-300-18

Location: 295 Myrtle St

APN: 132011026, 13200110255

Cabrillo Economic Group





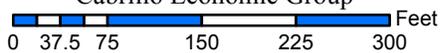
General Plan Map

PZ 06-300-18

Location: 295 Myrtle St

APN: 132011026, 13200110255

Cabrillo Economic Group



Oxnard Planning
February 16, 2007



**ATTACHMENT
C**

**Parcel Map Waiver
(Reduced Plans)**

EXHIBIT "A"
LEGAL DESCRIPTION
PARCEL MAP WAIVER No. 06-300-8
within
LOT 19
TRACT No. 5352-1
per
150 MR 76

PARCEL 1:

ALL of Lot 19, Tract No.5352-1 in the City of Oxnard, County of Ventura, State of California, as shown on the Map filed in Book 150, Page 76 of Miscellaneous Records (Maps) in the Office of the County Recorder of said County.

EXCEPT THEREFROM that portion lying southerly of the following described line;

Beginning at the most northerly corner of said Lot 19, thence along the northwest line thereof South 41°56'06"West 337.99 feet to the **TRUE POINT of BEGINNING**;

1st Thence, departing said northwesterly line at right angles South 48°03'54"East 311.76 feet to the southeasterly line of said Lot 19.

CONTAINING: 2.004 Acres, more or less.

SUBJECT TO: All covenants, Rights, Rights-of-Way and Easements of record.

EXHIBIT "B": Attached and by this reference made a part hereof.

PARCEL 2:

ALL of Lot 19, Tract No.5352-1 in the City of Oxnard, County of Ventura, State of California, as shown on the Map filed in Book 150, Page 76 of Miscellaneous Records (Maps) in the Office of the County Recorder of said County.

EXCEPT THEREFROM that portion lying northerly of the following described line;

Beginning at the most northerly corner of said Lot 19, thence along the northwest line thereof South 41°56'06"West 337.99 feet to the **TRUE POINT of BEGINNING**;

1st Thence, departing said northwesterly line at right angles South 48°03'54"East 311.76 feet to the southeasterly line of said Lot 19.

CONTAINING: 2.663 Acres, more or less.

SUBJECT TO: All covenants, Rights, Rights-of-Way and Easements of record.

EXHIBIT "B": Attached and by this reference made a part hereof.




Matthew J. Vernon
PLS 7553, Exp. 12/31/2007

2/15/2007
Date

326PMW02.doc

EXHIBIT "B"

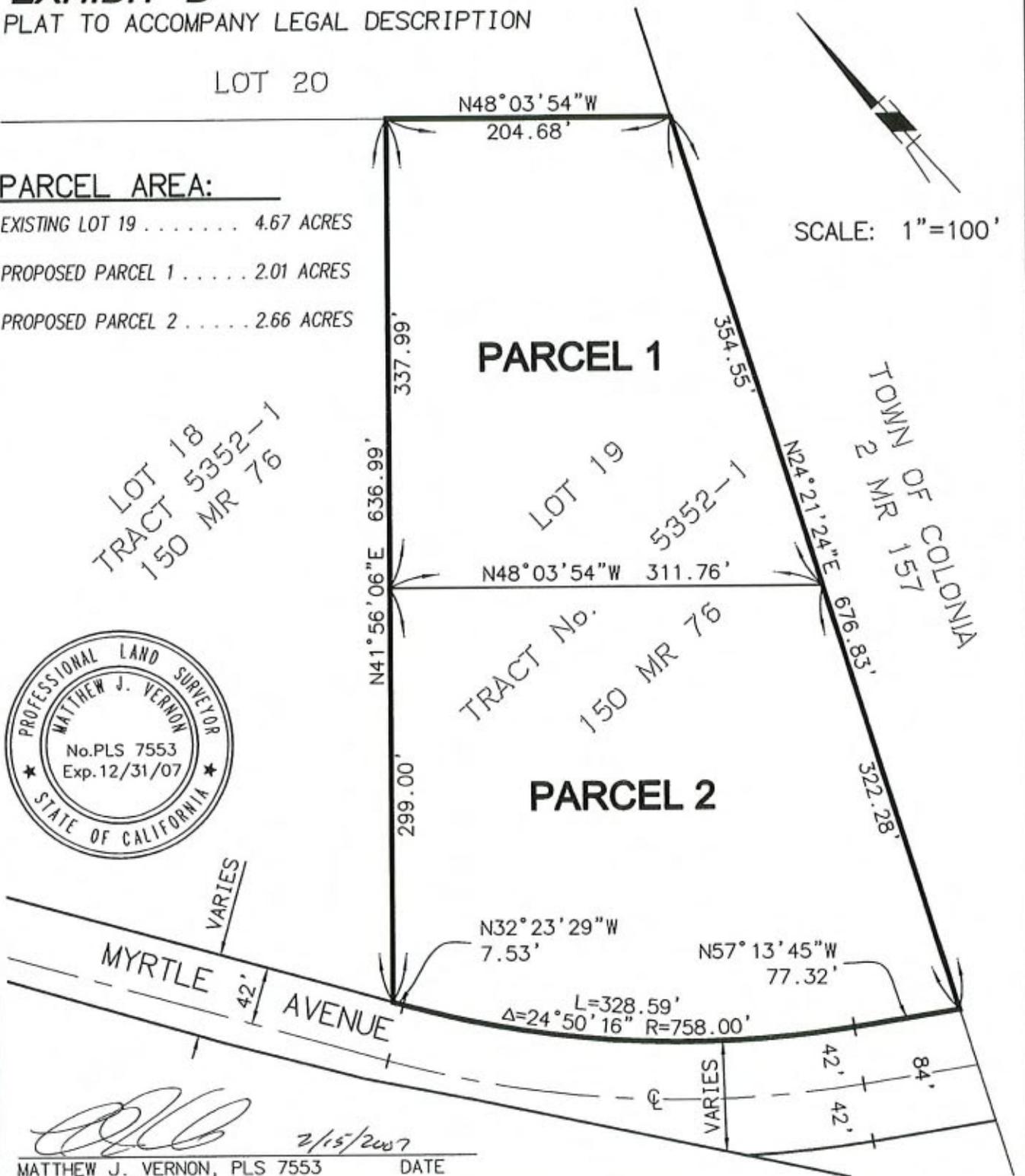
PLAT TO ACCOMPANY LEGAL DESCRIPTION

LOT 20

PARCEL AREA:

EXISTING LOT 19 4.67 ACRES
 PROPOSED PARCEL 1 2.01 ACRES
 PROPOSED PARCEL 2 2.66 ACRES

SCALE: 1"=100'



[Signature]
 MATTHEW J. VERNON, PLS 7553 DATE 2/15/2007

<p>RBF CONSULTING PLANNING ■ DESIGN ■ CONSTRUCTION 4880 SANTA ROSA ROAD, SUITE 170 CAMARILLO, CALIFORNIA 93012-5190 805.383.3373 • FAX 805.383.3371 • www.RBF.com</p>	<p>PARCEL MAP WAIVER No. 06-300-8, LOT 19 TRACT 5352-1, 150 MR 76 CITY OF OXNARD COUNTY OF VENTURA, STATE OF CALIFORNIA</p>	<p>DATE: 2/15/07 SCALE: 1"=100' SHEET: 1 OF 1 CAD: CRT CHK'D: MJV</p>
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**ATTACHMENT
D**

