



**Planning Division**

**PLANNING COMMISSION  
STAFF REPORT**

**TO:** Planning Commission  
**FROM:** Juan Martinez, Associate Planner  
**DATE:** October 1, 2009  
**SUBJECT:** Planning and Zoning Permit No. 09-500-04 (Special Use Permit), Our Lady of Guadalupe, 500-530 North Juanita Avenue.

- 1) **Recommendation:** That the Planning Commission approve Planning and Zoning Permit No. 09-500-04 (Special Use Permit), subject to certain findings and conditions.
- 2) **Project Description and Applicant:** The development application proposes site improvements relating to the construction of a new 17,300 square foot church building near the northeast corner of an existing church/school site. The request includes administrative relief from the on-site parking requirements. The 5-acre church/school site is located at 500-530 North Juanita Avenue, within La Colonia Neighborhood. Filed by Victor Newlove, on behalf of the Roman Catholic Archbishop of Los Angeles 3424 Wilshire Boulevard, Fourth Floor, Los Angeles, CA 90010-2202.
- 3) **Existing & Surrounding Land Uses:**  
 The project site is currently improved with a number of buildings supporting the Our Lady of Guadalupe Church and school.

DIRECTION	ZONING	GENERAL PLAN LAND USE DESIGNATION	EXISTING LAND USE
Project Site	R2-PD	Residential Low Medium	Church and Parochial School
North	R1-PD	Residential Low	Single Family Homes
East	R2-PD	Residential Low Medium	Condominium Development
South	R-3	Residential Low Medium	Apartments (City Housing)
West	R-1	Residential Low	Single Family Homes

- 4) **Background Information:** In September of 2005, the City Council took action to approve a 16,860 square foot church use (Resolution No. 12,928), an amendment to the General Plan land use designation from low residential to medium residential (Resolution No. 12,929), and a corresponding zone change from R-1 to R2-PD (Ordinance No. 2,700).

In February of 2008, the Planning Manager approved a minor modification request to change and refine the approved development permit by improving the elevation design, re-orient the building footprint, and make improvements to the parking and circulation plan. The elevation changes were more in character with the surrounding neighborhood. The building's orientation changed to face inward to better serve parishioners and day-to-day functions of the church and school functions on the premise. In addition, the total building floor area increased from 16,860 to 17,375 square feet. Unfortunately, building permits were not obtained for the project, and the project entitlements expired in February 2009.

- 5) Environmental Determination:** The proposed development is subject to review in accordance with the California Environmental Quality Act (CEQA). An initial study was prepared to analyze potentially significant adverse environmental effects of the proposed project and in September of 2005 City Council adopted MND No. 2005-04. The MND was prepared and it analyzed the development proposal and a related zone change and general plan amendment. Pursuant to Section No. 15164 of the CEQA guidelines an addendum to the adopted MND was prepared in order to identify and analyze changes to the proposed project which were originally analyzed in Mitigated Negative Declaration (2005- 04) for the subject project.

Staff has reviewed the Mitigated Negative Declaration and has concluded that the changes to the current proposal are below the thresholds established in the environmental document, which concluded with an adopted Mitigated Negative Declaration by the City Council in September of 2005. Therefore, the Planning Manager determined the environmental review for the proposed church is adequate and consequently did not prepare a subsequent Negative Declaration pursuant to Section 15162 of the CEQA guidelines.

**6) Analysis:**

- a) General Discussion:** The general plan and zone change approvals became effective in 2005. The subject special use permit will re-entitle the project and authorize the City to release grading and construction permits for all proposed construction and related site modifications and improvements. The new 17,300 square foot church building is anticipated to replace the religious ceremonial services currently occurring within the existing 8,750 square foot church building fronting on Colonia Road. The existing building will remain on-site however, religious ceremonies will now be conducted in the proposed building. The church is highly attended by persons living in the community and with the recent growth of the Northeast Community area the congregation's membership has outgrown the existing church building.

The church and parochial school offer various weekly functions year round. During weekdays, the parochial school is in session and the church offers two daily masses every Monday through Saturday at 7:30AM and 7:00PM: Ceremonial functions (baptisms, weddings, etc) are held on Saturdays, and nine masses occur throughout the day on Sunday. The church attracts approximately 700-800 persons per mass and many of the attendees walk to the premise. The school serves approximately 330 elementary students from Pre-Kinder through eight grade and

school hours are from 8 AM to 2:45PM. Extended care is also available from 3PM to 6PM in the afternoon for kids needing after school care.

**b) Conformance with Zoning Development Standards:** The proposed development is located in the Garden Apartment (R-2) zone district. In accordance with the City Code, the proposed 17,300 square foot church building may be permitted with an approved Special Use Permit. Applicable development standards of the R-2 zone and the have been compared with the proposed project, as follows:

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES ?
Height	2-Stories (Not to exceed 25 feet) Maximum	The 53-foot high tower element exceeds the height of the zone, however the additional height is being considered in accordance w/ Section 34-8(b), height exception for public and semi-public buildings.	YES
Density	2,400 square feet for each dwelling unit (Maximum 18 dwelling units per acre)	The development project is a non-residential development	YES
Front Yard Setback	25 feet, except where parking is provided from the alley, front yard may be a minimum of 15 feet	20-feet	YES
Side Yard Setback	5 feet	42'-0"	YES
Rear Yard Setback	25 feet	The site is a corner through lot with multiple frontages and no rear yard	YES
Interior Yard Space Cal Trans (Right of Way)	30 percent of the lot area (Minimum dimensions of 15'X15' separate from automobile circulation)	The development project is a non-residential development	YES

**c) Site Design:** The site is a corner through lot located within La Colonia Neighborhood that is bounded by Camino Del Sol to the north, Juanita Avenue to the west, Colonia Road to the south, and a condominium development to the east. The developed site has an existing 8,750 square foot church building, a parish hall and various other buildings serving the parochial school (i.e classroom buildings and lunch shelters).

The proposed 17,300 square foot church building is designed to be positioned on the northeast corner of the site which is currently an open grassy yard that serves the private elementary. A one-way vehicular entry is proposed between the building and the western property line of the San Miguel Townhome development to the east of the church property. The church's primary entrance to the church is designed to face in a southwestern direction towards the school and church buildings. Its front orientation also faces the proposed parking lot which currently exists on site. A parking area between the church and school is designed to be fenced off during regular school hours and this area will have a dual use that would serve both the school and church's parking and recreational open space needs. Along the main entrance, there is a plaza with landscape planters that are designed to provide an outdoor setting for parishioners waiting to enter the church building.

**d) Circulation and Parking:** Associated Transportation Engineers (ATE) evaluated potential traffic and circulation impacts associated with the project. It is anticipated that the proposed new building addition will “generate a total of 2,161 Sunday trips and 560 peak hour trips. This is an increase of 1,480 Sunday trips and 384 peak hour trips added to the adjacent street system. Since Sunday trips traditionally occur outside peak periods of the adjacent roadways and study-area intersections, the project is not anticipated to have a significant impact to the study-area facilities.” Access to the site will be provided via driveway curb cuts on Camino Del Sol, Juanita Avenue, and Colonia Road. Upgrades to the parking design will change existing angle parking to perpendicular parking with connecting drive aisles. In addition, finger/end planters will be added. Together, the parking modifications are expected to improve circulation and visual line of sight conditions. A linear concrete walkway will also provide for a pedestrian connection through the parking lot.

Based on the building addition and the existing church and school facilities, the project does not meet the off-street parking requirements which require that the addition and existing buildings be provided with a total of 299 parking stalls. Fifty-two parking stalls will be in an area that will be jointly used by the school (parochial) as a playground during different peak hours from the church. During school hours these 53 parking stalls are expected to be fenced in and secured, however a condition will require that all fences providing access to these parking stalls be maintained open during church services. Peak hours for both uses are not expected to overlap. Therefore, the joint use of the parking lot is not expected to create additional impacts. The site will be provided with the following parking stalls.

Parking Tabulation	
- Standard Stalls	154
- Dual Use School/Church	53
- Handicap Accessible	14
- Motorcycle	12
- Off-Site Parking	147
Total:	380
Total Parking Available	

In accordance with Section No. 36-7.1.31(B)(2) of the City Code, the applicant has requested administrative relief to allow off site parking. Church and assembly type land uses often depend on surrounding land uses to support required on-site parking demands. The developer has an agreement with the Oxnard School District to use a parking lot of 147 parking stalls at Frank Jr. High School which is approximately 450 feet away from the church site. Since off-site parking is necessary for relief of the total number of off-street code required parking stalls, the developer shall be required to make necessary changes to the previously submitted parking agreement on file with the City to reflect the subject permit. The covenant shall assure the continued availability of the off-site parking for the life of the use to be served by the off-site parking.

In addition, a special condition has been drafted to require the ongoing monitoring of off-street parking demand changes. Permits which trigger occupancy or parking demand changes within the site will require a minor modification so that the Planning Manager can monitor and consider off-street parking demand changes within the site.

- e) **Building Design:** The front door entry into the new church building is diagonally oriented to face in a southwestern direction to face the school site. A plaza and sitting area is incorporated outside near the front entry between the building and the first row of perpendicular parking near the building. The building incorporates Spanish style architectural elements such as stucco finishes, pitched roofs that incorporate Spanish style roof tiles, and variations in wall planes.
- f) **Landscaping and Open Space:** The City Landscape Architect has reviewed the proposed landscape plans illustrating the site changes and has found the project to be in compliance with the landscape standards of the City. The proposed landscape changes will incorporate typical requirements such as planters, raised berms, perimeter landscaping, including landscaping features required within parking areas. Project conditions have been recommended to address and preserve the intent of the landscape design in accordance with the City Code.

7) **Development Advisory Committee:** Since the development application completed the Planning and Building Department process, the development project was not scheduled to go through the formal design review process with the Development Advisory Committee. Instead, the project was referred to all the DAC members, and members were asked to review the development plans, review project conditions and provide updated conditions needed to be applied to the new project application. The recommended project conditions are incorporated into the draft resolution attached.

8) **Community Workshop:** On Monday, July 6, 2009, the applicant mailed notices of the Community Workshop meeting to all property owners within the La Colonia Neighborhood and West Village Neighborhoods. The applicant also posted such notice on the project site with a brief description of the project and contact information. The Community Workshop was conducted on July 20, 2009. The architect provided a brief presentation by describing and illustrating the proposed site plan. Various representatives from the church and the Roman Catholic Archbishop of Los Angeles were present at the meeting. Approximately, 12 persons attended the meeting and no one opposed the project. Besides the feedback obtained at the community workshop, staff has not received any other objections or correspondence concerning the project.

**Appeal Procedure:** In accordance with Section 16-545 of the City Code, the Planning Commission's action may be appealed to the City Council within 18 days after the decision date. Appeal forms may be obtained from the City Clerk and must be submitted with the appropriate fees before the end of the appeal period.

**Attachments:**

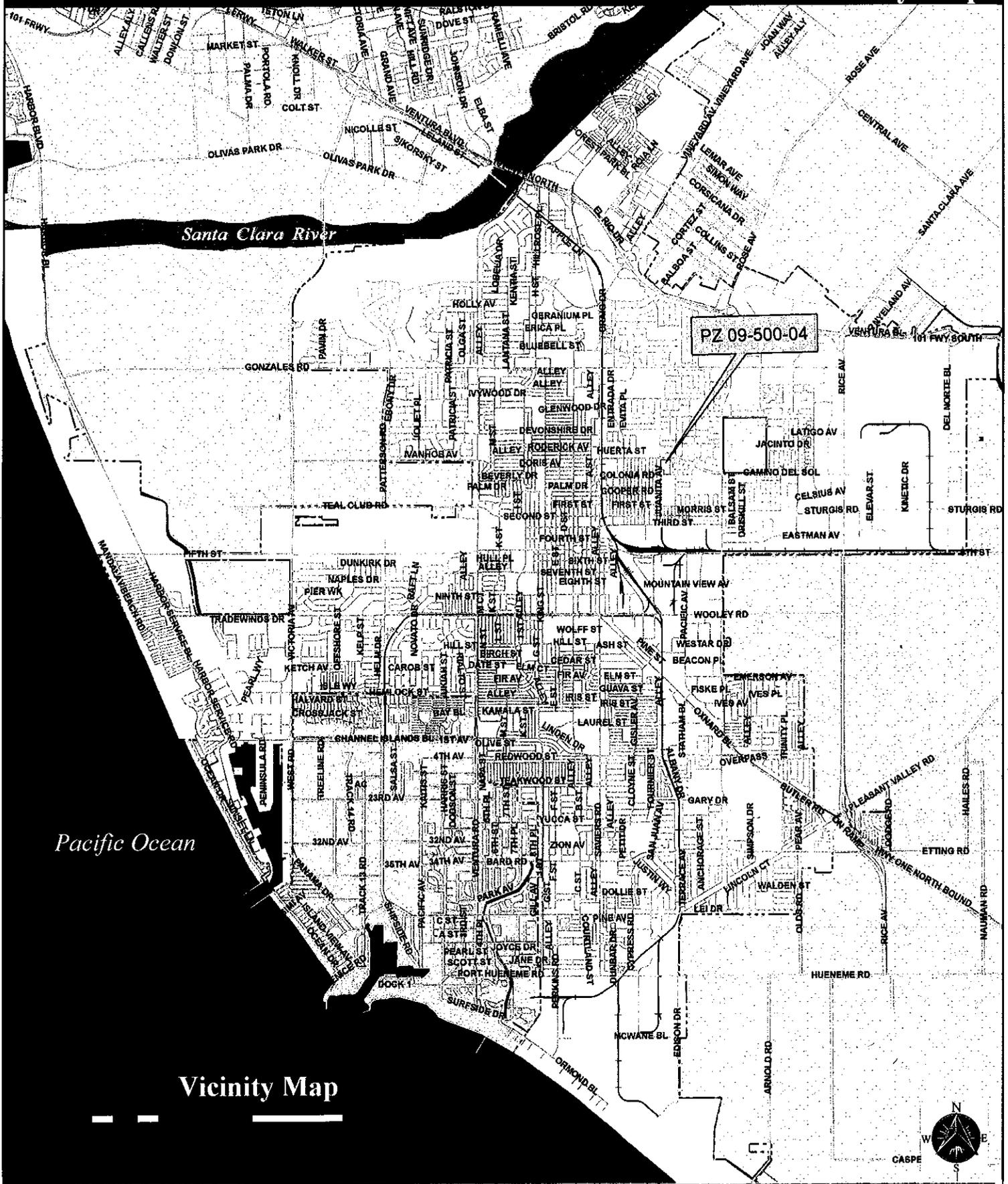
- A. Maps (Vicinity, General Plan, Zoning)
- B. Reduced Project Plans
- C. Adopted MND No. 2005-04 (Includes Addendum)
- D. Resolution

Prepared by:  JM
Approved by:  SM

**ATTACHMENT  
A**

**MAPS  
(VICINITY, ZONING, GENERAL PLAN MAP)**

# Vicinity Map



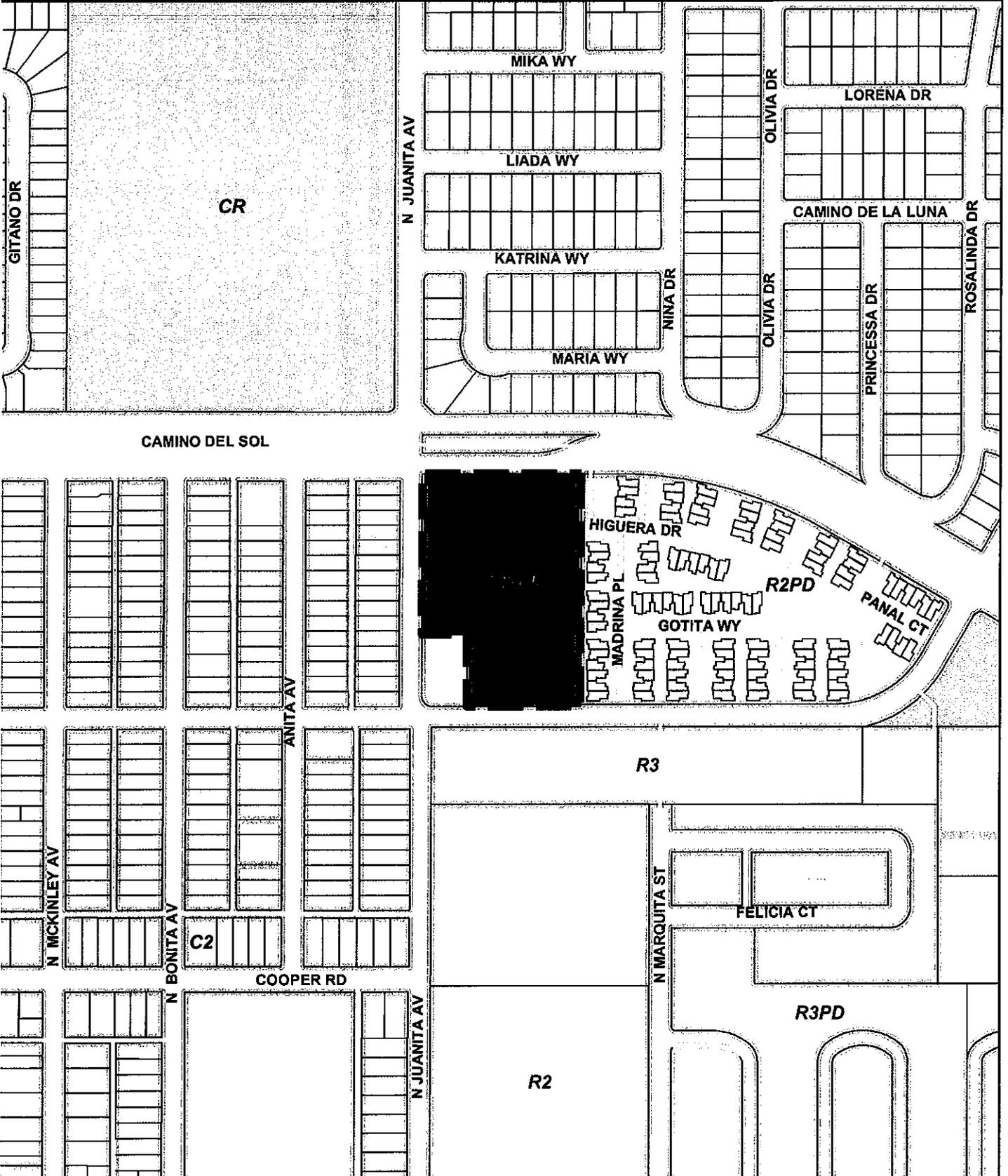
# Vicinity Map



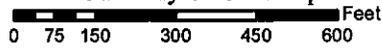
Oxnard Planning  
June 30, 2009

PZ 09-500-04  
Location: 540 N Juanita Av  
APN: 201004108  
Our Lady of Guadalupe

# Zone Map



PZ 09-500-04  
 Location: 540 N Juanita Av  
 APN: 201004108  
 Our Lady of Guadalupe