**Development Plans
(For Reference Only)**

Paseo Santa Clara Apartments

Lot 19, Tract N° 5352-1, 295 Myrtle Ave., City of Oxnard, County of Ventura, CA.

design summary

DESCRIPTION	UNIT TYPE	NO. OF UNITS	TOTAL SQ. FT.	AVG. SQ. FT. PER UNIT
1-BEDROOM (800 sq. ft.)	1-BED	10	8,000	800
2-BEDROOM (1,100 sq. ft.)	2-BED	10	11,000	1,100
3-BEDROOM (1,400 sq. ft.)	3-BED	10	14,000	1,400
TOTAL		30	33,000	

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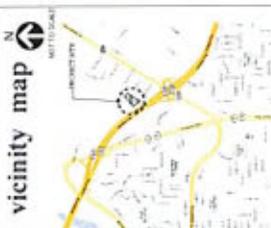
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lot coverage

ITEM	AREA (SQ. FT.)	PERCENTAGE (%)
Building Footprint	10,000	30.3
Driveway	2,000	6.1
Pool Deck	1,000	3.0
Other	1,000	3.0
TOTAL	14,000	42.4



interior yard space calculation

ITEM	AREA (SQ. FT.)	PERCENTAGE (%)
Building Footprint	10,000	30.3
Driveway	2,000	6.1
Pool Deck	1,000	3.0
Other	1,000	3.0
TOTAL	14,000	42.4

project description

The proposed project consists of a 30-unit multi-family residential development located on Lot 19, Tract N° 5352-1, 295 Myrtle Avenue, Oxnard, CA. The project includes 10 one-bedroom units, 10 two-bedroom units, and 10 three-bedroom units. The units are arranged in a row along Myrtle Avenue. The project also includes a driveway, a pool deck, and other amenities. The total lot area is 32,800 square feet, and the total building area is 14,000 square feet. The project is proposed to be developed in accordance with the City of Oxnard's zoning regulations.

directory

DEVELOPER: CARIBLO ECONOMIC DEVELOPMENT CORPORATION
ARCHITECT: CARDE • TEN ARCHITECTS
LANDSCAPE ARCHITECT: JEFF MURPHY
ENGINEER: JEFF MURPHY

index

0.000 TITLE SHEET
 1.000 SITE PLAN, LEGEND AND NOTES
 2.000 FLOOR PLAN
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 FAX: (805) 461-1112
 WWW.CARDE-10.COM

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 PLANNING DIVISION
 CITY OF OXNARD
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KEYNOTES

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ARNOLD ECONOMIC DEVELOPMENT CORPORATION
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PHASE 2 (86 UNITS & COMMUNITY BUILDING)
 700 MYRTLE STREET, DENVER, CO 80202

PHASE 1 (54 UNITS & COMMUNITY BUILDING)
 700 MYRTLE STREET, DENVER, CO 80202



SITE PLAN AT BASEMENT LEVEL
 (SHEET 100/101)

A 100



LEGEND

- 1 STREET LIGHT MOUNTING (SEE UNIFORM CODES)
- 2 SIGNAGE (SEE UNIFORM CODES)
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KEYNOTES

- 1 MAINTENANCE
- 2 REPAIRS
- 3 WALLS WITH METAL LATH
- 4 CONCRETE
- 5 CONCRETE
- 6 CONCRETE
- 7 2" PLASTER
- 8 4" PLASTER
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GENERAL NOTES

1. SEE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND FINISHES.
2. SEE ARCHITECT'S SPECIFICATIONS FOR MECHANICAL AND ELECTRICAL SYSTEMS.
3. SEE ARCHITECT'S SPECIFICATIONS FOR STRUCTURAL SYSTEMS.
4. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR FINISHES.
5. SEE ARCHITECT'S SPECIFICATIONS FOR INTERIOR FINISHES.
6. SEE ARCHITECT'S SPECIFICATIONS FOR SPECIALTIES.
7. SEE ARCHITECT'S SPECIFICATIONS FOR PAINTS AND COATINGS.
8. SEE ARCHITECT'S SPECIFICATIONS FOR FLOORING.
9. SEE ARCHITECT'S SPECIFICATIONS FOR CEILING.
10. SEE ARCHITECT'S SPECIFICATIONS FOR WALLS AND PARTITIONS.
11. SEE ARCHITECT'S SPECIFICATIONS FOR DOORS AND WINDOWS.
12. SEE ARCHITECT'S SPECIFICATIONS FOR STAIRS AND ELEVATORS.
13. SEE ARCHITECT'S SPECIFICATIONS FOR RAMPWAYS.
14. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE ROUTES.
15. SEE ARCHITECT'S SPECIFICATIONS FOR SIGNAGE.
16. SEE ARCHITECT'S SPECIFICATIONS FOR SECURITY.
17. SEE ARCHITECT'S SPECIFICATIONS FOR FIRE PROTECTION.
18. SEE ARCHITECT'S SPECIFICATIONS FOR LIFE SAFETY.
19. SEE ARCHITECT'S SPECIFICATIONS FOR ENERGY EFFICIENCY.
20. SEE ARCHITECT'S SPECIFICATIONS FOR SUSTAINABILITY.
21. SEE ARCHITECT'S SPECIFICATIONS FOR QUALITY CONTROL.
22. SEE ARCHITECT'S SPECIFICATIONS FOR CONSTRUCTION SEQUENCE.
23. SEE ARCHITECT'S SPECIFICATIONS FOR PROTECTION OF EXISTING CONDITIONS.
24. SEE ARCHITECT'S SPECIFICATIONS FOR SITEWORK.
25. SEE ARCHITECT'S SPECIFICATIONS FOR UTILITIES.
26. SEE ARCHITECT'S SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE.
27. SEE ARCHITECT'S SPECIFICATIONS FOR IRRIGATION.
28. SEE ARCHITECT'S SPECIFICATIONS FOR LIGHTING.
29. SEE ARCHITECT'S SPECIFICATIONS FOR AUDIO VISUAL SYSTEMS.
30. SEE ARCHITECT'S SPECIFICATIONS FOR COMMUNICATIONS.
31. SEE ARCHITECT'S SPECIFICATIONS FOR TELEVISION AND RADIO.
32. SEE ARCHITECT'S SPECIFICATIONS FOR DATA COMMUNICATIONS.
33. SEE ARCHITECT'S SPECIFICATIONS FOR SECURITY SYSTEMS.
34. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESS CONTROL.
35. SEE ARCHITECT'S SPECIFICATIONS FOR TIME AND ATTENDANCE SYSTEMS.
36. SEE ARCHITECT'S SPECIFICATIONS FOR PAGING SYSTEMS.
37. SEE ARCHITECT'S SPECIFICATIONS FOR INTERCOM SYSTEMS.
38. SEE ARCHITECT'S SPECIFICATIONS FOR VIDEO SURVEILLANCE.
39. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE TELEPHONE SYSTEMS.
40. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE PUBLIC ADDRESS SYSTEMS.
41. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE VISIBLE WARNING SYSTEMS.
42. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE TACTILE WARNING SYSTEMS.
43. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE TACTILE INDICATING SYSTEMS.
44. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE TACTILE SIGNAGE SYSTEMS.
45. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE TACTILE GRAPHIC SYSTEMS.
46. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE TACTILE CHARACTER SYSTEMS.
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50. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSIBLE TACTILE CHARACTER SYSTEMS.