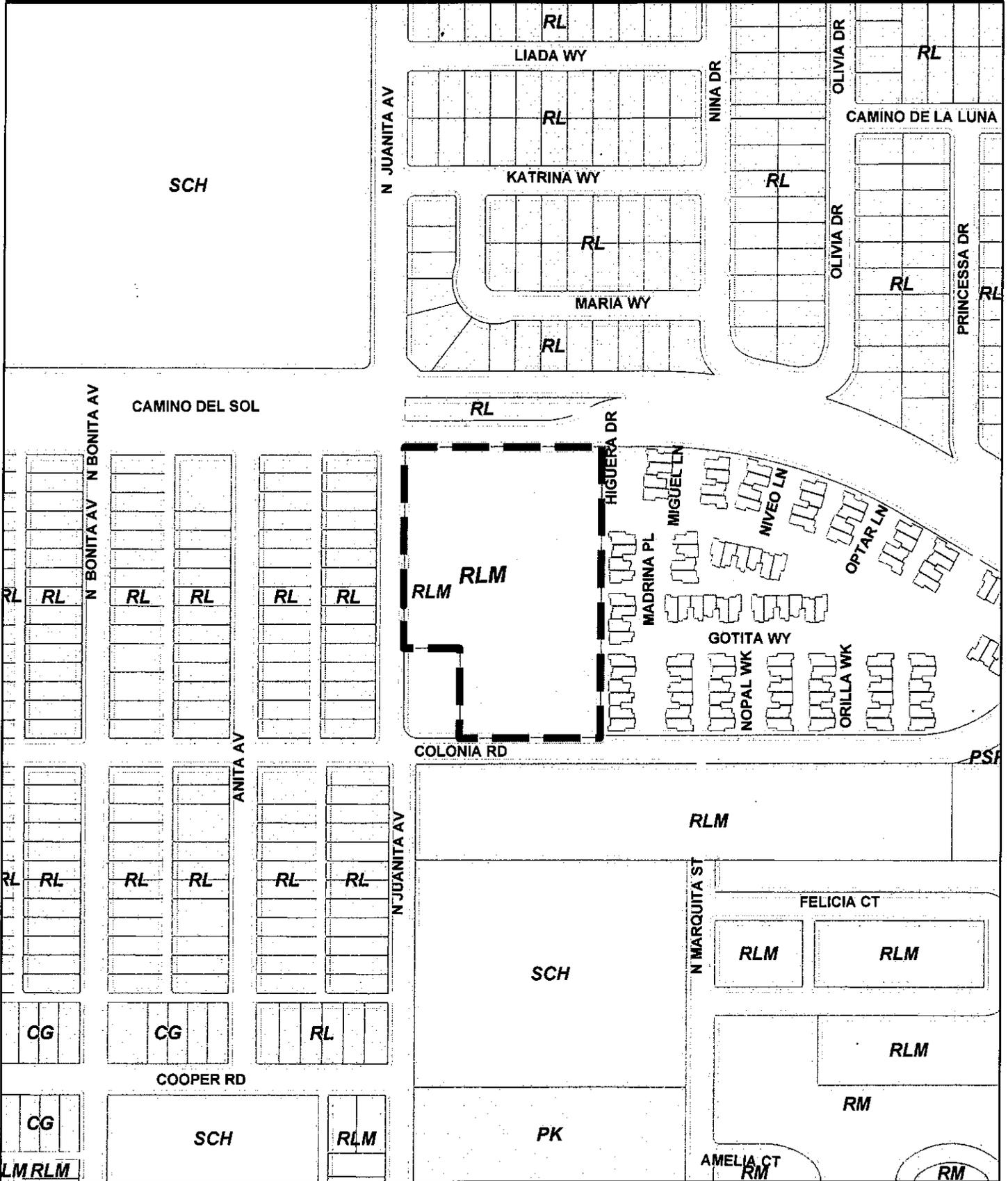


## Zone Map



1:4,237

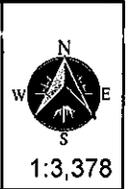
# General Plan Map



PZ 09-500-04  
 Location: 540 N Juanita Av  
 APN: 201004108  
 Our Lady of Guadalupe

0 75 150 300 450 600 Feet

General Plan Map

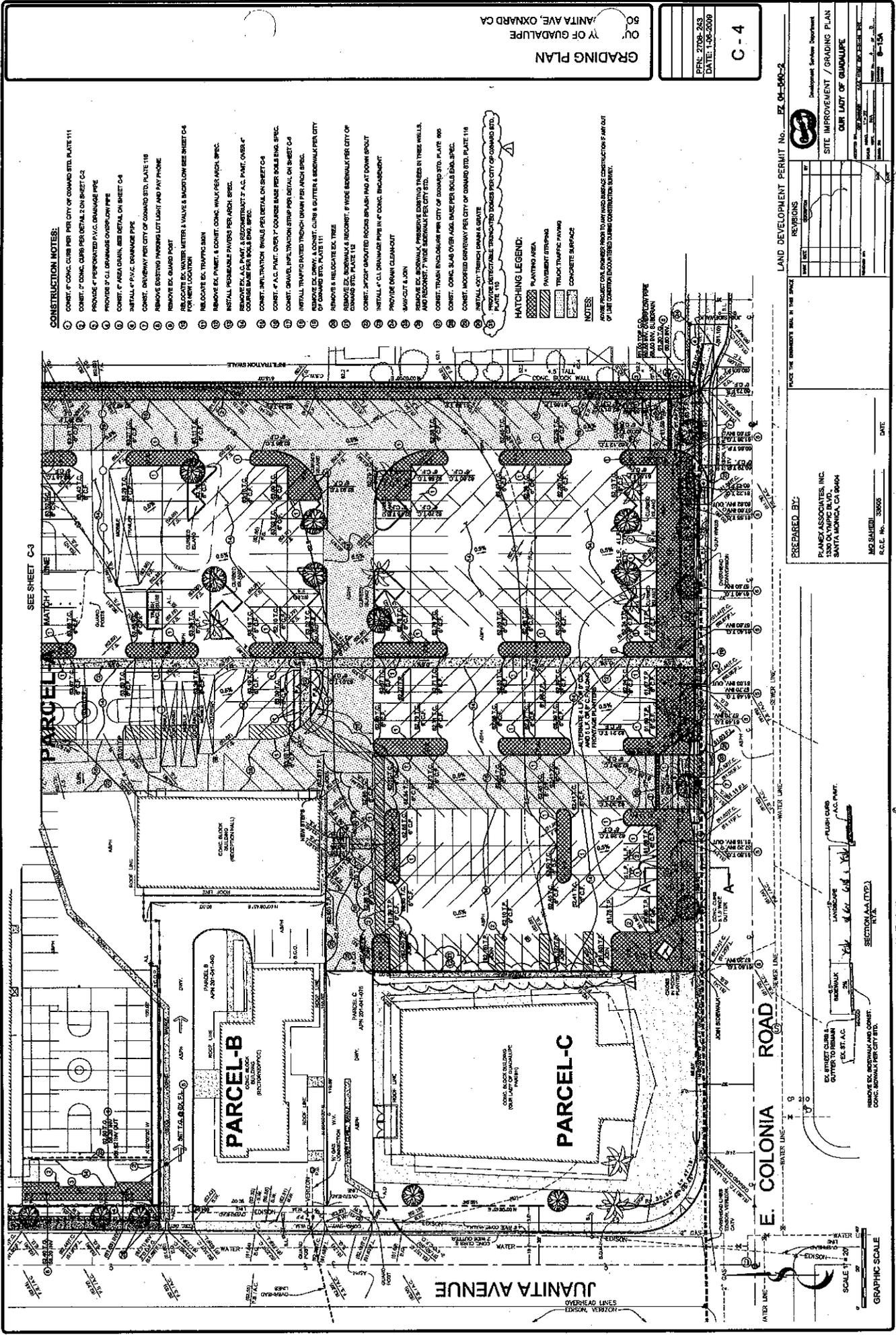


# **ATTACHMENT B**

## **REDUCED PROJECT PLANS**







SEE SHEET C-3

- CONSTRUCTION NOTES:**
1. CONST. 6" CONC. CURB PER PER CITY OF OXNARD STD. PLATE 111
  2. CONST. 7" CONC. CURB PER DETAIL ON SHEET C-2
  3. PROVIDE 4" PERFORATED P.V.C. DRAINAGE PIPE
  4. PROVIDE 2" C.I. DRAINAGE OVERFLOW PIPE
  5. CONST. 6" AREA DRAIN, SEE DETAIL ON SHEET C-4
  6. INSTALL 4" P.V.C. DRAINAGE PIPE
  7. CONST. DRAINAGE PER CITY OF OXNARD STD. PLATE 118
  8. REMOVE EXISTING PAVING, LIGHT AND RAY PHONE
  9. REMOVE EX. GUARD POST
  10. RELOCATE EX. WATER METER & VALVE & BACKFLOW PREVENTER SHEET C-4 FOR NEW LOCATION
  11. RELOCATE EX. TRAFFIC SIGN
  12. REMOVE EX. FENCE & CONST. CONC. WALL PER ARCH. SPEC.
  13. INSTALL 1/2" SCHEDULE 40S PER ARCH. SPEC.
  14. CONST. EX. A.C. PAVT. & RECONSTRUCT 7' A.C. PAVT. OVER 4' COURSE PER ARCH. SPEC.
  15. CONST. IMPLANTATION SHALL PER DETAIL ON SHEET C-4
  16. CONST. 7' A.C. PAVT. OVER 7" CONCRETE BASE PER BOLS ENG. SPEC.
  17. CONST. DRIVE, IMP. TRAVEL STOP PER DETAIL ON SHEET C-4
  18. REMOVE EX. DRIVE & CONST. CURB, CURB & GUTTER & SIDEWALK PER CITY OF OXNARD STD. PLATE 111
  19. REMOVE & RELOCATE EX. TREE
  20. REMOVE EX. SIGNALLS & RECONSTRUCT 7' WIDE SIDEWALK PER CITY OF OXNARD STD. PLATE 113
  21. CONST. 1/2" ASPH. GRANULED ROCKS BRUSH AND AT DOWN SPOUT
  22. INSTALL 4" C.I. DRAINAGE PIPE IN 4" CONC. ENCASUREMENT
  23. PROVIDE BRUSH CLEANOUT
  24. SAW-CUT & JOIN
  25. REMOVE EX. SIDEWALK PRESERVE EXISTING TREES IN THESE WALLS AND RECONSTRUCT 7' WIDE SIDEWALK PER CITY STD.
  26. CONST. CONC. SLAB OVER 4" ASH. BASE PER BOLS ENG. SPEC.
  27. CONST. MODIFIED DRIVEWAY PER CITY OF OXNARD STD. PLATE 118
  28. INSTALL 4" TRUSS BRUSH CLEANOUT
  29. PROVIDE DETAIL AS PER ARCH. SPEC.

- HATCHING LEGEND:**
- PLANTING AREA
  - PAVEMENT STRIPING
  - TRUCK TRAFFIC PAVING
  - CONCRETE SURFACE

**NOTES:**  
 1. VERIFY PROJECT CON. EXHIBIT HEAD TO SEE ANY ADDITIONAL CONSTRUCTION OF SET OUT OF LIMIT CONDITION ENCOUNTERED DURING CONSTRUCTION SURVEY.

GRADING PLAN  
 CITY OF GUADALUPE  
 ANITA AVE, OXNARD CA 93050

REN. 2708-243  
 DATE: 1-04-2009  
 C-4

LAND DEVELOPMENT PERMIT No. FZ 04-069-2

Development Services Department  
 SITE IMPROVEMENT / GRADING PLAN  
 OUR LADY OF GUADALUPE

Project No.: 2008-000000  
 Drawing No.: 2008-000000  
 Revision No.: 01

PREPARED BY:  
 PLANEX ASSOCIATES, INC.  
 10000 SANTA MONICA, CA 90404

DATE: \_\_\_\_\_

NO. SHEETS: 38/3005

SECTION A-A (TYP.)  
 SCALE: 1" = 20'

GRAPHIC SCALE

EX. STREET CURB & GUTTER TO REMAIN (EX. ST. A.C.)

REMOVED EX. SIDEWALK AND CONST. CONC. SIDEWALK PER CITY STD.

RELOCATE EX. WATER METER & VALVE & BACKFLOW PREVENTER SHEET C-4 FOR NEW LOCATION

REMOVE EX. GUARD POST

REMOVE EX. DRIVE & CONST. CURB, CURB & GUTTER & SIDEWALK PER CITY OF OXNARD STD. PLATE 111

REMOVE EX. SIGNALLS & RECONSTRUCT 7' WIDE SIDEWALK PER CITY OF OXNARD STD. PLATE 113

REMOVE EX. FENCE & CONST. CONC. WALL PER ARCH. SPEC.

INSTALL 1/2" SCHEDULE 40S PER ARCH. SPEC.

CONST. EX. A.C. PAVT. & RECONSTRUCT 7' A.C. PAVT. OVER 4' COURSE PER ARCH. SPEC.

CONST. IMPLANTATION SHALL PER DETAIL ON SHEET C-4

CONST. 7' A.C. PAVT. OVER 7" CONCRETE BASE PER BOLS ENG. SPEC.

CONST. DRIVE, IMP. TRAVEL STOP PER DETAIL ON SHEET C-4

REMOVE EX. DRIVE & CONST. CURB, CURB & GUTTER & SIDEWALK PER CITY OF OXNARD STD. PLATE 111

REMOVE & RELOCATE EX. TREE

REMOVE EX. SIGNALLS & RECONSTRUCT 7' WIDE SIDEWALK PER CITY OF OXNARD STD. PLATE 113

CONST. 1/2" ASPH. GRANULED ROCKS BRUSH AND AT DOWN SPOUT

INSTALL 4" C.I. DRAINAGE PIPE IN 4" CONC. ENCASUREMENT

PROVIDE BRUSH CLEANOUT

SAW-CUT & JOIN

REMOVE EX. SIDEWALK PRESERVE EXISTING TREES IN THESE WALLS AND RECONSTRUCT 7' WIDE SIDEWALK PER CITY STD.

CONST. CONC. SLAB OVER 4" ASH. BASE PER BOLS ENG. SPEC.

CONST. MODIFIED DRIVEWAY PER CITY OF OXNARD STD. PLATE 118

INSTALL 4" TRUSS BRUSH CLEANOUT

PROVIDE DETAIL AS PER ARCH. SPEC.

UTILITY LOCATION PLAN  
 JUANITA AVE, OXNARD CA

PRN: 2708-243  
 DATE: 8-10-2008

C-7

LAND DEVELOPMENT PERMIT No. **PL 08-568-2**

PLEASE SEE COMMENTS SHEET IN THIS SPACE

REVISIONS

NO.	DATE	DESCRIPTION

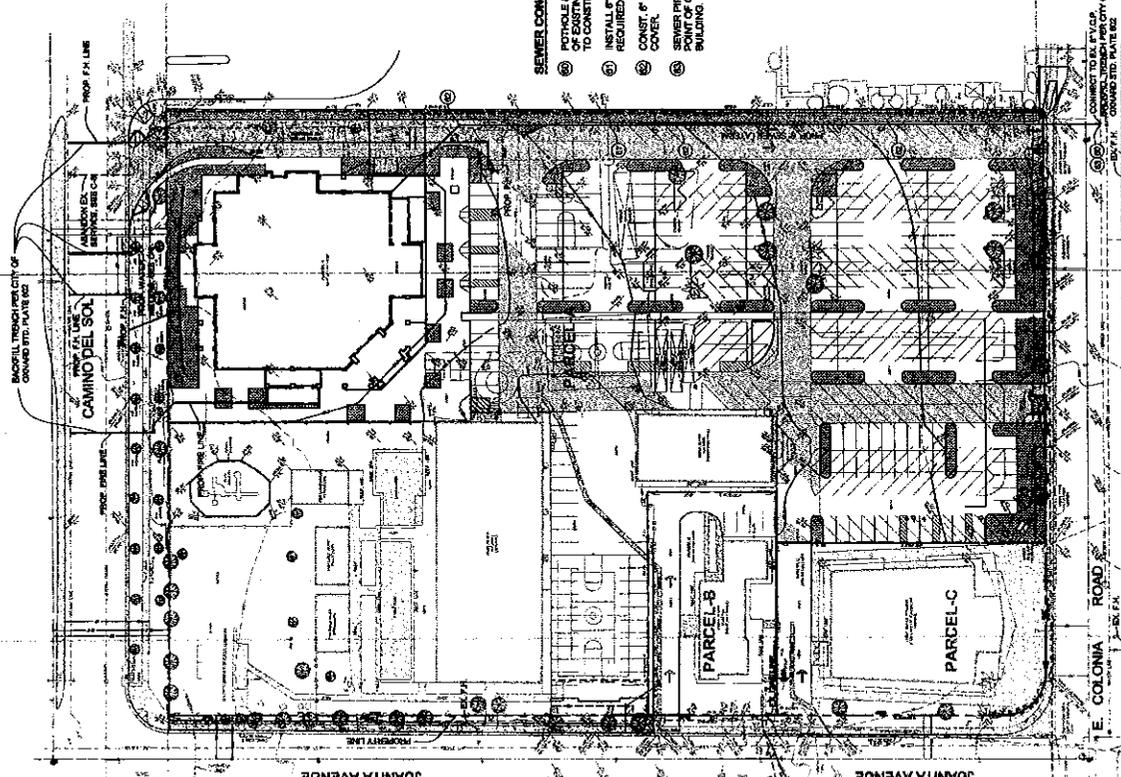


DATE: 10/21/09

PREPARED BY:  
 PLANEX ASSOCIATES, INC.  
 1330 OLYMPIC BLVD.  
 SANTA MONICA, CA 90404  
 M.D. BARBER, 33895  
 R.E.E. No. 33895

- SEWER CONSTRUCTION NOTES:**
- POT HOLE & VERIFY LOCATION, DEPTH, MATERIAL AND SIZE OF EXISTING SEWER. REPORT FINDINGS TO ENGINEER PRIOR TO CONSTRUCTION.
  - INSTALL 8" SDR35 P.V.C. SEWER PIPE, INCLUDING ALL REQUIRED FITTINGS.
  - CONST. & SEWER CLEANOUT WITH TRAFFIC RATED FRAME & COVER.
  - SEWER PIPE PLACEMENT SHALL START FROM THE MAIN POINT OF CONNECTION AND PROGRESS UPSTREAM TO THE BUILDING.