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PHASE 2 (86 UNITS & COMMUNITY BUILDING)

PHASE 1 (54 UNITS & COMMUNITY BUILDING)

PHASE 1 (54 UNITS & COMMUNITY BUILDING)

PHASE 2 (86 UNITS & COMMUNITY BUILDING)

A 101



PHASE 1 (54 UNITS & COMMUNITY BUILDING)

PHASE 2 (86 UNITS & COMMUNITY BUILDING)

PHASE 1 (54 UNITS & COMMUNITY BUILDING)

PHASE 2 (86 UNITS & COMMUNITY BUILDING)

A 101

LEGEND:
 □ LAYOUT WITH ADDRESS
 □ UNIT NUMBER
 □ FLOOR NUMBER

NOTE:
 STREETS NOT SHOWN ARE DOWNSIDE

CHARLES ECONOMIC DEVELOPMENT CORPORATION
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 SUITE 100
 CHARLOTTE, NC 28202

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 SUITE 100
 CHARLOTTE, NC 28202

PARSONS BRINCKERHOFF
 1000 W. MARKET STREET
 SUITE 100
 CHARLOTTE, NC 28202

ASSIGNED APARTMENT NUMBERS

UNIT NO.	FLOOR	ASSIGNED APARTMENT NUMBER
101	101	101
102	101	102
103	101	103
104	101	104
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PHASE - 1 (54 Units & Community Building)

PHASE - 2 (86 Units & Community Building)

LOT 18 TRACT N° 5352-1

LOT 19 TRACT N° 5352-1



ASSIGNED APARTMENT NUMBERS

AMERICAN RIVER COURT

OLIVE STREET

MYRTLE STREET

GENERAL NOTES

1. ALL WORK IS TO BE ACCORDING TO THE NATIONAL BUILDING REGULATIONS (NBR).
2. ALL WORK IS TO BE ACCORDING TO THE NATIONAL ELECTRICAL REGULATIONS (NER).
3. ALL WORK IS TO BE ACCORDING TO THE NATIONAL PLUMBING REGULATIONS (NPR).
4. ALL WORK IS TO BE ACCORDING TO THE NATIONAL MECHANICAL REGULATIONS (NMR).
5. ALL WORK IS TO BE ACCORDING TO THE NATIONAL STRUCTURAL REGULATIONS (NSR).
6. ALL WORK IS TO BE ACCORDING TO THE NATIONAL FIRE REGULATIONS (NFR).
7. ALL WORK IS TO BE ACCORDING TO THE NATIONAL ENVIRONMENTAL REGULATIONS (NER).
8. ALL WORK IS TO BE ACCORDING TO THE NATIONAL HEALTH REGULATIONS (NHR).
9. ALL WORK IS TO BE ACCORDING TO THE NATIONAL SAFETY REGULATIONS (NSR).
10. ALL WORK IS TO BE ACCORDING TO THE NATIONAL ACCESSIBILITY REGULATIONS (NAR).

SYMBOLS & LEGEND

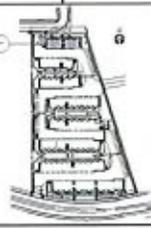
- SYMBOLS & LEGEND**
- 1. UNFINISHED FLOOR
 - 2. FINISHED FLOOR
 - 3. UNFINISHED CEILING
 - 4. FINISHED CEILING
 - 5. UNFINISHED WALL
 - 6. FINISHED WALL
 - 7. UNFINISHED DOOR
 - 8. FINISHED DOOR
 - 9. UNFINISHED WINDOW
 - 10. FINISHED WINDOW
 - 11. UNFINISHED STAIR
 - 12. FINISHED STAIR
 - 13. UNFINISHED RAMP
 - 14. FINISHED RAMP
 - 15. UNFINISHED BALCONY
 - 16. FINISHED BALCONY
 - 17. UNFINISHED TERRACE
 - 18. FINISHED TERRACE
 - 19. UNFINISHED ROOF
 - 20. FINISHED ROOF
- WALL LEGEND**
- 1. 100mm CONCRETE WALL
 - 2. 150mm CONCRETE WALL
 - 3. 200mm CONCRETE WALL
 - 4. 250mm CONCRETE WALL
 - 5. 300mm CONCRETE WALL
 - 6. 350mm CONCRETE WALL
 - 7. 400mm CONCRETE WALL
 - 8. 450mm CONCRETE WALL
 - 9. 500mm CONCRETE WALL
 - 10. 550mm CONCRETE WALL
 - 11. 600mm CONCRETE WALL
 - 12. 650mm CONCRETE WALL
 - 13. 700mm CONCRETE WALL
 - 14. 750mm CONCRETE WALL
 - 15. 800mm CONCRETE WALL
 - 16. 850mm CONCRETE WALL
 - 17. 900mm CONCRETE WALL
 - 18. 950mm CONCRETE WALL
 - 19. 1000mm CONCRETE WALL

6

7

8

KEY PLAN



CLIENT'S REQUIREMENTS

COMMUNITY BUILDING-1
 COMMUNITY BUILDING-1
 COMMUNITY BUILDING-1

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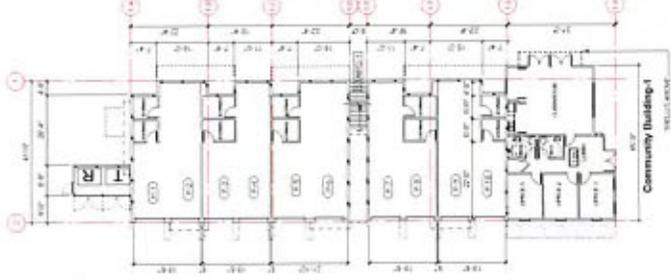
120 HERRING ROAD
 SYDNEY NSW 1570
 TEL: 02 9550 1234
 WWW.CARDE-10.COM

PAVED SANTA CLARA APARTMENTS
 PAVED SANTA CLARA APARTMENTS

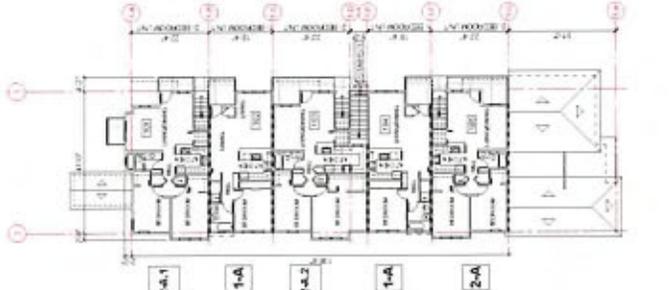
ISSUED FOR
 BUILDING FLOOR PLANS

DATE: 10/10/2023
 DRAWN BY: J. SMITH
 CHECKED BY: M. JONES
 PROJECT NO: 230101

A 200



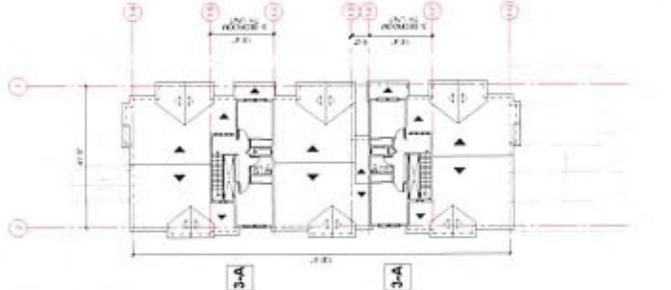
BUILDING-1 BASEMENT FLOOR PLAN
 SCALE: 1:100