**UNDERGROUND UTILITIES**  
 SHOW EXISTING UTILITIES. THE CONNECTION WITH EXISTING UNDERGROUND SERVICE ALERT  
 1-800-227-2600



SCALE: 1" = 40'  
 GRAPHIC SCALE





DATE	DESCRIPTION
01.11.01	Final Plan

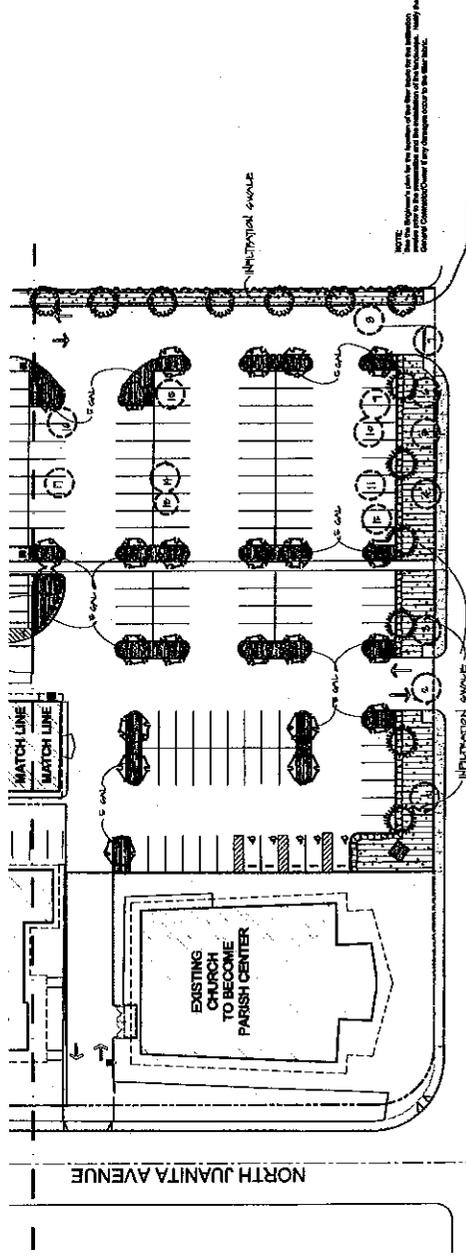


Galper/Schallert Architecture  
Landscape Architects  
200 S. Beverly Drive Suite 110  
Beverly Hills, CA 90212  
Tel: 310.277.7000  
Fax: 310.277.7000  
www.galper.com

500 NORTH JUANITA AVE.  
OXNARD, CALIFORNIA 90303

DATE: 01-28-08  
PROJECT: 07-01-101  
SCALE: 1/8" = 1'-0"

PLANTING PLAN



EAST COLONIA ROAD

NORTH JUANITA AVENUE



LANDSCAPE PLAN



**PLANT LEGEND**

SYMBOL	PLANT NAME
	Abies balsamea
	Cedrus deodara
	Pinus strobus
	Thuja occidentalis
	Juniperus horizontalis
	Yucca filifera
	Agave schottlandii
	Cordyline allamanda
	Philodendron bipinnatifidum
	Ficus religiosa
	Elaeagnus argentea
	Nerium oleander
	Hibiscus rosa-sinensis
	Pelargonium graveolens
	Lantana camara
	Ipomoea pes-caprae
	Passiflora ligularis
	Solanum elaeagnifolium
	Mimulus lewisii
	Phlox paniculata
	Dianthus barbatus
	Geranium robertianum
	Lavandula angustifolia
	Salvia leucoloba
	Echinacea purpurea
	Rudbeckia hirta
	Aster multiflorus
	Solidago canadensis
	Monarda mollis
	Coreopsis grandiflora
	Gaillardia x grandiflora
	Helianthus annuus
	Zinnia mexicana
	Cosmos atrosanguineus
	Amaranthus caudatus
	Tagetes patens
	Nicotiana glauca
	Solanum elaeagnifolium
	Physalis peruviana
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	Solanum elaeagnifolium
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	Nicotiana glauca
	Solanum elaeagnifolium
	Physalis peruviana





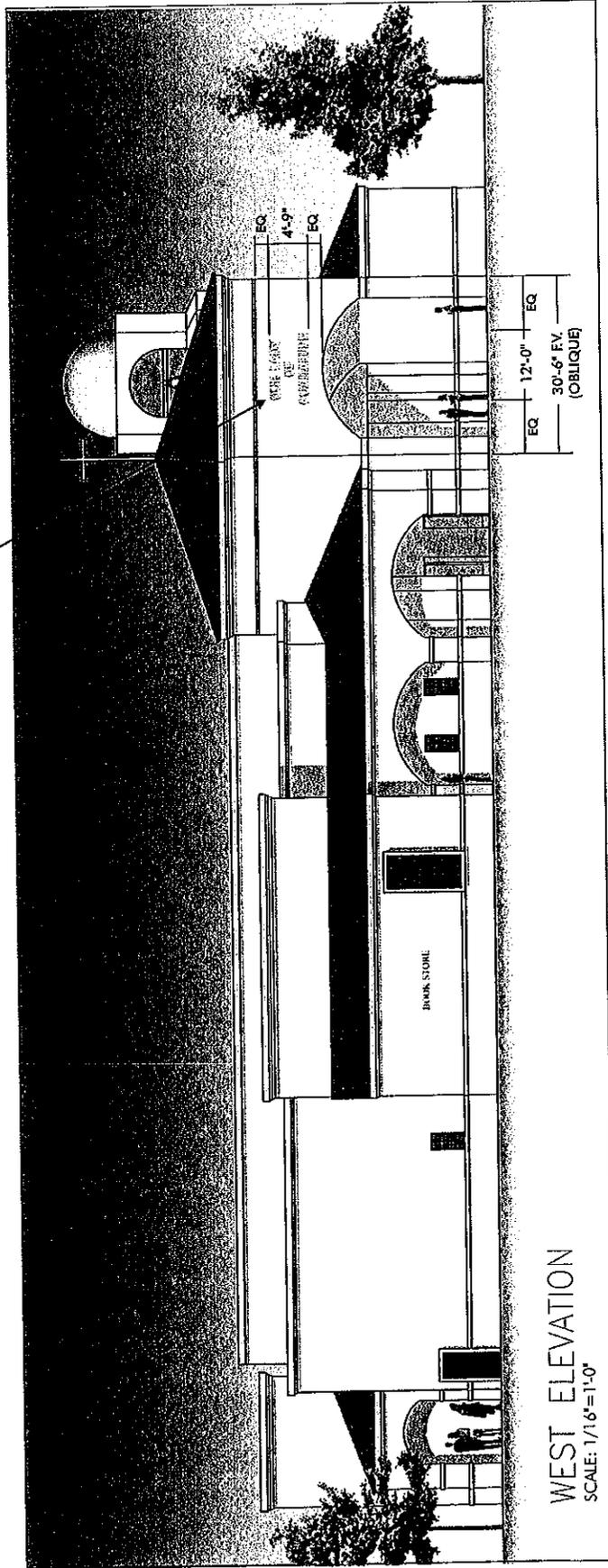








SIGN B



WEST ELEVATION  
SCALE: 1/16" = 1'-0"

REVISIONS:

NOTE: This is an original drawing. Copying, tracing, or reproduction in any form without the written permission of the author is prohibited. The author assumes no responsibility for errors or omissions. The author is not responsible for any damage or injury resulting from the use of this drawing. The author is not responsible for any damage or injury resulting from the use of this drawing.

This sign is intended to be used in accordance with the requirements of Article 16.09 of the National Electrical Code and the California Electrical Code. The sign must be properly grounded and installed in accordance with the requirements of the sign.

CUSTOMER / LANDLORD APPROVAL

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CLIENT:	OUR LADY OF GUADALUPE	SALES:	DC	DRAWN BY:	JW	OPTION:
ADDRESS:	500 NORTH JUANITA AVENUE OXNARD, CALIFORNIA 93030	CONCEPT:	C5515			
DATE:	09.10.07					

**Promotional Signs**  
20361 Hermans Circle - Lake Forest, CA 92630  
(949) 458-1000 PHONE (949) 458-3530 FAX

**ATTACHMENT  
C**

**MITIGATED NEGATIVE DECLARATION  
No. 2005-04**

---

**Our Lady of Guadalupe  
Planning and Zoning Permit NO. 09-500-04  
(Special Use Permit)**

**MND 2005-04  
Addendum**

*Prepared by:*

**City of Oxnard  
Planning Division  
214 South C Street  
Oxnard, California 93030**

This document is an addendum to Our Lady of Guadalupe's Mitigated Negative Declaration No. 2005-04. The addendum concludes that there are no additional nor increased possible environmental effects associated with the proposed project changes that are represented by Planning and Zoning Permit No. 09-500-04 (Special Use Permit) in comparison to the project that was the subject of MND 2005-04, certified in September of 2005.

September 23, 2009

According to Section 15164 of the State California Environmental Quality Act (CEQA) Guidelines, an addendum to a previously adopted MND is the appropriate environmental document in instances when no conditions exist that would trigger a subsequent MND. There are three tests that determine if a subsequent MND is required (Section 15162(a)). They are:

1. Substantial changes to the project lead to a substantial increase in the severity of previously identified environmental effects;
2. Substantial changes have occurred with respect to the circumstances under which the project is undertaken;
3. New information of substantial importance that was not known or could not have been known at the time of the MND adoption shows any of the following:
  - a. The project will have effects not previously discussed,
  - b. Significant effects previously examined will be substantially more severe than previously estimated,
  - c. Mitigation measures previously found infeasible would now be feasible and would substantially reduce effects of the project, and/or
  - d. Different mitigation measures from those included in the MND would substantially reduce effects.

TEST No. 1: Proposed Changes Lead to Substantial Increases in Environmental Effects

The project's impacts were analyzed as part of the original MND, and the mitigations from MND 2005-04 are incorporated by reference in the project approval resolution. The church project description in MND 2005-04 analyzed the addition of a 16,860 square foot building and the proposed new development application seeks re-approval of the special use entitlement, which expired in February of 2009. See attached Exhibits A and B, illustrating the proposed site plan and the site plan approved with PZ 04-540-02 (Special Use Permit)

The re-approval includes minor changes which were reviewed and approved by the Planning Manager in February of 2008. Changes approved, further refined the development improvements by improving the elevation design, re-orient the building footprint/front entry, and improve the parking layout. The revised elevations improved the architectural design appearance by introducing residential like architectural features that are more in line with the character of the surrounding neighborhood. The building design introduced a pitched roof structures, added more windows and incorporated varied wall planes and a central roof component designed to channel natural day light into the interior of the church.

The parking lot was also modified to address certain conditions provided with the initial development application and to improve circulation vehicular patters. A joint use (parking/open play area) was reduced in size resulting less obstructions to drive aisles, parking and making more parking available for the church day-to-day service needs. A new vehicular curb-cut entry was also approved to accommodate additional ingress/egress needs into the church. The parking lot changes and new drive apron were determined to be in conformance with City standards at the time the minor modification was reviewed and approved.

TEST No. 2: Substantial Changes Have Occurred With Respect To Circumstances

Staff reviewed the initial study in conjunction with the current project and it has been determined that the proposed changes described in this Addendum would not result in any new or significantly adverse environmental impacts identified for the previously adopted Mitigated Negative Declaration.

TEST No. 3: New Information Of Substantial Importance That Was Not Known Or Could Not Have Been Known At The Time Of The EIR Adoption

No new information relative to environmental impacts has subsequently been revealed since the adoption of the mitigated negative declaration analyzing the project (Our Lady of Guadalupe), based on the following:

1. **Will the project have effects not previously discussed?** While the proposed new church building is about 3% larger (16,860 sf to 17,375sf) than originally proposed, it's footprint size, building location, parking conditions and design are substantially the same.
2. **Will significant effects previously examined be substantially more severe than previously estimated?** MND 2005-04 was prepared to identify if any potential significant adverse effects on the environment would occur as a result of the project. Four areas were identified as potentially being affected: 1) Air Quality impacts; 2) Geology and Soils (seismic activity); 3) Cultural Resources; and 4) Noise (short-term impacts due to construction). These four areas require mitigation to reduce potential adverse impacts to less than significant and adopted mitigation measures were incorporated as conditions into the project.
3. **Would mitigation measures previously found infeasible now be feasible and would substantially reduce effects of the project?** There were no mitigations measures found infeasible in MND 2005-04 that are now feasible and/or would substantially reduce adverse environmental impacts.
4. **Different mitigation measures from those included in the MND would substantially reduce effects?** No updated mitigation measures are necessary or included in the resolution of approval.

**Exhibit:**

- A. Site Plan (PZ 04-540-05) Analyzed in MND 2005-04
- B. Site Plan (PZ 09-500-04) Proposed







PLANNING & ENVIRONMENTAL SERVICES  
305 WEST THIRD STREET  
OXNARD, CALIFORNIA 93030  
(805) 385-7858

**MND 2005-04**

**NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION**

The City of Oxnard Planning and Environmental Services Division has reviewed an application on the following proposed project:

Planning & Zoning Permit Nos. 04-540-02 (Special Use Permit) 04-620-05 (General Plan Amendment) 02-570-03 (Zone Change) addition of a 16,860 square foot church building proposed at an existing church and private parochial school site (Our Lady of Guadalupe). The proposed entitlements include a request to amend the General Plan Land Use Designation from Low Residential to Medium Residential and to change the current zoning designation from "R-1" to "R2-PD" to establish land use consistency with the underlying General Plan and zoning designations. The site is located at 500 North Juanita Avenue, within La Colonia Neighborhood. Filed by Rev. Enrique Ramirez, Our Lady of Guadalupe, 500 North Juanita Avenue, Oxnard, CA 93030.

In accordance with Section 15070 of the California Code of Regulations, the Planning & Environmental Services Division of the City of Oxnard has determined that there is no substantial evidence that the proposed project would have a significant effect on the environment, and that a mitigated negative declaration (MND) may be adopted.

The draft document may be reviewed online, from the City webpage at [www.ci.oxnard.ca.us](http://www.ci.oxnard.ca.us). Select "City Departments" on the home page. Go to the "Planning & Environmental Services" page, under the Development Services Department listing. Then choose "Environmental Documents" to select and view the draft document.

Alternatively, the draft document is available for review at the Oxnard Planning & Environmental Services Division office, 305 W. Third Street (8:00 a.m. to 6:00 p.m., Monday through Thursday, and 8:00 a.m. to 5:00 p.m. on alternate Fridays), and at the Oxnard Public Library, 251 South "A" Street (9:00 a.m. to 8:00 p.m., Monday through Thursday, and 9:00 a.m. to 5:30 p.m. on Saturday and 1:00 p.m. to 5:00 p.m. on Sunday).

The public review and comment period for **[Mitigated] Negative Declaration No. 2005-04** starts on March 25, 2005 and ends on April 13, 2005. All comments should be provided in writing and received before 5:00 p.m. on the last day of the review period. Inquiries should be directed to Juan Martinez, Associate Planner, at (805) 385-7556 and written comments may be mailed or faxed (805/385-7417) to the City of Oxnard, Planning & Environmental Services Division, 305 W. Third Street, Oxnard, CA 93030.

Sue Martin, AICP  
Acting Planning & Environmental Services Manager

Cc: Applicant  
County Clerk  
ND Distribution List

March 24, 2005

From: Kluger Architects  
111 West Ocean Boulevard, Suite 1050  
Long Beach, CA 90802

To: Planning and Environmental Services Manager

Re: ***Our Lady of Guadalupe Parish  
Initial Study/Mitigated Negative Declaration (MND 2005-04)  
Planning and Zoning Permit No. 04-540-02 (Special Use Permit), 04-620-05 (General  
Plan Amendment), & 02-570-03 (Zone Change)***

Pursuant to Section 15070 (Negative or Mitigated Negative Declaration Process) of the State Guidelines implementing the California Environmental Quality Act, I, acting as agent for the property owner, hereby agree to the following:

- 1) The draft initial study identifies potentially significant effects from the project, but the study also identifies mitigation measures that would avoid or mitigate the effects to a level where clearly no significant effects would occur;
- 2) The mitigation measures are hereby incorporated into the project prior to releasing the draft initial study and mitigated negative declaration for public comment;
- 3) I agree to the mitigation measures as necessary to avoid or mitigate significant effects that would otherwise arise from the project. I/we accept the mitigation measures included in the draft initial study and have resolved all questions and concerns regarding the mitigation measures;
- 4) If during the public comment period and/or decision-making process, substitute or additional mitigation measures are proposed, the appropriate process must take place for determining whether or not to substitute or apply additional measures;
- 5) This agreement is binding upon the applicant for this project and any successors in interest or assignees.

Agreement by: \_\_\_\_\_

Applicant, Agent, or Owner Signature

03/25/05  
Date

STUART G. GALLOWAY, KLUGER ARCHITECTS ACTING  
Print Name AS AGENTS FOR THE PARISH OF OUR  
LADY OF GUADALUPE & THE ROMAN  
CATHOLIC ARCHBISHOP OF LOS ANGELES.

MND 2005-04  
Our Lady of Guadalupe  
PZ 04-540-02(PD), 04-620-05(GPA), 02-570-03(ZC)  
March 23, 2005  
Page 10

Mitigation measures identified in the City's *Initial Study Assessment Threshold Guidelines* (February 1995) should be included as part of project approval. **With the inclusion of the mitigation measures, short-term air quality impacts would be reduced to less than significant.**

*Long-term impacts:* The project project's related Reactive Organic Compound (ROC) and Nitrogen Oxide (NOx) emissions were evaluated using the State of California Air Resources Board's *URBEMIS 2002* assessment program. Based on the proposed 16,860 square foot church building, the long-term effects identified from this project include 3.27 pounds per day (ppd) ROC and 6.24 ppd NOx emissions. The City's adopted threshold for ROC and NOx emissions is 25 ppd. **Since the emissions related to this project do not exceed the adopted threshold, the long-term air quality impacts are expected to be less than significant.**

- 5) The proposed project is not considered to be in conflict with the Air Quality Management Plan. Nor is the project likely to create any objectionable odors. **No significant impacts are expected due to these concerns.**

**Mitigation:** The following mitigation measures shall apply for short-term impacts...

- C-1 Apply sufficient water to all major soil disturbance areas to maintain a soil moisture of 4% in the upper six inches of soil stratum. Other equally effective dust palliatives shall be used if drought conditions limit water availability.
- C-2 Perform daily street sweeping at the conclusion of each workday up to a distance of 250 feet in either direction of any construction site access entrance until all onsite paving is completed.
- C-3 All trucks that will haul excavate or graded materials offsite shall comply with State Vehicle Code Section 23114, with special attention to Section 23114(b)(F), (e)(2), and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads.
- C-4 Double sandbag all site perimeters adjoining traveled roads from November to April to prevent dirt from washing off the site and being pulverized by passing vehicles.
- C-5 Terminate all grading, excavation, and travel on unpaved surfaces when hourly average wind speeds exceed 30 mph. The contractor shall maintain contact with the APCD meteorologist for current average wind speeds.
- C-6 Apply non-hazardous chemical stabilizers to all inactive portions of the construction site. When appropriate, seed exposed surfaces with a fast-growing, soil binding plant to reduce wind erosion and its contribution to local particulate levels.
- C-7 During construction (especially grading activities), employ local workers who have greater immunity to San Joaquin Valley Fever to the greatest extent possible.

5/6/2/ko  


MND 2005-04  
Our Lady of Guadalupe  
PZ 04-540-02(PD), 04-620-05(GPA), 02-570-03(ZC)  
March 23, 2005  
Page 14

**E. CULTURAL RESOURCES**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
4. Disturb any human remains, including those interred outside of formal cemeteries? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.11 - Cultural Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

1-4) The Oxnard Plain, on which the City lies, has a history of human habitation of thousands of years. Portions of Ventura County were occupied by early Native American cultures from about 3,500 years ago to approximately the first century A.D. Chumash Indians settled in the area around 1500 A.D. Literature searches undertaken through the UCLA Institute of Archaeology, conducted between 1984 and 1986 identified seven archaeological sites in the County. A records check conducted through the South Central Coastal Information Center (SCCIC) have indicated that cultural resources have been found in various places throughout the City.

The site is surrounded or lies within an area that historically has been previously graded for common farming practices. Although, nearby development, including building construction and infrastructure improvements have not revealed any cultural resources in the immediate vicinity, the nature of previously recorded and discovered archaeological and ethnographic resources in the close vicinity and the expressed concerns of the Native American community for the entire City, the following mitigation is proposed. **No significant adverse effects on cultural resources are expected to result from the project.**

Mitigation: The following mitigation measures shall apply:

*RA 03/25/05*

E-2 Developer shall contract with a Native American monitor to be present during all subsurface grading, trenching activities on the project site. The monitor shall provide a monthly report to the Planning Division summarizing their activities during the reporting period. A copy of the contract for these services shall be submitted to the Planning and Environmental Services Manager for review and approval prior to issuance of any grading permits. The monitoring report(s) shall be provided to the Planning Division prior to approval of final building permits.

Monitoring: Planning staff will review the Phase I report and the Native American monitoring contract prior to issuance of any building permits. Planning staff will ensure the monitoring reports are received prior to Planning Division inspection for final building permit sign-off. Development Services staff will monitor onsite construction activities, as necessary.

Result after Mitigation: Upon implementation of the above mitigation measures, the project will not result in any residual significant adverse effects on the environment related to cultural resources. **No further monitoring needed.**

**ATTACHMENT**

**D**

**Mitigated Negative Declaration**  
**No. 2005-04**  
*(Includes Exhibits)*



Planning and Environmental Services  
Division  
305 West Third Street  
Oxnard, California 93030

## **MITIGATED NEGATIVE DECLARATION NO. 2005-04**

On the basis of an initial study, and in accordance with Section 15070 of the California Code of Regulations, the Planning and Environmental Services Division has determined that there is no substantial evidence that the proposed project may have a significant effect on the environment

The Planning and Environmental Services Division has reviewed the following request:

Planning & Zoning Permit Nos. 04-540-02 (Special Use Permit) 04-620-05 (General Plan Amendment) 02-570-03 (Zone Change) addition of a 16,860 square foot church building proposed at an existing church and private parochial school site (Our Lady of Guadalupe). The proposed entitlements include a request to amend the General Plan Land Use Designation from Low Residential to Medium Residential and to change the current zoning designation from "R-1" to "R2-PD" to establish land use consistency with the underlying General Plan and zoning designations. The site is located at 500 North Juanita Avenue, within La Colonia Neighborhood. Filed by Rev. Enrique Ramirez, Our Lady of Guadalupe, 500 North Juanita Avenue, Oxnard, CA 93030.

Attached is a copy of the initial study documenting the reasons to support the finding of no significant effect on the environment. The factors listed below contain mitigation measures that would reduce any potential impact to below the level of significance. A summary listing all of the mitigation measures can be found starting on page 36 of the initial study attached.

- Air Quality
- Geology and Soils
- Cultural Resources
- Noise
- Transportation/Traffic
- Utilities and Services Systems

### Exhibits:

- A. Initial Study/MND No. 2005-04
- B. Vicinity Map
- C. Zoning Map
- D. General Plan Map
- E. Development Project Plans
- F. URBEMIS 2002 Air Emission Modeling

cc: Applicant  
County Clerk  
MND Distribution List

Environmental Impact	Significance Before Mitigation	Recommended Mitigation Measure	Significance After Mitigation	Responsible Party
Air Quality (Short-term)	Temporary Minor Impact	<p>C-1 Apply sufficient water to all major soil disturbance areas to maintain a soil moisture of 4% in the upper six inches of soil stratum. Other equally effective dust palliatives shall be used if drought conditions limit water availability.</p> <p>C-2 Perform daily street sweeping at the conclusion of each workday up to a distance of 250 feet in either direction of any construction site access entrance until all onsite paving is completed.</p> <p>C-3 All trucks that will haul excavate or graded materials offsite shall comply with State Vehicle Code Section 23114, with special attention to Section 23114(b)(F), (e)(2), and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads.</p> <p>C-4 Double sandbag all site perimeters adjoining traveled roads from November to April to prevent dirt from washing off the site and being pulverized by passing vehicles.</p> <p>C-5 Terminate all grading, excavation, and travel on unpaved surfaces when hourly average wind speeds exceed 30 mph. The contractor shall maintain contact with the APCD meteorologist for current average wind speeds.</p> <p>C-6 Apply non-hazardous chemical stabilizers to all inactive portions of the construction site. When appropriate, seed exposed surfaces with a fast-growing, soil binding plant to reduce wind erosion and its contribution to local particulate levels.</p> <p>C-7 During construction (especially grading activities), employ local workers who have greater immunity to San Joaquin Valley Fever to the greatest extent possible.</p> <p>C-8 During grading activities on the project site, all construction workers shall use face masks.</p> <p>C-9 Use air-conditioning cabs in heavy construction and grading equipment where possible.</p> <p>C-10 All primary project construction contractors shall implement a traffic management programs to reduce the number of employees or material delivery trips and to minimize conflict with regional transportation patterns. The elements of such a program shall include:            (A) Provide rideshare incentives for all workers on the project site.            (B) Provide construction personnel parking off arterial roadways to minimize traffic interference.            (C) Schedule receipt of concrete, asphalt, steel, and other materials between 9:00 a.m. and 3:00 p.m. to the extent practical.</p>	Less Than Significant Impact	Planning and Environmental Services/Development Services

Environmental Impact	Significance Before Mitigation	Recommended Mitigation Measure	Significance After Mitigation	Responsible Party
		<p>(D) Restrict any lane closures of public roadways to the hours of 9:00 a.m. to 3:00 p.m.                      (E) Complete all street sweeping of adjacent roadways by 4:00 p.m.</p> <p>C-11. Developer shall maintain and tune all construction equipment to meet appropriate EPA and CARB emissions requirements. At such time as new emission control devices or operational modifications are found to be effective, such devices or operational modifications shall be required on all construction equipment operating pursuant to City permits.</p> <p>C-12. The following dust suppression measures shall be incorporated into the project:</p> <ol style="list-style-type: none"> <li>1. Watering all excavated material to prevent wind erosion while it is on-site or being moved;</li> <li>2. Periodic watering of construction sites or use of APCD approved dust suppression compounds that bind with the surface layers of soil and prevent soil particles from being eroded;</li> <li>3. Controlling the number and activity of vehicles on site at any given time;</li> <li>4. Seeding areas to be left inactive for a long enough period to secure the soil, limiting the area excavated at any given time;</li> <li>5. Limiting on-site vehicle traffic to 15 miles per hour; and</li> <li>6. Sweeping streets adjacent to the construction site to remove dust caused by the construction activities.</li> <li>7. All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., greater than 15 miles per hour averaged over one hour) to prevent excessive amounts of fugitive dust.</li> <li>8. Developer shall mitigate air quality emissions associated with development of the subject site through a contribution to the City's Transportation Demand Management (TDM) program. Such fee shall be calculated at the time of building permit issuance in accordance with the Ventura County Air Quality Assessment Guidelines, as amended. Such fee shall be collected in full prior to building permit issuance.</li> </ol>		
Cultural Resource	Potentially Significant	E-1 Developer shall contract with a Native American monitor to be present during all subsurface grading, trenching or construction activities on the project site. The monitor shall provide a monthly report to the Planning Division summarizing their activities during the reporting period. A copy of the contract for these services shall be submitted to the Planning and Environmental Services Manager for review and approval prior to issuance of any grading permits. The monitoring report(s) shall be provided to the Planning Division prior to approval of final building permits.	Less Than Significant Impact	Planning and Environmental Services/Development Services
Geology and Soils	Potentially Significant	F-1 All construction shall conform to the seismic requirements of the Uniform Building Code. F-2 A site-specific soils investigation which addresses, at a minimum, liquefaction and compressible soil characteristics on the site, shall be prepared by a licensed geotechnical engineer for review and comment by	Less Than Significant Impact	Development Services Department

Environmental Impact	Significance Before Mitigation	Recommended Mitigation Measure	Significance After Mitigation	Responsible Party
Noise	Temporary Minor Impact	<p>The report shall identify any necessary construction techniques or other mitigation measures to prevent significant liquefaction/compressible soils impacts upon the proposed project. All recommendations of the report shall be incorporated into the project as conditions of approval. The report shall be submitted no later than at the time that plans are submitted for review by the Building Official.</p> <p><i>Short Term Impacts:</i>                      K1. During all excavation and grading on site, the project contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers, consistent with manufacturers' standards.                      K2. The project contractor shall place all stationary construction equipment so that emitted noise is directed away from sensitive receptors nearest the project site.                      K3. The construction contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.                      K4. Construction times shall be limited to 7 a.m. to 7 p.m. daily or in accordance with City Ordinances restricting construction times at the time of construction, whichever is more restrictive.</p>	Less Than Significant Impact	Development Services Department
Transportation / Traffic	Less Than Significant but Manageable	<p>O-1. Prior to the issuance of a building permit, the developer shall provide acceptable joint use agreements with the Oxnard School District allowing the church and persons attending the church to use Fran Jr. High School's parking lot during non-school hours, including weekends, &amp; holidays.</p>	Less Than Significant Impact	Planning and Environmental Services
Utility and Service Systems	Potentially Significant	<p>P-1 The applicant will be required to obtain a "will serve" letter from the City of Oxnard Water Division which ensures that the Water Division has adequate water to serve the development.                      P-2 The project is required to provide low-flow water fixtures and drought-tolerant landscaping to reduce the amount of water consumed by the project.                      P-3 Storm water runoff within the <i>Rose-Santa Clara Corridor Specific Plan</i> area shall be limited to the runoff rates specified by the Development Services Program and onsite detention may be required. All detention basins, if needed, shall be designed in accordance with City standards and policies.                      P-4 Implementation of appropriate source reduction and recycling activities, in conjunction with City of Oxnard programs, will mitigate the increased generation of disposal waste from the development of the Site. This shall be accomplished prior to issuance of certificate of occupancy.                      P-5 Project applicants shall submit recycling plans to the City to provide information on how waste generated during construction is to be diverted from landfills. This shall be accomplished prior to issuance of a building permit.                      P-6 Project applicants shall provide for the collection and recycling of materials (i.e. concrete, wood, metal, etc.) generated from the construction and ultimate occupancy of the proposed project to the extent feasible. This shall be accomplished prior to issuance of a building permit.</p>	Less Than Significant Impact	Development Services Department

Environmental Impact	Significance Before Mitigation	Recommended Mitigation Measure	Significance After Mitigation	Responsible Party
		P-7 Recycling or reduction of green waste collected from the proposed project shall occur through xeriscaping, mulching, and/or small-scale composting activities. P-8 Arrangements shall be made with a local trash/recyclables hauling company for materials collection or the applicants shall arrange for self-hauling to an authorized facility that accepts recyclable material.		

# **EXHIBIT A**

**Initial Study/  
Mitigated Negative Declaration No. 2005-04**



Planning & Environmental Services Division  
305 West Third Street  
Oxnard, CA 93030  
805/385-7858  
FAX 805/385-7417

**INITIAL STUDY  
MITIGATED NEGATIVE DECLARATION  
NO. 2005-04**

Our Lady of Guadalupe Parish  
500 - 530 North Juanita Avenue  
March 23, 2005

**Planning and Zoning Permit Nos.  
04-540-02 (Planned Development Permit)  
04-620-05 (General Plan Amendment)  
02-570-03 (Zone Change)**

**Introduction**

This *Initial Study* has been prepared in accordance with relevant provisions of the *California Environmental Quality Act (CEQA)* of 1970, as amended, and the *CEQA Guidelines* as revised. *Section 15063(c)* of the *CEQA Guidelines* indicates that the purposes of an Initial Study are to:

1. Provide the Lead Agency (i.e., the City of Oxnard) with information to use as the basis for deciding whether to prepare an Environmental Impact Report (EIR) or Negative Declaration;
2. Enable an applicant or Lead Agency to modify a project, mitigating adverse impacts before an EIR is prepared, thereby enabling the project to qualify for a Negative Declaration;
3. Assist the preparation of an EIR, if one is required, by:
  - Focusing the EIR on the effects determined to be significant;
  - Identifying the effects determined not to be significant;
  - Explaining the reasons why potentially significant effects would not be significant; and
  - Identifying whether a program EIR, tiering, or another appropriate process can be used for analysis of the project's environmental effects.
4. Facilitate environmental assessment early in the design of a project;
5. Provide documentation of the factual basis for the finding in a Negative Declaration that a project will not have a significant effect on the environment;
6. Eliminate unnecessary EIRs; and
7. Determine whether a previously prepared EIR could be used with the project.

The City of Oxnard *Threshold Guidelines - Initial Study Assessment* (February 1995) was used along with other pertinent information for preparing the *Initial Study* for this project.

The purpose of the *Threshold Guidelines* is to inform the public, project applicants, consultants and City staff of the threshold criteria and standard methodology used in determining whether or not a project (individually or cumulatively) could have a significant effect on the environment. Furthermore, the *Threshold Guidelines* provide instructions for completing the *Initial Study* and determining the type of environmental document required for individual projects.

Determining the significance of environmental impacts is a critical and often controversial aspect of the environmental review process. It is critical because a determination of significance may require that the project be substantially altered, or that mitigation measures be readily employed to avoid the impact or reduce it below the level of significance. If the impact cannot be reduced or avoided, an Environmental Impact Report (EIR) must be prepared. An EIR is a detailed statement that describes and analyzes the significant environmental impacts of a proposed project, discusses ways to reduce or avoid them, and suggests alternatives to the project, as proposed. The preparation of an EIR can be a costly and time-consuming process.

Determining the significance of impacts is often controversial because the decision requires staff to use their judgment regarding a subject that is not clearly defined by the law. The State CEQA *Guidelines* define the term "significant impact on the environment" as a substantial, or potentially substantial, adverse change in any of the physical conditions within the area affected by the project. However, there is no iron-clad definition of what constitutes a substantial change because the significance of an activity may vary according to location.

To help clarify and standardize decision-making in the environmental review process, Oxnard has developed thresholds of environmental significance. Thresholds are measures of environmental change that are quantitative for subjects like noise, air quality, and traffic; and qualitative for subjects like aesthetics, land use compatibility, and biology. These thresholds are used in the absence of other empirical data to define the significance of impacts. For some projects, however, special studies and/or the professional judgment of City staff may enter into the decision-making process. Therefore, Oxnard's thresholds are intended to serve as guidelines, and to augment existing CEQA provisions governing the definition of significance.

The City's environmental thresholds will be periodically updated as new information becomes available, or as standards regarding acceptable levels of environmental change are reevaluated. For example, the air quality thresholds adopted by Oxnard were established through State and Federal legislation. These standards, and the methodology used to compute them, may change over time. When this occurs, the City will evaluate the data and, if necessary, modify the thresholds to reflect improved awareness.

When other agencies have jurisdiction over a given site, the project proponent will have to meet the design, mitigation, and monitoring requirements imposed by those agencies, as well as any additional requirements established by the City of Oxnard.

## CITY OF OXNARD

### INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM

1. Project Title:  
Our Lady of Guadalupe Parish  
500-530 North Juanita Avenue
  
2. Lead Agency Name and Address:  
City of Oxnard, Planning &  
Environmental Services Division  
305 West Third Street  
Oxnard, CA 93030  
Phone: (805) 385-7858  
Fax: (805) 385-7417
  
3. Contact Person and Phone Number:  
Juan Martinez, Associate Planner  
(805) 385-7556
  
4. Project Location and Surrounding Uses:  
The developed 5-acre site is comprised of three parcels and is located at 500-530 Juanita Avenue (APN 201-041-04, 06, & 07) within La Colonia Neighborhood.

SURROUNDING LAND USES		
DIRECTION	ZONING	LAND USE
North	R1-PD	Single Family Homes
East	R2-PD	Condominium Development
South	R-3	Apartments (City Housing)
West	R-1	Single Family Homes

5. Project Applicant Name and Address:  
Rev. Enrique Ramirez  
Our Lady of Guadalupe Parish  
500 North Juanita Avenue  
Oxnard, CA 93030  
Phone: (805) 483-0987  
Fax: (805) 486-2434
  
6. General Plan and Zoning Designation:  
The underlying zoning designation is R-1 (Single Family Residential Planned Development) is consistent with the general plan land use designation of *Residential Low (3-7 dwelling units per*

acre). The current R-1 zone lists church uses are permitted if approved by a special use permit, however parochial schools are not listed. The development project involves a proposed amendment to the adopted land use map to re-designate the subject site involving three parcels. Although, the project does not involve a residential land use, the general plan amendment will achieve zoning consistency with the existing land use and the R-2 (Multi-Family Residential) zone which lists parochial schools and churches as permitted if a special use permit is approved by the Planning Commission.

8. Description of Project:

The development application proposes site improvements relating to the construction of a 16,860 square foot church building proposed within an existing church and private parochial school site (Our Lady of Guadalupe). The proposed entitlements include a request to amend the General Plan Land Use Designation from Low Residential to Medium Residential and to change the current zoning designation from "R-1" to "R2-PD" to establish land use consistency with the underlying General Plan and zoning designations. Landscape and parking lot re-striping will be made to the existing parking lot. The existing 8,750 square foot church will be converted and used as a parish center as a result of the newly constructed church building.

Guadalupe School and the rectory, previously known as 'Christ the King Parish' have existed prior to the granting (April 17, 1969) of Special Use Permit No. 347 which permitted the construction of the 8,750 square foot church building with a seating capacity of 819 people. Other structures on site, including the parish hall, lunch shelters, and related classrooms related to the church and parochial school have been permitted and constructed since the City granted Special Use Permit No. 347.

10. Other agencies whose approval is required (e.g., permits, financing approval, or participating agreement): None

### ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or as indicated by the checklist on the following pages.

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Aesthetics                    | <input type="checkbox"/> Agricultural Resources             | <input type="checkbox"/> Air Quality            |
| <input type="checkbox"/> Biological Resources          | <input type="checkbox"/> Cultural Resources                 | <input type="checkbox"/> Geology/Soils          |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality            | <input type="checkbox"/> Land Use/Planning      |
| <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Noise                              | <input type="checkbox"/> Population/Housing     |
| <input type="checkbox"/> Public Services               | <input type="checkbox"/> Recreation                         | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Utilities/Service Systems     | <input type="checkbox"/> Mandatory Findings of Significance |   |

**DETERMINATION:** (To be completed by the Lead Agency)

On the basis of this initial evaluation:

- I find the proposed project COULD NOT have a significant effect on the environment and a NEGATIVE DECLARATION will be prepared.
- I find that although the project could have a significant effect on the environment there will not be a significant effect in this case because revisions in the project have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature

Juan Martinez

Print Name

March 23, 2005

Date

Associate Planner

Title

## EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," cited in support of conclusions reached in other sections may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used—Identify and state where they are available for review.
  - b. Impacts Adequately Addressed—Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures—For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. The explanation of each issue should identify: a) The significance criteria or threshold, if any, used to evaluate each question; and b) The mitigation measure identified, if any, to reduce the impact to less than significance.