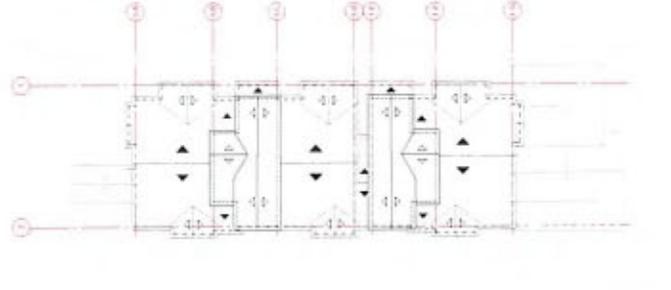
BUILDING-1 FIRST FLOOR PLAN
 SCALE: 1:100



BUILDING-1 SECOND FLOOR PLAN
 SCALE: 1:100



BUILDING-1 THIRD FLOOR PLAN
 SCALE: 1:100



BUILDING-1 ROOF PLAN
 SCALE: 1:100

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

KEYNOTES:

1. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
2. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
3. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
4. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
5. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
6. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
7. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
8. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
9. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.
10. EXISTING CONCRETE WALLS SHALL BE REINFORCED WITH #4 BARS @ 16" ON CENTER.

SYMBOLS LEGEND:

- 1. 1/4" = 1'-0" (WALL THICKNESS)
- 2. 1/4" = 1'-0" (WALL THICKNESS)
- 3. 1/4" = 1'-0" (WALL THICKNESS)
- 4. 1/4" = 1'-0" (WALL THICKNESS)
- 5. 1/4" = 1'-0" (WALL THICKNESS)
- 6. 1/4" = 1'-0" (WALL THICKNESS)
- 7. 1/4" = 1'-0" (WALL THICKNESS)
- 8. 1/4" = 1'-0" (WALL THICKNESS)
- 9. 1/4" = 1'-0" (WALL THICKNESS)
- 10. 1/4" = 1'-0" (WALL THICKNESS)

WALL LEGEND:

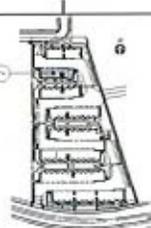
- 1. 1/4" = 1'-0" (WALL THICKNESS)
- 2. 1/4" = 1'-0" (WALL THICKNESS)
- 3. 1/4" = 1'-0" (WALL THICKNESS)
- 4. 1/4" = 1'-0" (WALL THICKNESS)
- 5. 1/4" = 1'-0" (WALL THICKNESS)
- 6. 1/4" = 1'-0" (WALL THICKNESS)
- 7. 1/4" = 1'-0" (WALL THICKNESS)
- 8. 1/4" = 1'-0" (WALL THICKNESS)
- 9. 1/4" = 1'-0" (WALL THICKNESS)
- 10. 1/4" = 1'-0" (WALL THICKNESS)

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KEY PLAN



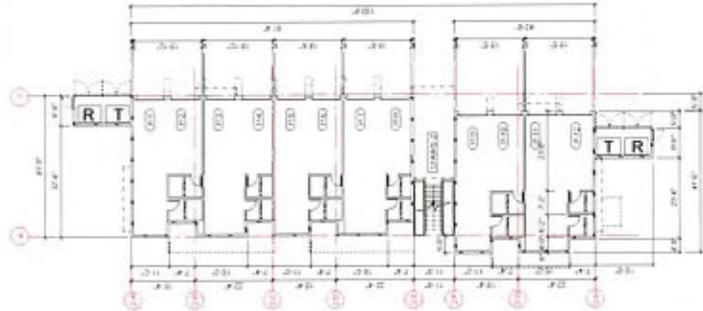
CARILLO ECONOMIC DEVELOPMENT CORPORATION

carde • ten architects

PHASE 2 SAINTI CLARA APARTMENTS

BUILDING FLOOR PLANS

A 201



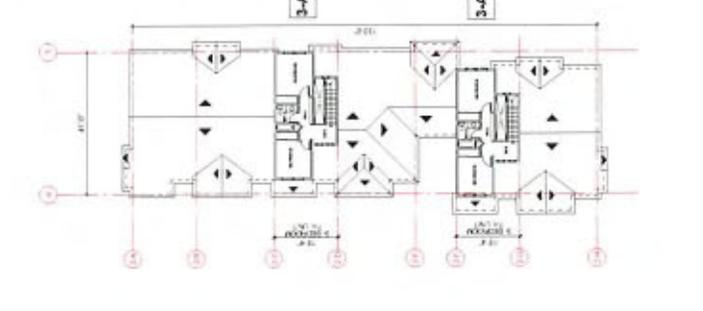
BUILDING-2 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING-2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING-2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING-2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING-2 ROOF PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. ALL UNLESS INDICATED OTHERWISE
2. PROJECT
- 3.

KEYNOTES:

1. UNFINISHED INTERIORS WALL FINISH
2. FINISHED INTERIORS WALL FINISH
3. FINISHED INTERIORS CEILING FINISH
4. FINISHED INTERIORS FLOOR FINISH
5. FINISHED INTERIORS DOOR FINISH
6. FINISHED INTERIORS WINDOW FINISH
7. FINISHED INTERIORS STAIR FINISH
8. FINISHED INTERIORS BALCONY FINISH
9. FINISHED INTERIORS TERRACE FINISH
10. FINISHED INTERIORS PATIO FINISH
11. FINISHED INTERIORS PORCH FINISH
12. FINISHED INTERIORS DRIVEWAY FINISH

SYMBOLS LEGEND:

- 3/4" = 1/4" = 1/4" = 1/4"
- 1/2" = 1/2" = 1/2" = 1/2"
- 1/4" = 1/4" = 1/4" = 1/4"
- 1/8" = 1/8" = 1/8" = 1/8"
- 1/16" = 1/16" = 1/16" = 1/16"
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- 1/64" = 1/64" = 1/64" = 1/64"
- 1/128" = 1/128" = 1/128" = 1/128"
- 1/256" = 1/256" = 1/256" = 1/256"
- 1/512" = 1/512" = 1/512" = 1/512"
- 1/1024" = 1/1024" = 1/1024" = 1/1024"
- 1/2048" = 1/2048" = 1/2048" = 1/2048"
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GENERAL NOTES:

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. FINISHES TO BE AS SHOWN.
3. SEE GENERAL NOTES FOR FINISHES.

KEYNOTES:

1. FINISHES TO BE AS SHOWN.
2. FINISHES TO BE AS SHOWN.
3. FINISHES TO BE AS SHOWN.
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SYMBOLS LEGEND:

- 3/4" = 1/2" (3/4" WALL)
- 1/2" = 1/4" (1/2" WALL)
- 1/4" = 1/8" (1/4" WALL)
- 1/8" = 1/16" (1/8" WALL)
- 1/16" = 1/32" (1/16" WALL)
- 1/32" = 1/64" (1/32" WALL)
- 1/64" = 1/128" (1/64" WALL)
- 1/128" = 1/256" (1/128" WALL)
- 1/256" = 1/512" (1/256" WALL)
- 1/512" = 1/1024" (1/512" WALL)
- 1/1024" = 1/2048" (1/1024" WALL)
- 1/2048" = 1/4096" (1/2048" WALL)
- 1/4096" = 1/8192" (1/4096" WALL)
- 1/8192" = 1/16384" (1/8192" WALL)
- 1/16384" = 1/32768" (1/16384" WALL)
- 1/32768" = 1/65536" (1/32768" WALL)
- 1/65536" = 1/131072" (1/65536" WALL)
- 1/131072" = 1/262144" (1/131072" WALL)
- 1/262144" = 1/524288" (1/262144" WALL)
- 1/524288" = 1/1048576" (1/524288" WALL)
- 1/1048576" = 1/2097152" (1/1048576" WALL)
- 1/2097152" = 1/4194304" (1/2097152" WALL)
- 1/4194304" = 1/8388608" (1/4194304" WALL)
- 1/8388608" = 1/16777216" (1/8388608" WALL)
- 1/16777216" = 1/33554432" (1/16777216" WALL)
- 1/33554432" = 1/67108864" (1/33554432" WALL)
- 1/67108864" = 1/134217728" (1/67108864" WALL)
- 1/134217728" = 1/268435456" (1/134217728" WALL)
- 1/268435456" = 1/536870912" (1/268435456" WALL)
- 1/536870912" = 1/1073741824" (1/536870912" WALL)
- 1/1073741824" = 1/2147483648" (1/1073741824" WALL)
- 1/2147483648" = 1/4294967296" (1/2147483648" WALL)
- 1/4294967296" = 1/8589934592" (1/4294967296" WALL)
- 1/8589934592" = 1/17179869184" (1/8589934592" WALL)
- 1/17179869184" = 1/34359738368" (1/17179869184" WALL)
- 1/34359738368" = 1/68719476736" (1/34359738368" WALL)
- 1/68719476736" = 1/137438953472" (1/68719476736" WALL)
- 1/137438953472" = 1/274877906944" (1/137438953472" WALL)
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- 1/1099511627776" = 1/2199023255552" (1/1099511627776" WALL)
- 1/2199023255552" = 1/4398046511104" (1/2199023255552" WALL)
- 1/4398046511104" = 1/8796093022208" (1/4398046511104" WALL)
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- 1/140737488355328" = 1/281474976710656" (1/140737488355328" WALL)
- 1/281474976710656" = 1/562949953421312" (1/281474976710656" WALL)
- 1/562949953421312" = 1/1125899906842624" (1/562949953421312" WALL)
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- 1/2251799813685248" = 1/4503599627370496" (1/2251799813685248" WALL)
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- 1/2305843009213693952" = 1/4611686018427387904" (1/2305843009213693952" WALL)
- 1/4611686018427387904" = 1/9223372036854775808" (1/4611686018427387904" WALL)
- 1/9223372036854775808" = 1/18446744073709551616" (1/9223372036854775808" WALL)
- 1/18446744073709551616" = 1/36893488147419103232" (1/18446744073709551616" WALL)
- 1/36893488147419103232" = 1/73786976294838206464" (1/36893488147419103232" WALL)
- 1/73786976294838206464" = 1/147573952589676412928" (1/73786976294838206464" WALL)
- 1/147573952589676412928" = 1/295147905179352825856" (1/147573952589676412928" WALL)
- 1/295147905179352825856" = 1/590295810358705651712" (1/295147905179352825856" WALL)
- 1/590295810358705651712" = 1/1180591620717411303424" (1/590295810358705651712" WALL)
- 1/1180591620717411303424" = 1/2361183241434822606848" (1/1180591620717411303424" WALL)
- 1/2361183241434822606848" = 1/4722366482869645213696" (1/2361183241434822606848" WALL)
- 1/4722366482869645213696" = 1/9444732965739290427392" (1/4722366482869645213696" WALL)
- 1/9444732965739290427392" = 1/18889465931478580854784" (1/9444732965739290427392" WALL)
- 1/18889465931478580854784" = 1/37778931862957161709568" (1/18889465931478580854784" WALL)
- 1/37778931862957161709568" = 1/75557863725914323419136" (1/37778931862957161709568" WALL)
- 1/75557863725914323419136" = 1/151115727451828646838272" (1/75557863725914323419136" WALL)
- 1/151115727451828646838272" = 1/302231454903657293676544" (1/151115727451828646838272" WALL)
- 1/302231454903657293676544" = 1/604462909807314587353088" (1/302231454903657293676544" WALL)
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- 1/1208925819614629174706176" = 1/2417851639229258349412352" (1/1208925819614629174706176" WALL)
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- 1/10633823966279326983230456482242932608" = 1/21267647932558653966460912964485865216" (1/10633823966279326983230456482242932608" WALL)
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GENERAL NOTES

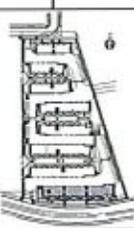
1. ALL CONDITIONS SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
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8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.

KEYNOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
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7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES.

FOR DIMENSIONS AND LAYOUT SEE THE CITY OF LOS ANGELES ORDINANCES.

KEY PLAN



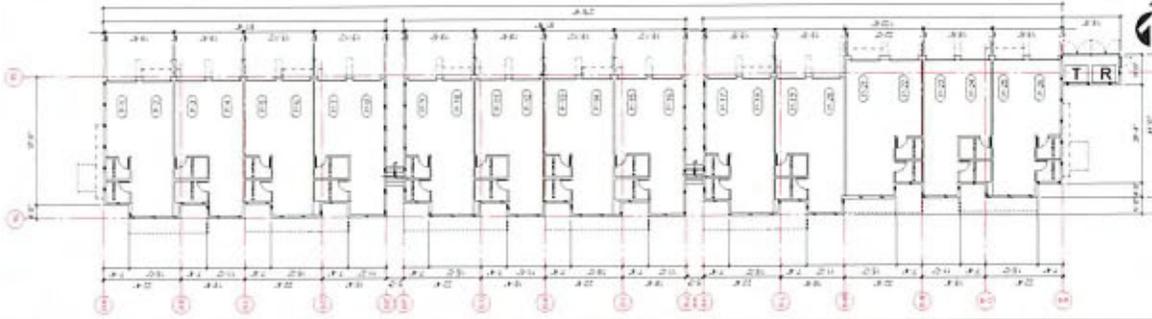
CARMELO ECONOMIC DEVELOPMENT CORPORATION
1000 S. GARDEN STREET, LOS ANGELES, CA 90015
TEL: (213) 475-1111
WWW.CEDC.COM

carde • ten architects
1000 S. GARDEN STREET, LOS ANGELES, CA 90015
TEL: (213) 475-1111
WWW.CARDE-10.COM