**A. AESTHETICS**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Have a substantial adverse effect on a scenic vista? (2020 General Plan, VIII - Open Space/ Conservation Element, XII - Community Design Element; FEIR 88-3, 4.12 - Aesthetic Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? (2020 General Plan, VIII - Open Space/ Conservation Element; XII - Community Design Element; FEIR 88-3, 4.12 - Aesthetic Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Substantially degrade the existing visual character or quality of the site and its surroundings? (2020 General Plan, VIII - Open Space/Conservation Element, XII - Community Design Element; FEIR 88-3, 4.12 - Aesthetic Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Create a source of substantial light or glare, which would adversely affect day or nighttime views in the area? (2020 General Plan, VIII - Open Space/Conservation Element, XII - Community Design Element; FEIR 88-3, 4.12 - Aesthetic Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion:**

- 1-3) Development improvements to the existing developed site would alter existing aesthetic characteristics along Camino Del Sol, since this area is currently an open landscaped field area that services the school facility. The site is predominantly surrounded by a residential community and the architecture of the proposed church site differs in design and character, but it is expected to complement and enhance the intersection of Camino Del Sol and Juanita Avenue.
  
- 4) The area where the church building is proposed is presently an open field that does not contain any lighting and it is anticipated that the proposed development will result in new lighting that historically has never been required to be lit. The City has adopted policies and standards to regulate the minimum and maximum illumination standards, as well as to reduce light spillover into adjacent properties and to avoid hazards for motorists. Although, new light and glare is anticipated and required to comply with the City's current regulations it is not anticipated that this will impact surrounding land uses. Additionally, through the building permit plan check process, the Planning and Environmental Services Division, will require review of a photometric plan prepared by an electrical engineer certifying the exterior illumination intensities provided by light standards and/or

any other lighting devices such as wall mounted light fixtures designed to provide lighting within the property limits. The impacts due to lighting are expected to be less than significant.

Mitigation: Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**B. AGRICULTURAL RESOURCES\***

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to nonagricultural use? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.7 - Agricultural Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Conflict with existing zoning for agricultural use, or a Williamson Act contract? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.7 - Agricultural Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland, to nonagricultural use? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.7 - Agricultural Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

\* In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agricultural and farmland.

Discussion:

1-3) The project site is located in an urbanized area which is not zoned or been commercially farmed recently. The nearest significant agricultural farmland property is located at the northeast of the intersection of Camino Del Sol and Rose Avenue. The nearest unincorporated agricultural farmland that lies outside the City's Urban Restriction Boundary (CURB) is located at the southeast corner of Fifth Street and Rose Avenue. The CURB and significant agricultural farmland property are subject to the provisions of the 1998 "Save Open Space and Agricultural Resources" (SOAR) initiative which was adopted by the voters in Ventura County in 1998. Available use of existing agricultural land is not anticipated to be affected by the proposed general plan amendment, zone change and the development of the subject site.

Mitigation: Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**C. AIR QUALITY\***

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Conflict with or obstruct implementation of the applicable air quality plan? (FEIR 88-3, 4.5 - Air Quality; Ventura County Air Quality Assessment Guidelines; Urbemis 2002 Computer Program)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Violate any air quality standard or contribute substantially to an existing or projected air quality violation? (FEIR 88-3, 4.5 - Air Quality; Ventura County Air Quality Assessment Guidelines; Urbemis 2002 Computer Program)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is nonattainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? (FEIR 88-3, 4.5 - Air Quality; Ventura County Air Quality Assessment Guidelines; Urbemis 2002 Computer Program)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Expose sensitive receptors to substantial pollutant concentrations? (FEIR 88-3, 4.5 - Air Quality; Ventura County Air Quality Assessment Guidelines; Urbemis 2002 Computer Program)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Create objectionable odors affecting a substantial number of people? (FEIR 88-3, 4.5 - Air Quality; Ventura County Air Quality Assessment Guidelines; Urbemis 2002 Computer Program)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

\* Where available, the significant criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.

Discussion:

1-4) The developed 5-acre site is comprised of buildings that currently serve the existing church and parochial school activities within the site. The site contains an existing 8,750 square foot church building and a parochial school which consists of existing classroom buildings, library buildings, lunch shelter structures. The development proposal involves the addition of a new 16,860 square foot church building that will be used for mass gatherings and other religious functions and the conversion of an existing 8,750 square foot church building to serve as a parish center for the same religious congregation.

*Short-term impacts:* Development is anticipated to create short term impacts to air quality due to grading and other construction activities associated with the project. Earth-moving and heavy equipment vehicle operations could expose construction workers to pollutants and excessive amounts of air-borne matter. Nearby residents may also be exposed to airborne matter as a result of construction activities. However, construction activities will be closely monitored and project conditions and mitigation measures are expected to reduce air quality impacts to less than significant.

Mitigation measures identified in the City's *Initial Study Assessment Threshold Guidelines* (February 1995) should be included as part of project approval. **With the inclusion of the mitigation measures, short-term air quality impacts would be reduced to less than significant.**

*Long-term impacts:* The project project's related Reactive Organic Compound (ROC) and Nitrogen Oxide (NOx) emissions were evaluated using the State of California Air Resources Board's *URBEMIS 2002* assessment program. Based on the proposed 16,860 square foot church building, the long-term effects identified from this project include 3.27 pounds per day (ppd) ROC and 6.24 ppd NOx emissions. The City's adopted threshold for ROC and NOx emissions is 25 ppd. **Since the emissions related to this project do not exceed the adopted threshold, the long-term air quality impacts are expected to be less than significant.**

- 5) The proposed project is not considered to be in conflict with the Air Quality Management Plan. Nor is the project likely to create any objectionable odors. **No significant impacts are expected due to these concerns.**

Mitigation: The following mitigation measures shall apply for short-term impacts...

- C-1 Apply sufficient water to all major soil disturbance areas to maintain a soil moisture of 4% in the upper six inches of soil stratum. Other equally effective dust palliatives shall be used if drought conditions limit water availability.
- C-2 Perform daily street sweeping at the conclusion of each workday up to a distance of 250 feet in either direction of any construction site access entrance until all onsite paving is completed.
- C-3 All trucks that will haul excavate or graded materials offsite shall comply with State Vehicle Code Section 23114, with special attention to Section 23114(b)(F), (e)(2), and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads.
- C-4 Double sandbag all site perimeters adjoining traveled roads from November to April to prevent dirt from washing off the site and being pulverized by passing vehicles.
- C-5 Terminate all grading, excavation, and travel on unpaved surfaces when hourly average wind speeds exceed 30 mph. The contractor shall maintain contact with the APCD meteorologist for current average wind speeds.
- C-6 Apply non-hazardous chemical stabilizers to all inactive portions of the construction site. When appropriate, seed exposed surfaces with a fast-growing, soil binding plant to reduce wind erosion and its contribution to local particulate levels.
- C-7 During construction (especially grading activities), employ local workers who have greater immunity to San Joaquin Valley Fever to the greatest extent possible.

- C-8 During grading activities on the project site, all construction workers shall use face masks.
- C-9 Use air-conditioning cabs in heavy construction and grading equipment where possible.
- C-10 All primary project construction contractors shall implement a traffic management programs to reduce the number of employees or material delivery trips and to minimize conflict with regional transportation patterns. The elements of such a program shall include:
- i. Provide rideshare incentives for all workers on the project site.
  - ii. Provide construction personnel parking off arterial roadways to minimize traffic interference.
  - iii. Schedule receipt of concrete, asphalt, steel, and other materials between 9:00 a.m. and 3:00 p.m. to the extent practical.
  - iv. Restrict any lane closures of public roadways to the hours of 9:00 a.m. to 3:00 p.m.
  - v. Complete all street sweeping of adjacent roadways by 4:00 p.m.
- C-11. Developer shall maintain and tune all construction equipment to meet appropriate EPA and CARB emissions requirements. At such time as new emission control devices or operational modifications are found to be effective, such devices or operational modifications shall be required on all construction equipment operating pursuant to City permits.
- C-12. The following dust suppression measures shall be incorporated into the project:
- (A) Watering all excavated material to prevent wind erosion while it is on-site or being moved;
  - (B) Periodic watering of construction sites or use of APCD approved dust suppression compounds that bind with the surface layers of soil and prevent soil particles from being eroded;
  - (C) Controlling the number and activity of vehicles on site at any given time;
  - (D) Seeding areas to be left inactive for a long enough period to secure the soil, limiting the area excavated at any given time;
  - (E) Limiting on-site vehicle traffic to 15 miles per hour;
  - (F) Sweeping streets adjacent to the construction site to remove dust caused by the construction activities; and
  - (G) All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., greater than 15 miles per hour averaged over one hour) to prevent excessive amounts of fugitive dust.

Monitoring: Planning staff will verify that all dust control measures (C-1 through C-13) are included on the grading plans. The Building Official, or designee, will monitor all applicable measures in the field until construction is completed.

Result after mitigation: Upon implementation of the above mitigation measures, the project will not result in any residual significant adverse effects on the environment related to air quality issues.

**D. BIOLOGICAL RESOURCES**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.10 - Biological Resources; and Local Coastal Plan)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.10 - Biological Resources; and Local Coastal Plan)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.10 - Biological Resources; and Local Coastal Plan)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.10 - Biological Resources; and Local Coastal Plan)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.10 - Biological Resources; and Local Coastal Plan)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**D. BIOLOGICAL RESOURCES**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
6. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? <i>(2020 General Plan, VIII - Open Space/ Conservation Element; FEIR 88-3, 4.10 - Biological Resources; and Local Coastal Plan)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

1-6) The proposed development is considered an in-fill development in an urbanized area that is surrounded by residential land uses and is not in or near an area identify as an area containing or having biological resources of significance (General Plan Figure VIII-1). Furthermore, the project site does not lie within an existing or proposed focused planning area and does not contribute to regional wildlife movement since it is surrounded by similar urbanized uses. **No significant adverse effects on biological resources are expected to result from the project.**

Mitigation: Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**E. CULTURAL RESOURCES**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5? <i>(2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.11 - Cultural Resources)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5? <i>(2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.11 - Cultural Resources)</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Directly or indirectly destroy a unique paleontological resource or site or unique geological feature? <i>(2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.12 - Aesthetic Resources)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**E. CULTURAL RESOURCES**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
4. Disturb any human remains, including those interred outside of formal cemeteries? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.11 - Cultural Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

1-4) The Oxnard Plain, on which the City lies, has a history of human habitation of thousands of years. Portions of Ventura County were occupied by early Native American cultures from about 3,500 years ago to approximately the first century A.D. Chumash Indians settled in the area around 1500 A.D. Literature searches undertaken through the UCLA Institute of Archaeology, conducted between 1984 and 1986 identified seven archaeological sites in the County. A records check conducted through the South Central Coastal Information Center (SCCIC) have indicated that cultural resources have been found in various places throughout the City.

The site is surrounded or lies within an area that historically has been previously graded for common farming practices. Although, nearby development, including building construction and infrastructure improvements have not revealed any cultural resources in the immediate vicinity, the nature of previously recorded and discovered archaeological and ethnographic resources in the close vicinity and the expressed concerns of the Native American community for the entire City, the following mitigation is proposed. **No significant adverse effects on cultural resources are expected to result from the project.**

Mitigation: The following mitigation measures shall apply:

E-2 Developer shall contract with a Native American monitor to be present during all subsurface grading, trenching activities on the project site. The monitor shall provide a monthly report to the Planning Division summarizing their activities during the reporting period. A copy of the contract for these services shall be submitted to the Planning and Environmental Services Manager for review and approval prior to issuance of any grading permits. The monitoring report(s) shall be provided to the Planning Division prior to approval of final building permits.

Monitoring: Planning staff will review the Native American monitoring contract prior to issuance of any building permits. Planning staff will ensure the monitoring reports are received prior to Planning Division inspection for final building permit sign-off. Development Services staff will monitor onsite construction activities, as necessary.

Result after Mitigation: Upon implementation of the above mitigation measures, the project will not result in any residual significant adverse effects on the environment related to cultural resources. **No further monitoring needed.**

**F. GEOLOGY AND SOILS**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
a. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of known fault? Refer to Division of Mines and Geology Special Pub. 42. (2020 General Plan, IX-Safety Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Strong seismic ground shaking? (2020 General Plan, IX - Safety Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Seismic-related ground failure, including liquefaction? (2020 General Plan, IX - Safety Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Landslides? (2020 General Plan, IX - Safety Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Result in substantial soil erosion, or the loss of topsoil? (2020 General Plan, IX - Safety Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? (2020 General Plan, IX - Safety Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? (2020 General Plan, IX - Safety Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

- 1-4) The City of Oxnard is located in an area with a high seismic ground shaking potential as identified in the City's General Plan. Table IX-1 of the 2020 General Plan lists fault systems that are pertinent to the City of Oxnard. There are no known active faults within the City limits, however active

and/or potentially active faults are present in the surrounding region, and some of these may extend into the subsurface beneath the City. Through the plan check process, the City's Development Services Division requires the submittal and approval of a soil, geologic and structural evaluation report prepared by a registered soils engineer and/or structural engineer for all new development. Figure IX-2 of the General Plan identifies this area as a moderate to low potential for liquefaction. As the identified ground failure risks are considered to be potentially significant adverse impacts, a soil report prepared for the project site will have to be provided as part of the construction plans when the project plans are submitted to the building department for the plan check review process. The City standard construction/grading requirements and recommendations of the soils report, if any, shall be incorporated into the project. The recommendations of the soils report will be reviewed and approved by City Development Services Plan Check and Construction Staff and Planning Staff as plan check and construction items prior to issuance of a building permit. **With the inclusion of the mitigation measure, geology and soils impacts would be reduced to less than significant.**

Mitigation: The following mitigation measures shall apply:

- F-1 All construction shall conform to the seismic requirements of the Uniform Building Code.
- F-2 A site-specific soils investigation which addresses, at a minimum, liquefaction and compressible soil characteristics on the site, shall be prepared by a licensed geo-technical engineer for review and comment by the City. The report shall identify any necessary construction techniques or other mitigation measures to prevent significant liquefaction/compressible soils impacts upon the proposed project. All recommendations of the report shall be incorporated into the project as conditions of approval. The report shall be submitted no later than at the time plans are submitted for review by the Building Official.

Monitoring: This measure shall be monitored by the case planner at the time of permit issuance. This measure shall be deemed to be satisfied when the Building Official is satisfied with the required soils report and when all applicable recommendations have been incorporated into the project.

Result after mitigation: Upon implementation of the above mitigation measure, the project will not result in any residual significant adverse effects on the environment related to geophysical issues.

**G. HAZARDS AND HAZARDOUS MATERIALS**

Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
--------------------------------	---------------------------------------	------------------------------	-----------

Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Create a significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials? (2020 General Plan, IX - Safety Element) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**G. HAZARDS AND HAZARDOUS MATERIALS**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
2. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? <i>(2020 General Plan, IX - Safety Element)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? <i>(2020 General Plan, IX - Safety Element)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? <i>(2020 General Plan, IX - Safety Element)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? <i>(2020 General Plan, IX - Safety Element)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? <i>(2020 General Plan, IX - Safety Element)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? <i>(2020 General Plan, IX - Safety Element; City of Oxnard Emergency Preparedness Plan and Response Manual)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? <i>(2020 General Plan, IX - Safety Element)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

- 1-8) The proposed new building addition and amendments to the land use designation and zone change are not anticipated to expose persons to any of the hazardous risks referenced above. The construction of the project will be required to meet City Code Standards, Uniform Building and Fire Codes. The existing parochial school and church are not required to possess a hazardous materials permit and the proposed new construction is not anticipated to require a hazardous permit from the City of Oxnard's Fire Department Certified Unified Program Agency (CUPA). This Division of the Fire Department is responsible for insuring the safe handling and disposal of hazardous materials.
- 5-6) The proposed project site is located outside of the Oxnard Airport Clear Zone as depicted on Figure VIII-4 of the 2020 General Plan. **No significant adverse impacts are expected for these risks.**

Mitigation: Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**H. HYDROLOGY AND WATER QUALITY**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Violate any water quality standards or waste discharge requirements? (2020 General Plan, VIB - Public Facilities Element, VIII - Open Space/ Conservation Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of preexisting nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? (2020 General Plan, VIB - Public Facilities Element, VIII - Open Space/ Conservation Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**H. HYDROLOGY AND WATER QUALITY**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
3. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner, which would result in substantial erosion or siltation on- or off-site? (2020 General Plan, VIB - Public Facilities Element, VIII - Open Space/Conservation Element, IX - Safety Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner, which would result in substantial erosion or siltation on- or off-site? (2020 General Plan, VII - Public Facilities Element, VIII - Open Space/Conservation Element, IX - Safety Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Create or contribute runoff water, which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff? (2020 General Plan, VII - Public Facilities Element, VIII - Open Space/Conservation Element, IX - Safety Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Otherwise substantially degrade water quality? (2020 General Plan, VII - Public Facilities Element, VIII - Open Space/Conservation Element, IX - Safety Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? (2020 General Plan, VII - Public Facilities Element, VIII - Open Space/Conservation Element, IX - Safety Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Place within a 100-year flood hazard area structures which would impede or redirect flood flows? (2020 General Plan, VII - Public Facilities Element, VIII - Open Space/Conservation Element, IX - Safety Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**H. HYDROLOGY AND WATER QUALITY**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
9. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? (2020 General Plan, VII - Public Facilities Element, VIII - Open Space/Conservation Element, IX - Safety Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Inundation by seiche, tsunami, or mudflow? (2020 General Plan, VII - Public Facilities Element, VIII - Open Space/Conservation Element, IX - Safety Element; FEIR 88-3, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

1-6) There are no surface water bodies or wetlands in or near the vicinity of the project site that could be affected by the proposed development. The proposed project will alter the drainage pattern along the northerly side of the site, since the undeveloped portion of the site is pervious with grass that is regularly mowed for the use of outdoor curriculum school activities. Absorption rates, drainage patterns, and runoff rates of the site are expected to be altered by the proposed development. The project design is subject to compliance with the National Pollution Discharge Elimination System ("NPDES") permit Best Management Practice requirements for discharge of surface runoff. **No significant adverse water run-off impacts are anticipated.**

The proposed building will also result in the increased need for water service, however water services are already being provided to the site and the addition is not anticipated to impact the City's water service. **No significant adverse water quality impacts are anticipated.**

7-10) According to Figure IX-3 of the General Plan, the project site is not located within the 100-year flood plain or within a high risk area which is subject to seiche, tsunami, or mudflows. **No significant adverse impacts are expected for these risks.**

Mitigation: Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**I. LAND USE AND PLANNING**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Physically divide an established community? (2020 General Plan, V - Land Use Element; FEIR 88-3, 4.1 - Land Use)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? (2020 General Plan; City adopted Specific Plans; Local Coastal Program; and Zoning Ordinance; FEIR 88-3, 4.1 - Land Use)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Conflict with any applicable habitat conservation plan or natural community conservation plan? (2020 General Plan, VIII - Open Space/Conservation Element; FEIR 88-3, 4.1 - Land Use)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

1-3) The new 16,860 square foot church building is proposed along the northerly side of the site along Camino Del Sol. It is anticipated to replace the religious ceremonial services currently occurring within the existing 8,750 square foot church building, on Colonia Road. The church is highly attended by persons living in the community. With the recent growth of the Northeast Community, the congregation's membership has outgrown the existing church building. The church has future intentions to relocate their school buildings and demolish some of the existing buildings and facilities that serve the school and church uses. Due to some of the unknown factors of the future build out, the City has determined that environmental review and consideration for other projects unrelated to this submittal will be independently reviewed at the same time of subsequent project submittals.

The church and parochial school offers various weekly functions and year round. During weekdays, the parochial school is in session and the church offers two daily masses every Monday through Saturday at 7:30A.M. and 7:00 PM: Ceremonies (Baptisms, Weddings, etc) are held on Saturdays, and nine masses occur throughout the day on Sunday.

The site is a corner through lot which is bounded by Camino Del Sol to the north, Juanita Avenue to the south, Colonia Road to the south, and a condominium development to the east. The following table summarizes and compares the proposed R-2 (Garden Apartment) zoning designation which

includes other development standards required by the propose project. Note that a reduced copy of the project plans has been attached as an exhibit to this report.

**DEVELOPMENT STANDARDS**

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES ?
Height	2-Stories (Not to exceed 25 feet) Maximum	The 51-foot high tower element exceeds the height of the zone, however the additional height is being considered in accordance w/ Section 34-8(b), height exception for public and semi-public buildings.	YES
Density	2,400 square feet for each dwelling unit (Maximum 18 dwelling units per acre)	The development project is a non-residential development	YES
Front Yard Setback	25 feet, except where parking is provided from the alley, front yard may be a minimum of 15 feet	25 feet	YES
Side Yard Setback	5 feet	37'6"	YES
Rear Yard Setback	25 feet	The site is a corner through lot with multiple frontages and no rear yard	
Interior Yard Space Cal Trans (Right of Way)	30 percent of the lot area (Minimum dimensions of 15'X15' separate from automobile circulation)	The development project is a non-residential development	YES

**Based on the above, the project does not result in any potential for a significant adverse effect on the environment related to land use or planning.**

Mitigation: Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**J. MINERAL RESOURCES**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? (2020 General Plan, V - Land Use Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? (2020 General Plan, V - Land Use Element; FEIR 88-3, 4.8 - Earth Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

1-2) The proposed project is anticipated to have a nominal increase in fuel consumption and other energy sources due to construction activities and future day-to-day operations. According to the 2020 General Plan, Figure VIII-7, the project will not create a unique demand on available mineral resources in the City, since the project site is not located in an area of importance for mineral deposits. As shown in Figure VII-8 of the 2020 General Plan, the City of Oxnard has mineral/sand/gravel deposits primarily along the Santa Clara River Channel, along 101 corridor and along the eastern edge of the City extending west of Oxnard Boulevard. The project lies within the MRZ-1 and MRZ-4 area and does not fall within any of the areas listed as having significant mineral deposits. **Therefore, no significant adverse effects on natural and mineral resources are expected.**

Mitigation: Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**K. NOISE**

Would the project result in:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? (2020 General Plan, X - Noise Element; FEIR 88-3, 4.4 - Noise; Oxnard Sound Regulations - Sections 19-60.1 through 19-60.15)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? (2020 General Plan, X - Noise Element; FEIR 88-3, 4.4 - Noise; Oxnard Sound Regulations - Sections 19-60.1 through 19-60.15)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? (2020 General Plan, X - Noise Element; FEIR 88-3, 4.4 - Noise; Oxnard Sound Regulations - Sections 19-60.1 through 19-60.15)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels without the project? (2020 General Plan, X - Noise Element; FEIR 88-3, 4.4 - Noise; Oxnard Sound Regulations - Sections 19-60.1 through 19-60.15)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**K. NOISE**

Would the project result in:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
5. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? <i>(2020 General Plan, X - Noise Element; FEIR 88-3, 4.4 - Noise; Oxnard Sound Regulations - Sections 19-60.1 through 19-60.15)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. For a project located within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? <i>(2020 General Plan, X - Noise Element; FEIR 88-3, 4.4 - Noise; Oxnard Sound Regulations - Sections 19-60.1 through 19-60.15)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

1-3) Historically, mass and the related religious services have occurred within an 8,750 square foot building which fronts Colonia Road and the proposed future building intended for this activity is located along Camino Del Sol. Currently, Our Lady of Guadalupe church attracts approximately 700-800 persons per mass, attracting persons from the immediate community, as well as from other areas within the City of Oxnard, and beyond the City limits. It is anticipated that the new church building will shift existing ambient noise levels to the northerly side of the property. The plaza proposed at the front of the main entrance is also anticipated to be heavily used by persons waiting to enter or as persons are leaving mass or other religious services. It is anticipated that some religious events will involve acoustical musical instruments relating to outdoor functions that may create noise intermittently within the entry plaza. Although, mass, funeral, and other religious ceremonies and service functions are anticipated to occur during the week it is anticipated that the greater volume of persons attending the site will occur on Saturdays and Sundays.

Existing noise conditions are anticipated to improve, since the new church entrance will be oriented to extend diagonally towards Fremont Jr. High School which is located northwest of the intersection of Camino Del Sol and Juanita Avenue. Newer residential homes along the northerly side of Camino Del Sol and existing residential homes located westerly of the project site include landscape buffers on both sides of Camino Del Sol. Long-term noise levels are expected to be in conformance with the 2020 General Plan.

Construction activities are anticipated to create short term noise impacts, however the following mitigation measures and standard project conditions will reduced noise impacts to less than significant.

- 5-6) The project site is not located near the Oxnard Airport and is outside the noise contours as depicted on Figure IX-2 in the 2020 General Plan.

**With implementation of the proposed mitigation measures, no significant adverse effects relating to noise are anticipated.**

Mitigation: The following mitigation measures shall apply:

*Short Term Impacts:*

- K1. During all excavation and grading on site, the project contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers, consistent with manufacturers' standards.
- K2. The project contractor shall place all stationary construction equipment so that emitted noise is directed away from sensitive receptors nearest the project site.
- K3. The construction contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
- K4. Construction times shall be limited to 7 a.m. to 7 p.m. daily or in accordance with City Ordinances restricting construction times at the time of construction, whichever is more restrictive.

**With implementation of the proposed mitigation measures, potential short-term and long-term impacts would be reduced to below the level of significance.**

**L. POPULATION AND HOUSING**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through an extension of roads or other infra-structure)? (2020 General Plan, IV - Growth Management Element, V - Land Use Element, Revised 2000-2005 Housing Element, FEIR 88-3, 4.2 - Population, Housing and Employment, 5.0 - Growth-Inducing Impacts)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**L. POPULATION AND HOUSING**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
2. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? (2020 General Plan, IV - Growth Management Element, V - Land Use Element, Revised 2000-2005 Housing Element, FEIR 88-3, 4.2 - Population, Housing and Employment, 5.0 - Growth-Inducing Impacts)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? (2020 General Plan, IV - Growth Management Element, V - Land Use Element, Revised 2000-2005 Housing Element, FEIR 88-3, 4.2 - Population, Housing and Employment, 5.0 - Growth-Inducing Impacts)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

1-3) The proposed development involves zoning and land use amendments to provide consistency with the existing land use of the site, however it is not anticipated to affect the population of the City or displace housing or people. **Therefore, no adverse impacts to population and housing concerns are anticipated.**

Mitigation: Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**M. PUBLIC SERVICES\***

Would the project result in substantial adverse physical impacts to the following:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Fire protection? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.13 - Public Services)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Police protection? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.13 - Public Services)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Schools? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.13 - Public Services)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Parks? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.13 - Public Services)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**M. PUBLIC SERVICES\***

Would the project result in substantial adverse physical impacts to the following:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
5. Other public facilities? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.13 - Public Services)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

\* Include potential effects associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Discussion:

- 1.) The site is located within the emergency fire protection service area of Fire Station No. 5, which is located at the southeast corner of Camino Del Sol and Colonia Road. The proposed addition is not anticipated to increase the calls for service. Six fire stations throughout the City and a staff of more than 80 uniformed Fire Department personnel provide citywide emergency fire protection service. Furthermore, the Fire Department can access additional personnel or equipment through mutual aid agreements with local jurisdictions nearby. The project will include on-site fire hydrants, access, signage, fire alarms, addressable smoke detectors and all requirements of the Uniform Fire Code in order to minimize any potential impacts on Fire services. **No mitigation is necessary or required.**
- 2.) The Oxnard Police Department maintains a ratio of 1.05 police officers for each 1,000 City residents (2020 General Plan, pg. VIII-14). The 2020 General Plan EIR (pgs. 4.13-16) indicates that the current staffing ratio of officers to population should be maintained to provide adequate police service as the City's population increases. The City monitors the need for additional public facilities and/or personnel as part of the Five-Year Development Plan. Through this action, the City ensures that police services are available to serve the proposed project and cumulative development. Therefore, the proposed project will not have a significant impact on police services. **No mitigation is necessary or required.**
- 3.) The proposed project may be subject to State law requirements for payment of school fees to offset impacts to schools. This shall be determined as part of the plan check review process. **No mitigation is necessary or required at this time.**
- 4.) The proposed development does not involve the addition of residential homes and it is not expected to impact existing population levels or existing public park facilities in the City.
- 5.) During the plan check and permitting process, the Development Services Division will determine and assess the necessary project impact fees required by this development. Development impact fees typically involve, but are not limited to: Planned Traffic Circulation System Facilities Fees (Traffic Impact); Planned Water Facilities Fee; Planned Wastewater Facilities Fee; Planned

Drainage Facilities Fee; and Growth Requirement Capital Fee. **No mitigation is necessary or required.**

**Mitigation:** Based on the discussion provided above, no significant impacts are expected to occur as a result of this project, therefore no mitigation measures are required or proposed.

**N. RECREATION**

	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? (2020 General Plan, XIII - Parks and Recreation Element; FEIR 88-3, 4.12 - Aesthetic Resources, 4.13 - Parks and Recreation Services)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment? (2020 General Plan, XIII - Parks and Recreation Element; FEIR 88-3, 4.12 - Aesthetic Resources, 4.13 - Parks and Recreation Services)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion:**

1-2) The proposed project does not propose to add any residential units, which generally increase the use of existing parks. **Therefore, no significant adverse effects on the environment related to recreation are expected to result from the project.**

**Mitigation:** Based on the above discussion, no mitigation measures are required or proposed.

**O. TRANSPORTATION/TRAFFIC**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Cause an increase in traffic, which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)? (2020 General Plan, VI - Circulation Element; FEIR 88-3, 4.3 - Transportation/Circulation)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Exceed, either individually or cumulatively, a level of service standard established by the County congestion management agency for designated roads or highways? (2020 General Plan, VI - Circulation Element; FEIR 88-3, 4.3 - Transportation/Circulation)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Result in a change in traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? (2020 General Plan, VI - Circulation Element; FEIR 88-3, 4.3 - Transportation/Circulation)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? (2020 General Plan, VI - Circulation Element; FEIR 88-3, 4.3 - Transportation/ Circulation)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Result in inadequate emergency access? (2020 General Plan, VI - Circulation Element; FEIR 88-3, 4.3 - Transportation/Circulation)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Result in inadequate parking capacity? (Zone Ordinance - Parking Regulations and Parking Lot Design Standards)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Conflict with adopted policies, plans or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)? (Bicycle Facilities Master Plan)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

- 1-2) Associated Transportation Engineers (ATE) evaluated using the guidelines set forth in the Oxnard's Traffic Impact Study Standards the potential traffic and circulation impacts associated with the

project. It is anticipated that the proposed addition of 16,860 square feet for church/worship use will "generate a total of 2,161 Sunday trips and 560 peak hour trips. This is an increase of 1,480 Sunday trips and 384 peak hour trips added to the adjacent street system. Since Sunday trips traditionally occur outside peak periods of the adjacent roadways and study-area intersections, the project is not anticipated to have a significant impact to the study-area facilities." Access to the site will be provided via driveway curb cuts on Camino Del Sol, Juanita Avenue, and Colonia Road. It is anticipated that reconfiguration of the existing parking lot and curb cuts will improve the vehicular ingress, egress, and circulation patterns on-site.

To address potential cumulative traffic impacts, the City of Oxnard and the County of Ventura have entered into an agreement which requires applicants to pay applicable City and County traffic fees prior to the issuance of a building permit. This is a standard condition of approval and would be included as part of the approval of this project. **No significant impacts to traffic levels are anticipated.**

- 3-5) The project roads are designed to meet City engineering standards, and no safety issues have been identified. Currently, the site is accessed via two driveways on Juanita Avenue, one driveway on Colonia Road. The project proposes to relocate the existing driveway on Colonia Road further east and install a new driveway for inbound traffic only along Camino Del Sol. Emergency response and access is not anticipated to be subject to any delays. **No adverse impacts to access or design are anticipated.**
- 6) The project involves a request for parking relief from the City Code standard. Church and assembly type land uses oftentimes depend on surrounding land uses to support required on-site parking demands. The developer has an agreement with the Oxnard School District to use a parking lot (147 parking stalls) at Frank Jr. High School which is approximately 500 feet away from the church site. Since, off-site parking is necessary for relief of the total number of off-street code required parking stalls, the developer shall be required to provide acceptable joint use agreements allowing the church to use the school's parking lot for the church's parking needs. **With implementation of the proposed mitigation measure, potential parking impacts will be reduced to below the level of significance.**
- 7) The proposed project will not conflict with any policies supporting alternative transportation. Nor will the project create impacts to rail, waterborne or air traffic. **Therefore, no significant adverse impacts are anticipated.**

Mitigation: The following mitigation measures shall apply:

- O1. Prior to the issuance of a building permit, the developer shall provide acceptable joint use agreements with the Oxnard School District allowing the church and persons attending the church to use Fran Jr. High School's parking lot during non-school hours, including weekends, & holidays.

**P. UTILITIES AND SERVICE SYSTEMS**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.6 - Public Utilities, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.6 - Public Utilities, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.6 - Public Utilities, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.6 - Public Utilities, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.6 - Public Utilities, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.6 - Public Utilities, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**P. UTILITIES AND SERVICE SYSTEMS**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
7. Comply with federal, state, and local statutes and regulations related to solid waste? (2020 General Plan, VII - Public Facilities Element; FEIR 88-3, 4.6 - Public Utilities, 4.9 - Water Resources)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

- 1-7) The proposed project is not anticipated to create additional demand on master planned utilities and service systems that have been anticipated in the General Plan build-out scenario for this area. The City expects that this project can be served without significantly impacting existing utility services..

The City of Oxnard will provide the project with water which is supplied by Calleguas Municipal Water District (Calleguas) and Metropolitan Water District of Southern California (Metropolitan). Calleguas provides Oxnard with imported supplemental potable water supplied by Metropolitan. Metropolitan supplies surplus water from the Colorado River and the State Water Protection for municipal, industrial, and agricultural uses within its service area.

The proposed project will be required to comply with measures to treat stormwater runoff by implementing Best Management Practices (BMP's) in accordance with National Pollutant Discharge Elimination System (NPDES) requirements.

Standard City conditions require all projects to provide low-flow water fixtures and drought-tolerant landscaping to reduce the amount of water consumed by the project.

The City will provide refuse collection services to the project site.

Mitigation: The following mitigation measures shall apply:

*For water concerns...*

- P-1. The applicant will be required to obtain a "will serve" letter from the City of Oxnard Water Division which ensures that the Water Division has adequate water to serve the development.
- P-2. The project is required to provide low-flow water fixtures and drought-tolerant landscaping to reduce the amount of water consumed by the project.

*For storm water concerns...*

- P-3. Storm water runoff shall be limited to the runoff rates specified by the Development Services Program and onsite detention may be required. All detention basins, if needed, shall be designed in accordance with City standards and policies.

*For solid waste concerns...*

- P-4. Implementation of appropriate source reduction and recycling activities, in conjunction with City of Oxnard programs, will mitigate the increased generation of disposal waste from the development of the site. This shall be accomplished prior to issuance of certificate of occupancy.
- P-5. Project applicants shall submit recycling plans to the City to provide information on how waste generated during construction is to be diverted from landfills. This shall be accomplished prior to issuance of a building permit.
- P-6. Project applicants shall provide for the collection and recycling of materials (i.e. concrete, wood, metal, etc.) generated from the construction and ultimate occupancy of the proposed project to the extent feasible. This shall be accomplished prior to issuance of a building permit.
- P-7. Recycling or reduction of green waste collected from the proposed project shall occur through xeriscaping, mulching, and/or small-scale composting activities.
- P-8. Arrangements shall be made with a local trash/recyclables hauling company for materials collection or the applicants shall arrange for self-hauling to an authorized facility that accepts recyclable material.

Monitoring: The Development Services and Planning Staff shall ensure that all impacts are being mitigated prior to the issuance of any permits.

Result after Mitigation: Upon implementation of the above mitigation measure, there will be no residual significant adverse effects on utilities and service systems resulting from the project. **No further mitigation is necessary or required.**

**Q. MANDATORY FINDINGS OF SIGNIFICANCE**

	Potentially Significant Impact	Less Than Significant With Mitigation	Less than Significant Impact	No Impact
1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Does the project have impacts that are individually limited, but cumulatively considerable ( <i>"Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects</i> )?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

No new significant adverse effects are expected to result from the proposed project. Mitigation measures are either incorporated into the project or made a part of the Mitigated Negative Declaration.

## SUMMARY OF MITIGATION MEASURES INCORPORATED INTO THE PROJECT

No new significant adverse effects are expected to result from the proposed project. Mitigation measures are either incorporated into the project or made a part of the Mitigated Negative Declaration.

### **SUMMARY OF MITIGATION MEASURES**

#### **Air Quality:**

- C-1 Apply sufficient water to all major soil disturbance areas to maintain a soil moisture of 4% in the upper six inches of soil stratum. Other equally effective dust palliatives shall be used if drought conditions limit water availability.
- C-2 Perform daily street sweeping at the conclusion of each workday up to a distance of 250 feet in either direction of any construction site access entrance until all onsite paving is completed.
- C-3 All trucks that will haul excavate or graded materials offsite shall comply with State Vehicle Code Section 23114, with special attention to Section 23114(b)(F), (e)(2), and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads.
- C-4 Double sandbag all site perimeters adjoining traveled roads from November to April to prevent dirt from washing off the site and being pulverized by passing vehicles.
- C-5 Terminate all grading, excavation, and travel on unpaved surfaces when hourly average wind speeds exceed 30 mph. The contractor shall maintain contact with the APCD meteorologist for current average wind speeds.
- C-6 Apply non-hazardous chemical stabilizers to all inactive portions of the construction site. When appropriate, seed exposed surfaces with a fast-growing, soil binding plant to reduce wind erosion and its contribution to local particulate levels.
- C-7 During construction (especially grading activities), employ local workers who have greater immunity to San Joaquin Valley Fever to the greatest extent possible.
- C-8 During grading activities on the project site, all construction workers shall use face masks.
- C-9 Use air-conditioning cabs in heavy construction and grading equipment where possible.
- C-10 All primary project construction contractors shall implement a traffic management programs to reduce the number of employees or material delivery trips and to minimize conflict with regional transportation patterns. The elements of such a program shall include:

1. Provide rideshare incentives for all workers on the project site.
2. Provide construction personnel parking off arterial roadways to minimize traffic interference.
3. Schedule receipt of concrete, asphalt, steel, and other materials between 9:00 a.m. and 3:00 p.m. to the extent practical.
4. Restrict any lane closures of public roadways to the hours of 9:00 a.m. to 3:00 p.m.
5. Complete all street sweeping of adjacent roadways by 4:00 p.m.