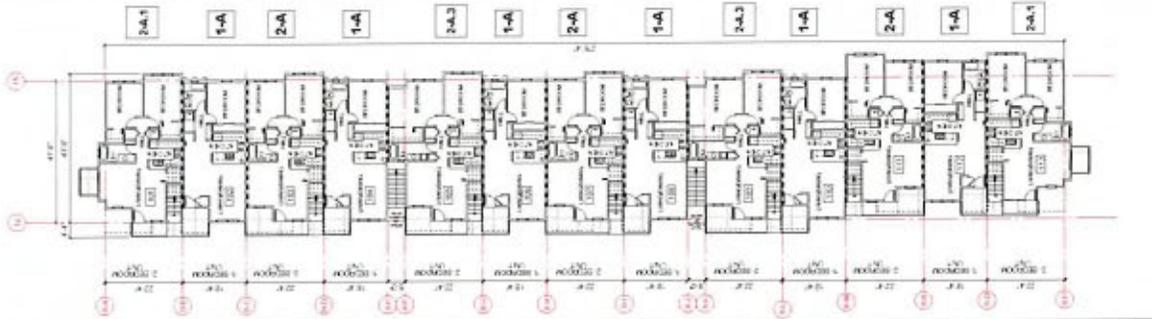
PASADENA SANTA CLARA APARTMENTS
1000 S. GARDEN STREET, LOS ANGELES, CA 90015

BUILDING FLOOR PLANS

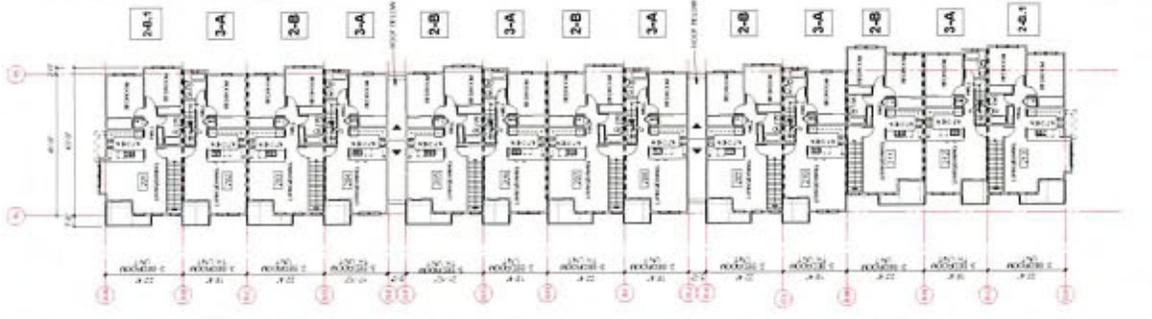
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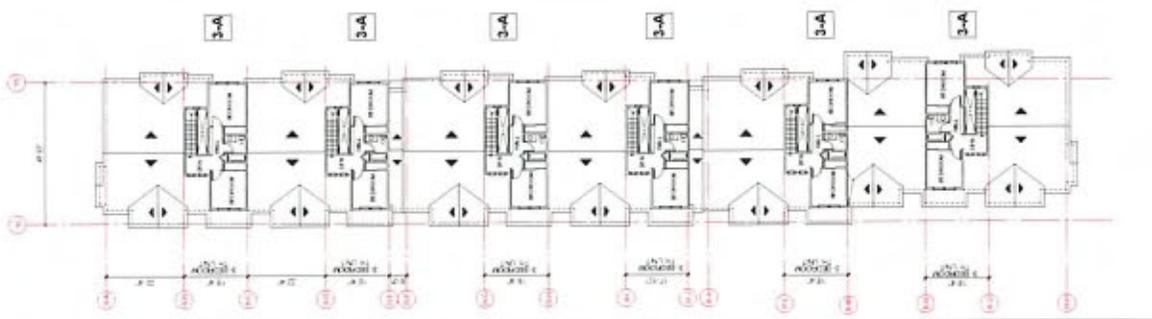
BUILDING-8 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING-8 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING-8 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING-8 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING-8 ROOF PLAN
SCALE: 1/8" = 1'-0"



AMERICAN RIVER COURT ELEVATION

1



MAIN RESIDENTIAL LANE ELEVATIONS (PHASE I)

2



MAIN RESIDENTIAL LANE ELEVATIONS (PHASE II)

3

PHASE I
 PHASE II
 PHASE III

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 architects

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 ANAHEIM, CA 92802
 TEL: 714.944.1427
 WWW.CARDE-TEN.COM

PHASE I
 PHASE II
 PHASE III

1111' ELEVATIONS

DATE	NO.	BY
2017	1	MM
2017	2	MM
2017	3	MM
2017	4	MM

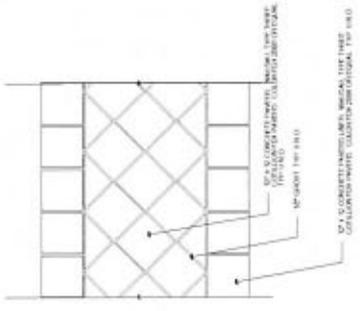
A 301



1
TYPICAL COURTYARD ELEVATIONS
SCALE: 1/8" = 1'-0"



2
TYPICAL RESIDENTIAL LANE ELEVATIONS
SCALE: 1/8" = 1'-0"



3
CONCRETE PAVERS DETAIL
SCALE: 3/4" = 1'-0"

PREPARED FOR:
**PARIS RESIDENCES
 DEVELOPMENT CORPORATION**
 17500 S. GARDEN DRIVE,
 PARADISE VALLEY, CA 94629

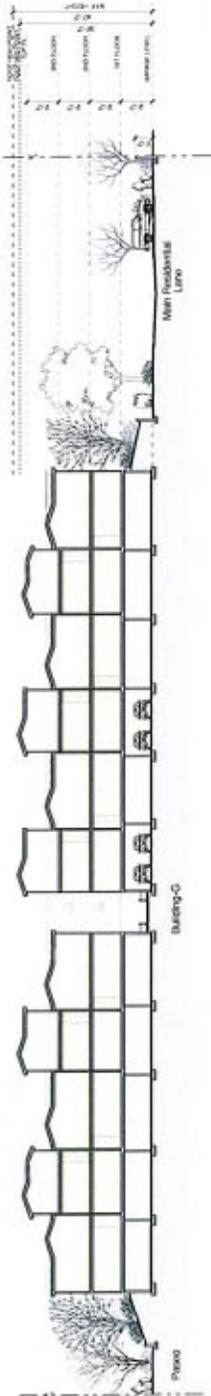
cardé • ten
 architects

1535 UNIVERSITY AVENUE, SUITE 200
 BERKELEY, CA 94704-1427
 TEL: 415.841.1000 FAX: 415.841.1001
 WWW: CARDETEN.COM

PARIS SAINTS CLASS APARTMENTS
 17500 S. GARDEN DRIVE, PARADISE VALLEY, CA 94629

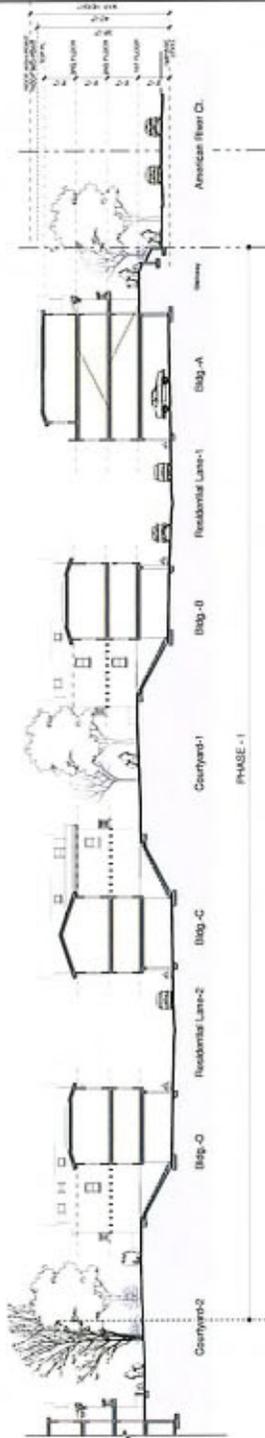
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 DRAWN BY: [signature]
 CHECKED BY: [signature]
 SCALE: AS SHOWN

A 302



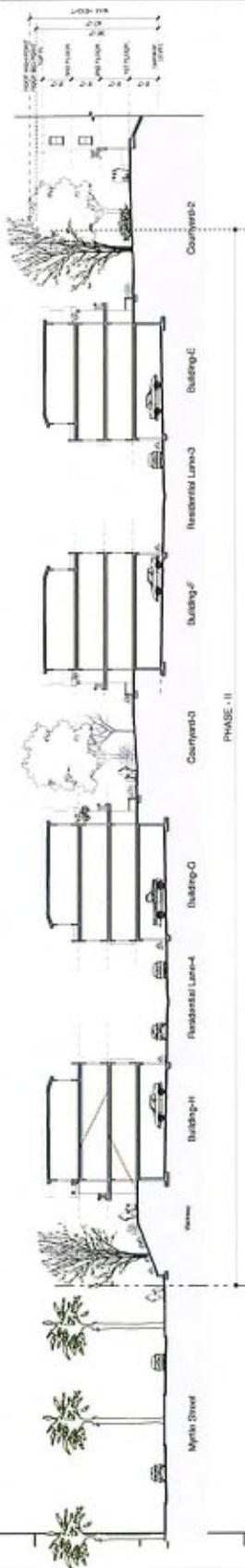
SECTION 'A'
SCALE: 1/8" = 1'-0"

1



SECTION 'B' (PHASE I)
SCALE: 1/8" = 1'-0"

2



SECTION 'B' (PHASE II)
SCALE: 1/8" = 1'-0"

3

AMFIELD ECONOMIC
DEVELOPMENT CORPORATION
1000 MARKET STREET, SUITE 200
PHILADELPHIA, PA 19102

DATE: 08/14/12

PROJECT: 1000 MARKET STREET

PHASE: 1000 MARKET STREET

SCALE: 1/8" = 1'-0"

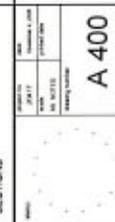
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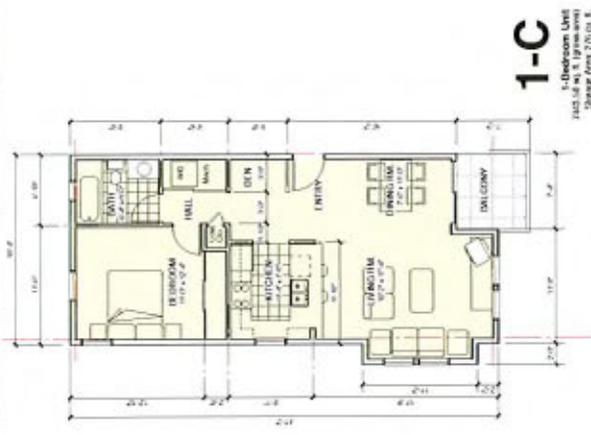
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architects

1000 MARKET STREET, SUITE 200
PHILADELPHIA, PA 19102
TEL: 215.593.1000
WWW.CARDE-TEN.COM

PHASE II: 1000 MARKET STREET, SUITE 200

SECTION: A 400



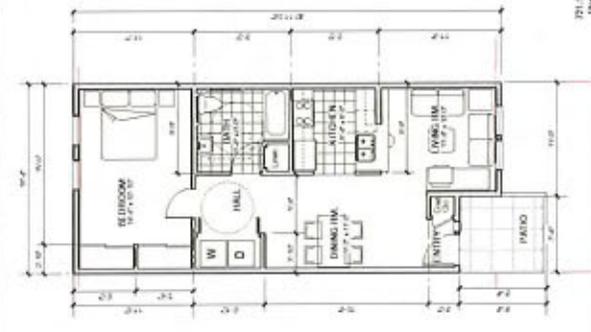


1-C

1-Bedroom Unit
782.56 sq. ft. (gross area)
Storage Area: 276 cu. ft.

UNIT "1-C" FLOOR PLAN
SCALE: 1/8" = 1'-0"

3

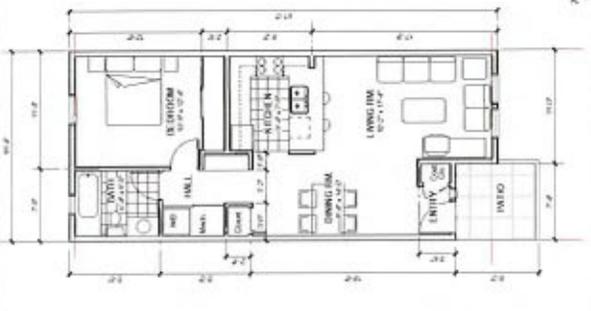


1-B

1-Bedroom Unit
721.50 sq. ft. (gross area)
Storage Area: 252 cu. ft.

UNIT "1-B" FLOOR PLAN
SCALE: 1/8" = 1'-0"

2

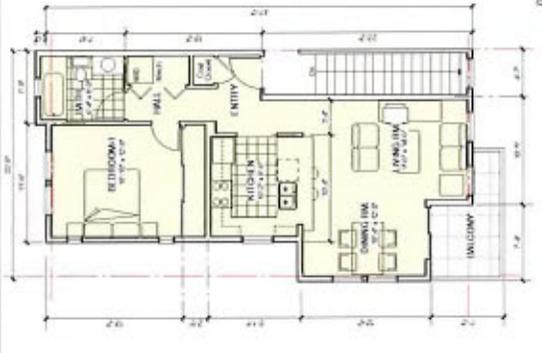


1-A

1-Bedroom Unit
721.56 sq. ft. (gross area)
Storage Area: 252 cu. ft.

UNIT "1-A" FLOOR PLAN
SCALE: 1/8" = 1'-0"

1



1-D

1-Bedroom Unit
772.00 sq. ft. (gross area)
Storage Area: 283 cu. ft.

UNIT "1-D" FLOOR PLAN
SCALE: 1/8" = 1'-0"

4

PREPARED BY: **MARKUS ECONOMIC DEVELOPMENT CORPORATION**
221 EAST 11TH STREET
DENVER, CO 80202

DATE: 11/11/11
DRAWN BY: [blank]
CHECKED BY: [blank]
APPROVED BY: [blank]

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architects

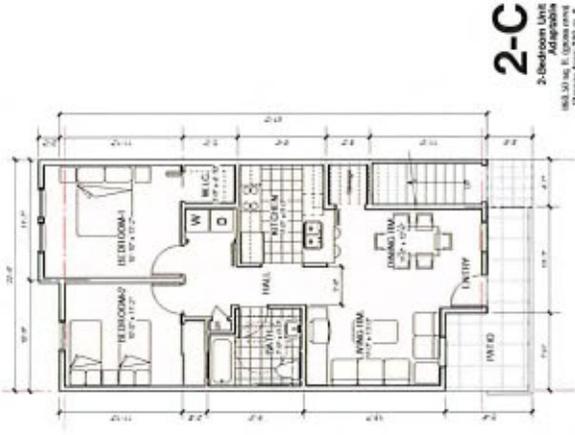
1435 South Broadway, Suite 1000
Denver, CO 80202
Phone: 303.733.1427
Fax: 303.733.1428
www.carde-ten.com

PARIS SAINT CLAIR PARTNERS
2700 SOUTH GAYLOR STREET, DENVER, CO 80202

Project No. [blank]
Drawing No. [blank]
Revision [blank]

TYPICAL 1-BEDROOM UNIT PLANS

A 500

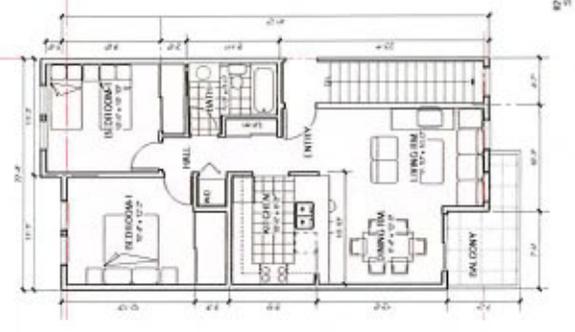


2-C

2-Bedroom Unit
ADA compliant
883.00 sq. ft. (gross area)
Storage Area: 280 sq. ft.