C-11. Developer shall maintain and tune all construction equipment to meet appropriate EPA and CARB emissions requirements. At such time as new emission control devices or operational modifications are found to be effective, such devices or operational modifications shall be required on all construction equipment operating pursuant to City permits.

C-12. The following dust suppression measures shall be incorporated into the project:

1. Watering all excavated material to prevent wind erosion while it is on-site or being moved;
2. Periodic watering of construction sites or use of APCD approved dust suppression compounds that bind with the surface layers of soil and prevent soil particles from being eroded;
3. Controlling the number and activity of vehicles on site at any given time;
4. Seeding areas to be left inactive for a long enough period to secure the soil, limiting the area excavated at any given time;
5. Limiting on-site vehicle traffic to 15 miles per hour; and
6. Sweeping streets adjacent to the construction site to remove dust caused by the construction activities.
7. All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., greater than 15 miles per hour averaged over one hour) to prevent excessive amounts of fugitive dust.

#### **Cultural Resources:**

E-1. Developer shall contract with a Native American monitor to be present during all subsurface grading or trenching activities on the project site. The monitor shall provide a monthly report to the Planning Division summarizing their activities during the reporting period. A copy of the contract for these services shall be submitted to the Planning and Environmental Services Manager for review and approval prior to issuance of any grading permits. The monitoring report(s) shall be provided to the Planning Division prior to approval of final building permits.

#### **Geology and Soils:**

F-1. All construction shall conform to the seismic requirements of the Uniform Building Code.

F-2. A site-specific soils investigation which addresses, at a minimum, liquefaction and compressible soil characteristics on the site, shall be prepared by a licensed geo-technical engineer for review and

comment by the City. The report shall identify any necessary construction techniques or other mitigation measures to prevent significant liquefaction/compressible soils impacts upon the proposed project. All recommendations of the report shall be incorporated into the project as conditions of approval. The report shall be submitted no later than at the time plans are submitted for review by the Building Official.

**Noise:**

*Short Term Impacts:*

- K1. During all excavation and grading on site, the project contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers, consistent with manufacturers' standards.
- K2. The project contractor shall place all stationary construction equipment so that emitted noise is directed away from sensitive receptors nearest the project site.
- K3. The construction contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction.
- K4. Construction times shall be limited to 7 a.m. to 7 p.m. daily or in accordance with City Ordinances restricting construction times at the time of construction, whichever is more restrictive.

**Transportation/Traffic:**

- O1. Prior to the issuance of a building permit, the developer shall provide acceptable joint use agreements with the Oxnard School District allowing the church and persons attending the church to use Fran Jr. High School's parking lot during non-school hours, including weekends, & holidays.

**Utilities and Service Systems:**

- P-1. The applicant will be required to obtain a "will serve" letter from the City of Oxnard Water Division which ensures that the Water Division has adequate water to serve the development.
- P-2. The project is required to provide low-flow water fixtures and drought-tolerant landscaping to reduce the amount of water consumed by the project.
- P-3. Storm water runoff shall be limited to the runoff rates specified by the Development Services Program and onsite detention may be required. All detention basins, if needed, shall be designed in accordance with City standards and policies.
- P-4. Implementation of appropriate source reduction and recycling activities, in conjunction with City of Oxnard programs, will mitigate the increased generation of disposal waste from the development of the Site. This shall be accomplished prior to issuance of certificate of occupancy.

- P-5. Project applicants shall submit recycling plans to the City to provide information on how waste generated during construction is to be diverted from landfills. This shall be accomplished prior to issuance of a building permit.
- P-6. Project applicants shall provide for the collection and recycling of materials (i.e. concrete, wood, metal, etc.) generated from the construction and ultimate occupancy of the proposed project to the extent feasible. This shall be accomplished prior to issuance of a building permit.
- P-7. Recycling or reduction of green waste collected from the proposed project shall occur through xeriscaping, mulching, and/or small-scale composting activities.
- P-8. Arrangements shall be made with a local trash/recyclables hauling company for materials collection or the applicants shall arrange for self-hauling to an authorized facility that accepts recyclable material.

#### ADDITIONAL REFERENCES

- 2. California, State of, Air Resources Board, *URBEMIS 2002 Program*.
- 3. California, State of, Governor's Office, Office of Planning and Research, Office of Permit Assistance, *Hazardous Waste and Substances Sites - List Pursuant to AB 3750*, current edition.
- 4. California, State of, Office of Planning and Research, *California Environmental Quality Act Statutes*, Sacramento, California: January 1, 2002.
- 5. California, State of, Office of Planning and Research, *Guidelines for Implementation of the California Environmental Quality Act*, Sacramento, California: February 1, 2001.
- 6. California, State of, Office of Planning and Research, *Planning, Zoning and Development Laws*, November 2000.
- 7. City of Oxnard, *The Municipal Code of the City of Oxnard - Zoning Ordinance*, current edition.
- 8. City of Oxnard, Development Services Department, Planning Division, *Coastal Zoning Regulations and Zone Maps*, current edition.
- 9. City of Oxnard, Development Services Department, Planning Division, *Coastal Land Use Plan*, current edition.
- 10. City of Oxnard, Community Development Department, Planning Division, *Zone Maps*, current edition.
- 11. City of Oxnard, Fire Department, *Fire Protection Planning Guide*, January 1990.
- 12. Ventura County Air Pollution Control District, *Air Quality Management Plan*, current edition.
- 13. Ventura County Air Pollution Control District, *Ventura County Air Quality Assessment Guidelines*, November 2000.
- 14. Institute of Transportation Engineers, *Trip Generation Manual*, Sixth Edition, Washington, DC, 1997.
- 15. United States Federal Emergency Management Agency, National Flood Insurance Program, *FIRM Flood Insurance Rate Maps for the City of Oxnard*, October 1985.
- 16. City of Oxnard, Public Works Department, *Master Sewer Plan*, current edition.

17. City of Oxnard, Public Works Department, *Master Drainage Plan*, current edition.
18. City of Oxnard, Public Works Department, *Master Water Plan*, current edition.
19. California State University - Fullerton South Central Coastal Information Center, *California Historical Resources Information System*, Department of Anthropology, Fullerton, California.
20. Ventura County Airport Land Use Commission, *Oxnard Airport Master Land Use Plan*, 1990.
21. Ventura County Cultural Heritage Board, *Ventura County Historical Landmarks & Points of Interest—August 1991*, Ventura County Recreation Services.
22. Ventura County, Property Administration Agency, *Final Report: Cultural Heritage Survey, Phase I*, Oxnard and Santa Paula, 1981.

### **Environmental Impact Reports**

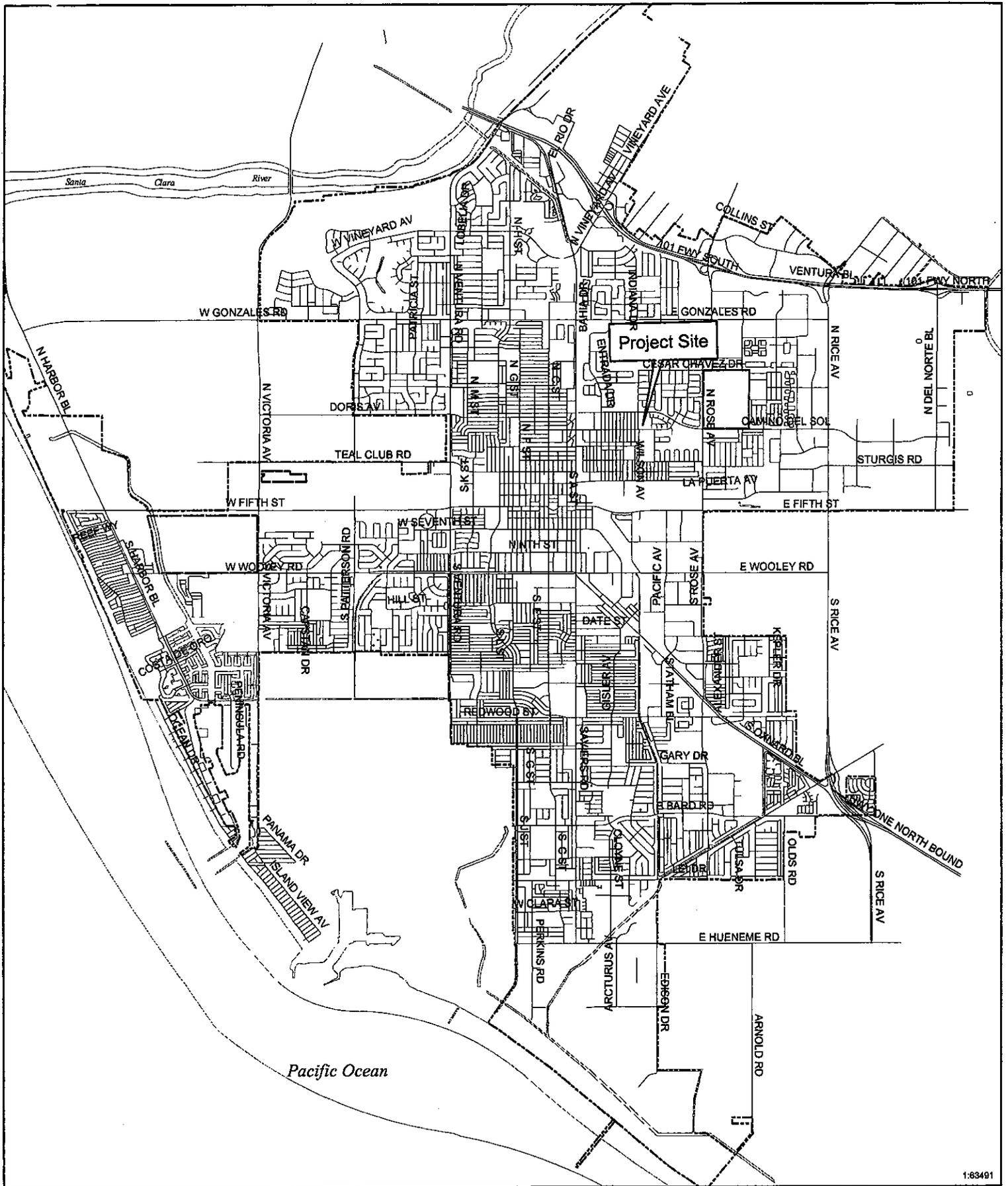
23. City of Oxnard, *FEIR 94-1 for the Oxnard Factory Outlet, Phase III*.
24. City of Oxnard, *FEIR 95-2 for the Shopping Center at Lockwood and Rose Avenue*.
25. City of Oxnard, *FEIR 95-3 for the Redevelopment Project*.
26. City of Oxnard, *FEIR 96-1 for the Northshore Project at Harbor Boulevard and Fifth Street*.
27. City of Oxnard, *FEIR 96-2 for the Northwest Specific Plan*.
28. City of Oxnard, *FEIR 97-1 for the Ormond Beach Specific Plan*.
29. City of Oxnard, *FEIR 98-1 (Supplemental) for the Northeast Specific Plan*.
30. City of Oxnard, *FEIR 98-2 (Supplemental) for the Westport at Mandalay Bay Project (Tract 5196)*.
31. City of Oxnard, *FEIR 00-3 for the RiverPark Specific Plan Project*.

### **Specific Plans**

32. City of Oxnard, *Northfield and Seagate Specific Plan*, July 3, 1984.
33. City of Oxnard, *Mandalay Bay Specific Plan*, January 9, 1985.
34. City of Oxnard, *Oxnard Town Center Specific Plan*, October 1, 1986.
35. City of Oxnard, *Rose-Santa Clara Corridor Specific Plan*, July 15, 1986.
36. City of Oxnard, *McInnes Ranch Business Park Specific Plan*, December 20, 1988.
37. City of Oxnard, *Northeast Community Specific Plan*, February 8, 1994.
38. City of Oxnard, *Northwest Community Specific Plan*, July 20, 1998.
39. City of Oxnard, *RiverPark Specific Plan*, August 27, 2002

# **EXHIBIT B**

## **Vicinity Map**



1:63491

PZ 04-540-2 (PD)  
 PZ 04-570-3 (ZC)  
 PZ 04-620-5 (GPA)

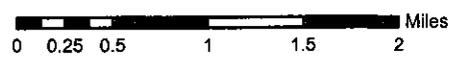
Vicinity Map



August 3, 2004

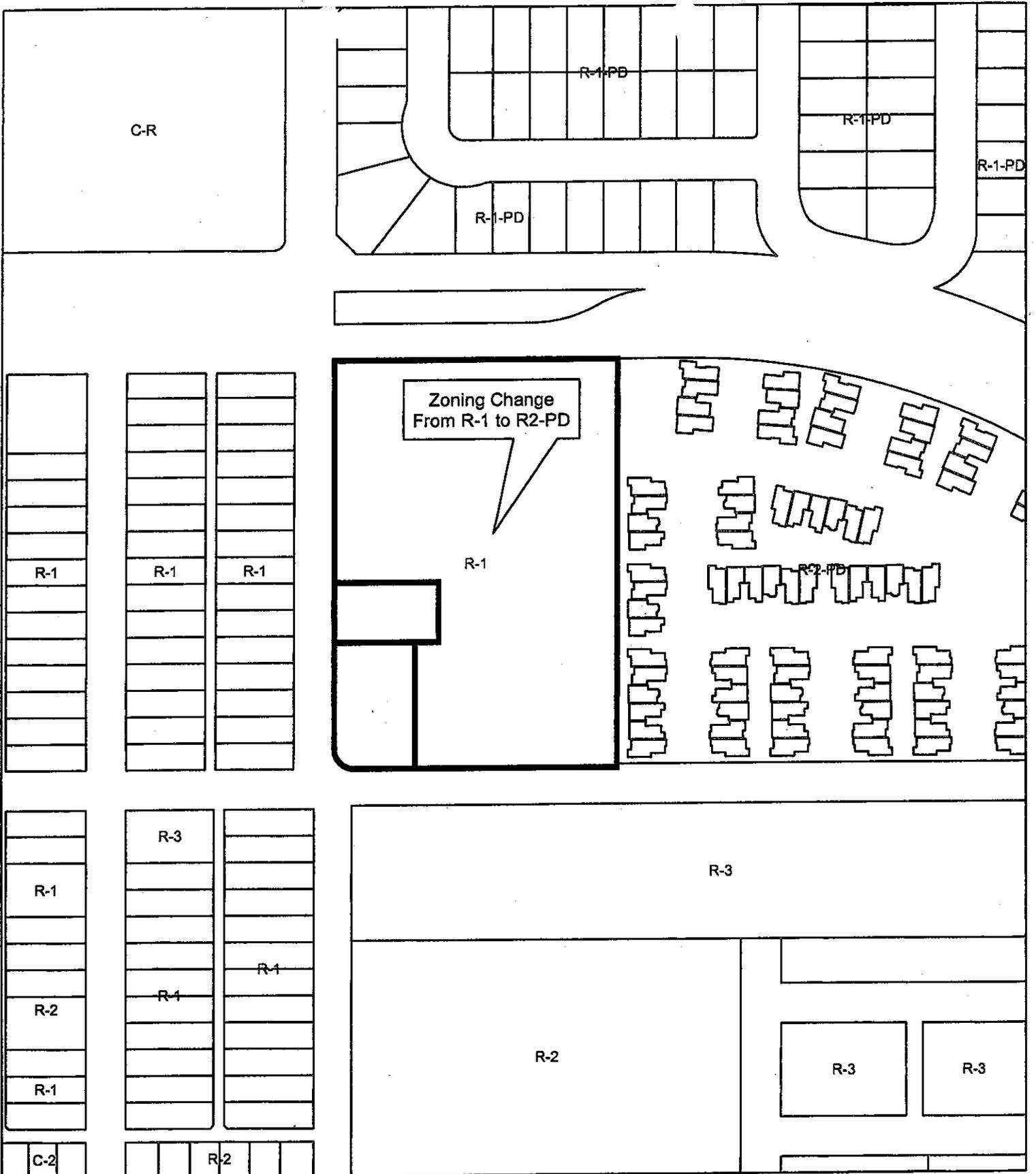


Planning & Environmental Services



# **EXHIBIT C**

## **Zoning Map**

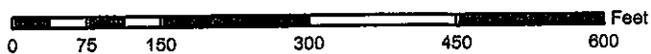


PZ 04-540-2 (PD)  
 PZ 02-570-3 (ZC)  
 PZ 04-620-5 (GPA)

**Zoning Change**

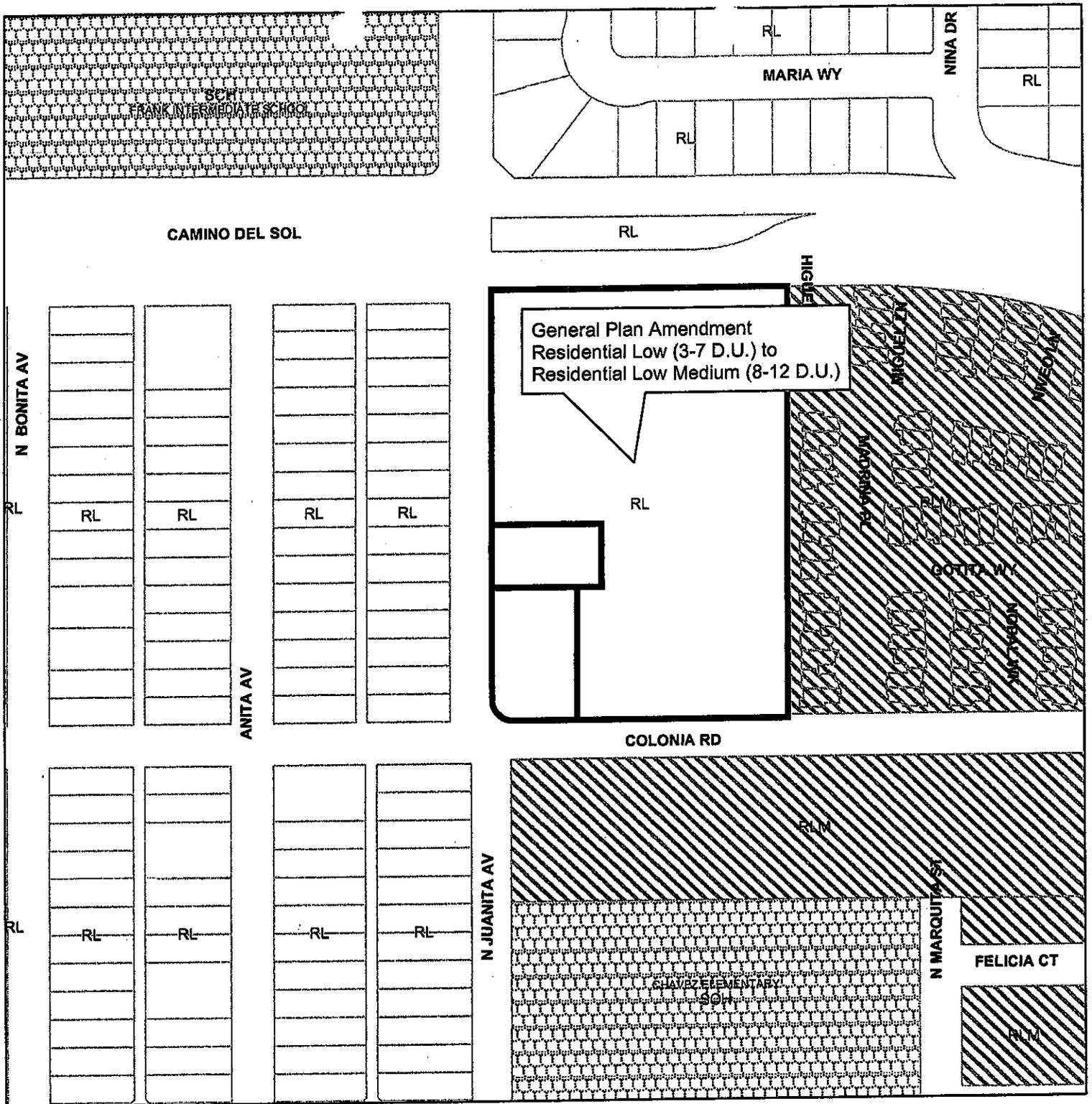


Planning & Environmental Services



August 3, 2004

**EXHIBIT D**  
**General Plan Map**



General Plan Amendment  
Residential Low (3-7 D.U.) to  
Residential Low Medium (8-12 D.U.)