UNIT "2-C" FLOOR PLAN
SCALE: 1/8" = 1'-0"

3



2-B

2-Bedroom Unit
871.00 sq. ft. (gross area)
Storage Area: 275 sq. ft.

UNIT "2-B" FLOOR PLAN
SCALE: 1/8" = 1'-0"

2



2-A

2-Bedroom Unit
865.00 sq. ft. (gross area)
Storage Area: 250 sq. ft.

UNIT "2-A" FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

MANUEL ECONOMIC
DEVELOPMENT CORPORATION
11111 W. 11th Ave.
DENVER, CO 80233

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11111 W. 11th Ave.
DENVER, CO 80233
Phone: 303.733.1417
Fax: 303.733.1418

PARSONS CLARK PARTNERS
11111 W. 11th Ave.
DENVER, CO 80233

TYPICAL UNIT PLANS

UNIT	2-A	2-B	2-C
AREA	865.00	871.00	883.00
STAIRS	10.00	10.00	10.00
TOTAL	875.00	881.00	893.00

A 501

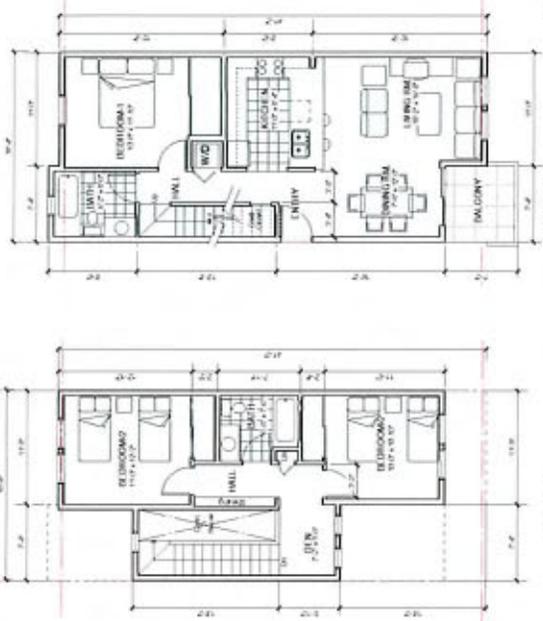


3-B

3-Bedroom Unit
2 Adaptations
1,545.00 sq. ft. (gross area)
Storage Area: 207.00 sq. ft.

UNIT "3-B" FLOOR PLAN
SCALE: 1/8" = 1'-0"

2



3-A

3-Bedroom
Townhouse Unit
1,111.00 sq. ft. (gross area)
Storage Area: 437.00 sq. ft.

UNIT "3-A" FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

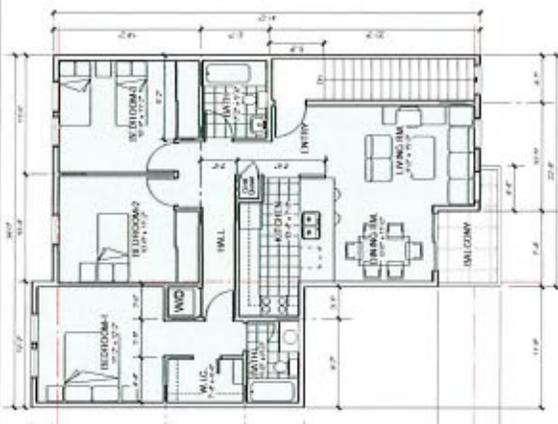


3-D

3-Bedroom
Townhouse Unit
1,201.00 sq. ft. (gross area)
Storage Area: 171.00 sq. ft.

UNIT "3-D" FLOOR PLAN
SCALE: 1/8" = 1'-0"

4



3-C

3-Bedroom Unit
1,192.00 sq. ft. (gross area)
Storage Area: 227.00 sq. ft.

UNIT "3-C" FLOOR PLAN
SCALE: 1/8" = 1'-0"

3

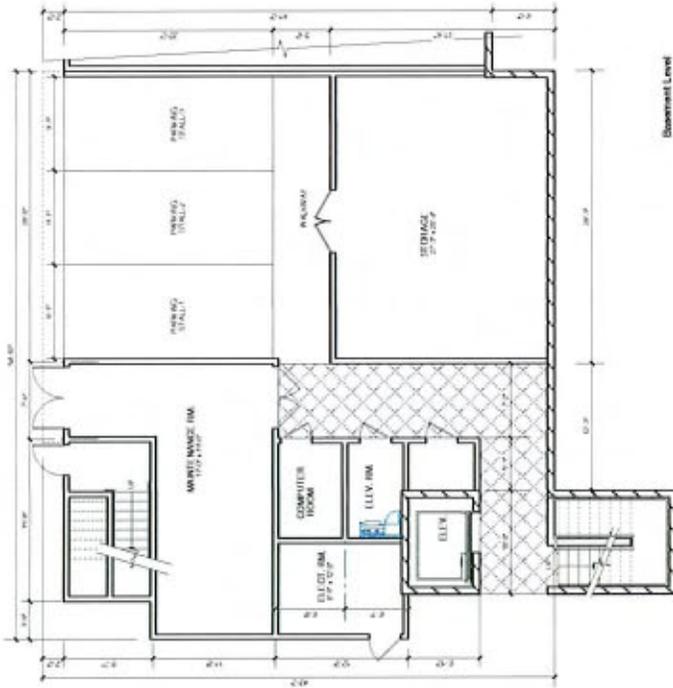
MARKUS S. SCHWAB
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ANN ARBOR, MI 48106
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WWW.MSSA.COM

TYPICAL 3-BEDROOM UNIT PLANS

A 502



CB-2

4,550.00 sq. ft. (gross area)
2,482.00 sq. ft. (gross basement area)

COMMUNITY BLDG -2 BASEMENT FLOOR PLAN
SCALE: 3/8" = 1'-0"

2



CB-1

1,120.00 sq. ft. (gross area)

COMMUNITY BLDG -1 FLOOR PLAN
SCALE: 3/8" = 1'-0"

1

<p>PROJECT: COMMUNITY DEVELOPMENT CORPORATION 1000 N. GARDEN STREET, SUITE 100 DALLAS, TEXAS 75202</p>	<p>ARCHITECTS: cardé • ten architects 1000 N. GARDEN STREET, SUITE 100 DALLAS, TEXAS 75202 TEL: 214.742.1000 WWW.CARDE-TEN.COM</p>	<p>OWNER: COMMUNITY BUILDING PLANS 1000 N. GARDEN STREET, SUITE 100 DALLAS, TEXAS 75202 TEL: 214.742.1000 WWW.COMMUNITYBUILDINGPLANS.COM</p>	<p>DATE: 08/15/2017 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: 3/8" = 1'-0"</p>	<p>A 503</p>
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