PZ 04-540-2 (PD)  
PZ 01-570-3 (ZC)  
PZ 04-620-5 (GPA)

**Legend**

-  RESIDENTIAL LOW
-  RESIDENTIAL LOW MEDIUM
-  SCHOOL

**General Plan Amendment**

# **EXHIBIT E**

## **Development Project Plans**





NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/15/2024
2	ISSUED FOR CONSTRUCTION	11/01/2024
3	ISSUED FOR RECORD	11/15/2024



Our Lady of Guadalupe  
900 North Juarez Avenue  
Guadalupe, CA 95020

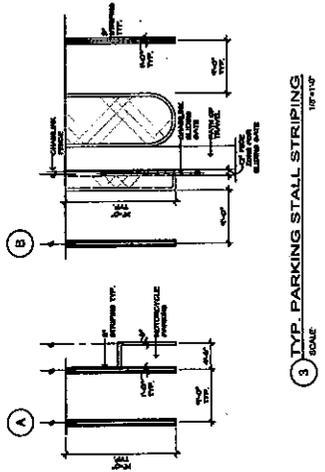
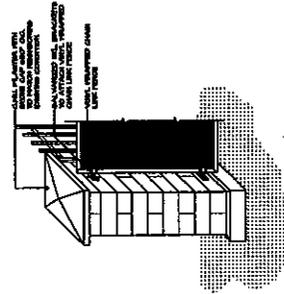
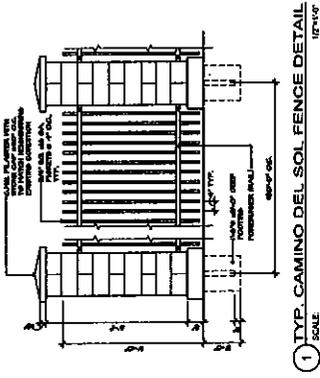
**THE PARISH OF  
OUR LADY OF GUADALUPE**  
600-100 NORTH JUAREZ AVENUE  
7, CALIFORNIA 95020

**SITE DETAILS**

Date: 09-17-04  
Issuance For: PLANNING  
Project Number: 11332  
Drawn By: B.V.  
Checked By: S.D.G.

SHEET:  
**A-1.0B**

ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COMPILED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION AND CONSENT OF KLUGER ARCHITECTS.











DATE	DESCRIPTION
10/15/10	PRELIMINARY
11/15/10	REVISED
12/15/10	REVISED
01/15/11	REVISED
02/15/11	REVISED
03/15/11	REVISED
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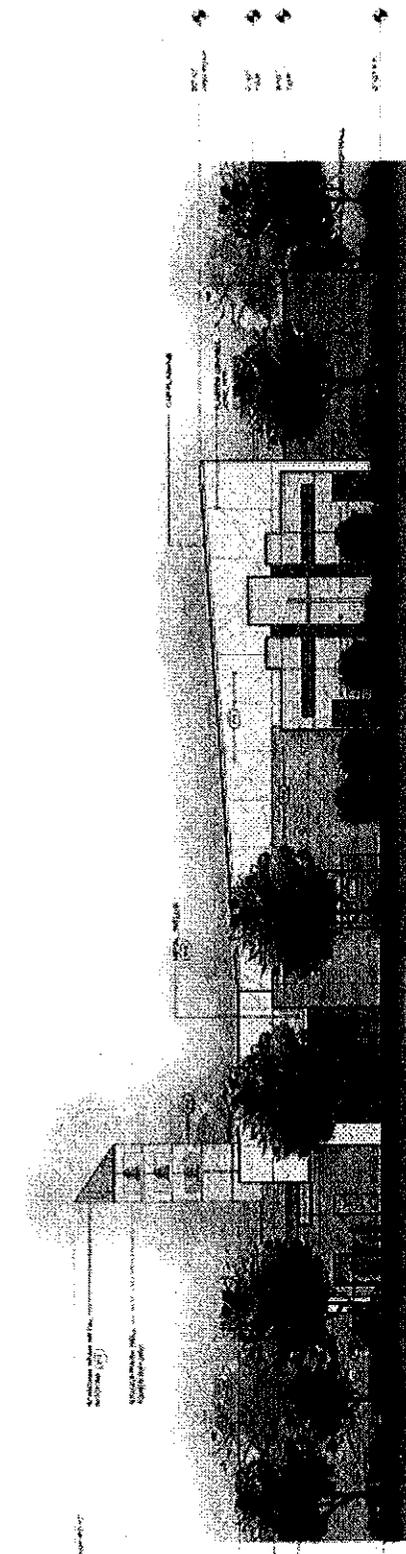
Our Lady of Guadalupe  
1000 North 10th Street  
Chicago, IL 60642

THE PARISH OF  
OUR LADY OF GUADALUPE  
24TH AVENUE  
CHICAGO, ILLINOIS

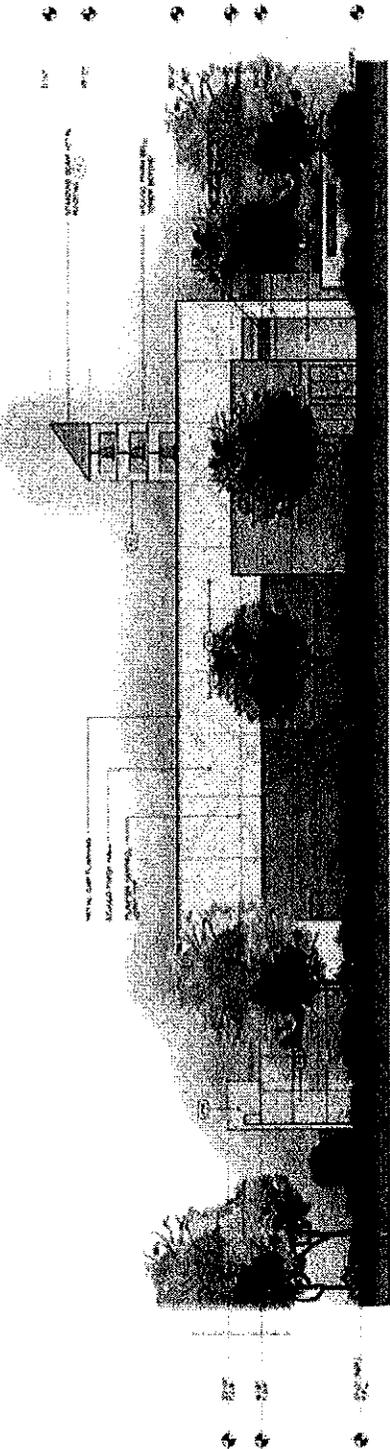
ELEVATIONS  
(CHURCH)

DATE	10/15/10
PROJECT NO.	10000
PROJECT NAME	OUR LADY OF GUADALUPE
CHECKED BY	KLUGER

SHEET:  
**A-3.0**



1 PROPOSED SOUTH ELEVATION  
SCALE



2 PROPOSED EAST ELEVATION  
SCALE

**FINISH COLORS:**

NO.	DESCRIPTION	LOCATION
(1)	BRICK	WALLS
(2)	CONCRETE	WALLS
(3)	PAINT	WALLS
(4)	WOOD	WALLS
(5)	GLASS	WALLS
(6)	ROOFING	ROOF
(7)	LANDSCAPING	LANDSCAPING

NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	PRELIMINARY	11/15/10	JK	JK
2	REVISED	11/15/10	JK	JK
3	REVISED	11/15/10	JK	JK
4	REVISED	11/15/10	JK	JK
5	REVISED	11/15/10	JK	JK
6	REVISED	11/15/10	JK	JK
7	REVISED	11/15/10	JK	JK
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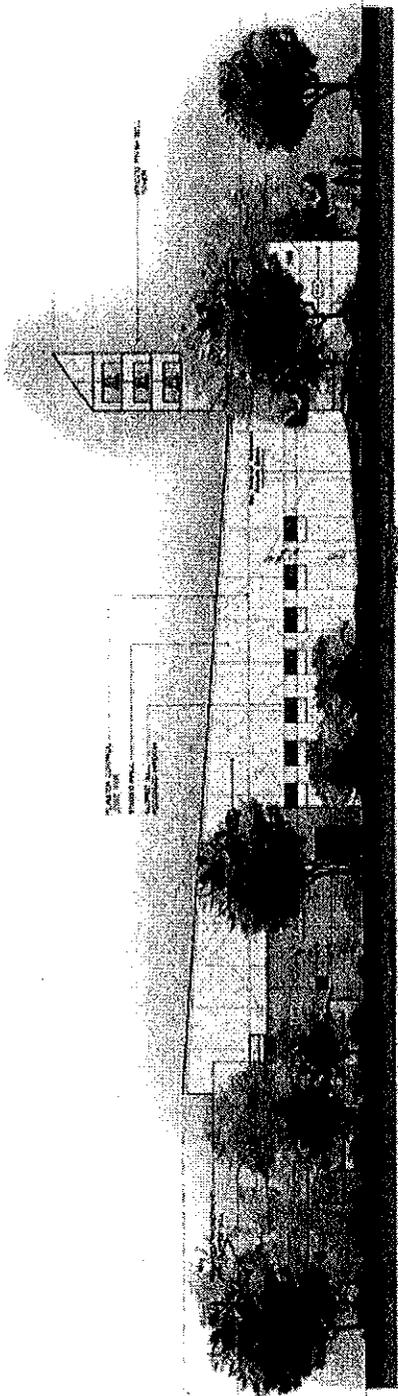
Our Lady of Guadalupe  
900 North Zuni Avenue  
Orange, CA 92667

THE PARISH OF  
OUR LADY OF GUADALUPE  
11111 AMERICA DRIVE  
ORANGE, CA 92667

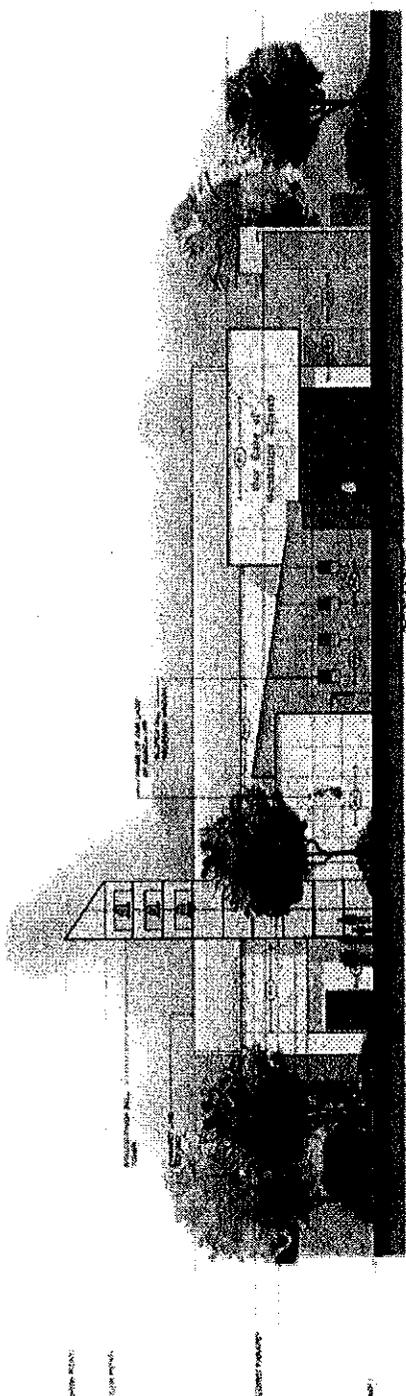
ELEVATIONS  
(CHURCH)

DATE: 11/15/10  
DESIGNED BY: KLUGER  
PROJECT NUMBER: 1002  
PROJECT TYPE: CHURCH  
SHEET: 3 OF 3  
DATE: 11/15/10

**A-3.1**



1 PROPOSED NORTH ELEVATION



2 PROPOSED WEST ELEVATION

**FINISH COLORS:**

NO.	DESCRIPTION	LOCATION
(1)	CREAM	WALLS
(2)	CREAM	WALLS
(3)	CREAM	WALLS
(4)	CREAM	WALLS
(5)	CREAM	WALLS
(6)	CREAM	WALLS
(7)	CREAM	WALLS
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# **EXHIBIT F**

## **Urbemis 2002 Air Emissions Modeling**

URBEMIS 2002 For Windows 7.5.0

File Name: <Not Saved>  
Project Name: Our Lady of Guadalupe  
Project Location: Ventura County  
On-Road Motor Vehicle Emissions Based on EMFAC2002 version 2.2

SUMMARY REPORT  
(Pounds/Day - Summer)

AREA SOURCE EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (lbs/day, unmitigated)	0.09	0.17	0.65	0.00	0.00

OPERATIONAL (VEHICLE) EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (lbs/day, unmitigated)	2.58	4.69	35.12	0.03	3.50

SUM OF AREA AND OPERATIONAL EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (lbs/day, unmitigated)	2.68	4.86	35.77	0.03	3.50

URBEMIS 2002 For Windows 7.5.0

File Name: <Not Saved>  
Project Name: Our Lady of Guadalupe  
Project Location: Ventura County  
On-Road Motor Vehicle Emissions Based on EMFAC2002 version 2.2

SUMMARY REPORT  
(Pounds/Day - Winter)

AREA SOURCE EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (lbs/day, unmitigated)	0.01	0.16	0.07	0.00	0.00

OPERATIONAL (VEHICLE) EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (lbs/day, unmitigated)	3.26	6.08	39.92	0.03	3.50

SUM OF AREA AND OPERATIONAL EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (lbs/day, unmitigated)	3.27	6.24	39.99	0.03	3.50

URBEMIS 2002 For Windows 7.5.0

File Name: <Not Saved>  
Project Name: Our Lady of Guadalupe  
Project Location: Ventura County  
On-Road Motor Vehicle Emissions Based on EMFAC2002 version 2.2

SUMMARY REPORT  
(Tons/Year)

## AREA SOURCE EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (tpy, unmitigated)	0.01	0.03	0.06	0.00	0.00

## OPERATIONAL (VEHICLE) EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (tpy, unmitigated)	0.51	0.94	6.70	0.01	0.64

## SUM OF AREA AND OPERATIONAL EMISSION ESTIMATES

	ROG	NOx	CO	SO2	PM10
TOTALS (tpy, unmitigated)	0.52	0.97	6.77	0.01	0.64

URBEMIS 2002 For Windows 7.5.0

File Name: <Not Saved>  
Project Name: Our Lady of Guadalupe  
Project Location: Ventura County  
On-Road Motor Vehicle Emissions Based on EMFAC2002 version 2.2

DETAIL REPORT  
(Pounds/Day - Winter)

AREA SOURCE EMISSION ESTIMATES (Winter Pounds per Day, Unmitigated)					
Source	ROG	NOx	CO	SO2	PM10
Natural Gas	0.01	0.16	0.07	-	0.00
Wood Stoves	0.00	0.00	0.00	0.00	0.00
Fireplaces	0.00	0.00	0.00	0.00	0.00
Landscaping - No winter emissions					
Consumer Prdcts	0.00	-	-	-	-
TOTALS (lbs/day, unmitigated)	0.01	0.16	0.07	0.00	0.00

## UNMITIGATED OPERATIONAL EMISSIONS

	ROG	NOx	CO	SO2	PM10
Place of worship	3.26	6.08	39.92	0.03	3.50
TOTAL EMISSIONS (lbs/day)	3.26	6.08	39.92	0.03	3.50

Does not include correction for passby trips.  
Does not include double counting adjustment for internal trips.

## OPERATIONAL (Vehicle) EMISSION ESTIMATES

Analysis Year: 2004 Temperature (F): 50 Season: Winter

EMFAC Version: EMFAC2002 (9/2002)

## Summary of Land Uses:

Unit Type	Trip Rate	Size	Total Trips
Place of worship	9.11 trips / 1000 sq. ft.	16.90	153.96

## Vehicle Assumptions:

## Fleet Mix:

Vehicle Type	Percent Type	Non-Catalyst	Catalyst	Diesel
Light Auto	56.10	2.70	96.80	0.50
Light Truck < 3,750 lbs	15.10	4.60	92.70	2.70
Light Truck 3,751- 5,750	15.60	2.60	96.20	1.20
Med Truck 5,751- 8,500	6.90	2.90	94.20	2.90
Lite-Heavy 8,501-10,000	1.00	0.00	80.00	20.00
Lite-Heavy 10,001-14,000	0.30	0.00	66.70	33.30
Med-Heavy 14,001-33,000	1.00	10.00	20.00	70.00
Heavy-Heavy 33,001-60,000	0.80	0.00	12.50	87.50
Line Haul > 60,000 lbs	0.00	0.00	0.00	100.00
Urban Bus	0.10	0.00	0.00	100.00
Motorcycle	1.60	87.50	12.50	0.00
School Bus	0.20	0.00	0.00	100.00
Motor Home	1.30	15.40	76.90	7.70

## Travel Conditions

	Residential			Commercial		
	Home-Work	Home-Shop	Home-Other	Commute	Non-Work	Customer
Urban Trip Length (miles)	12.0	7.8	10.0	10.0	4.7	4.7
Rural Trip Length (miles)	15.0	10.0	10.0	15.0	15.0	15.0
Trip Speeds (mph)	40.0	40.0	40.0	40.0	40.0	40.0
% of Trips - Residential	27.4	17.7	54.9			
% of Trips - Commercial (by land use)						
Place of worship				3.0	1.5	95.5

Changes made to the default values for Land Use Trip Percentages

Changes made to the default values for Area

Changes made to the default values for Operations

URBEMIS 2002 For Windows 7.5.0

File Name: <Not Saved>  
Project Name: Our Lady of Guadalupe  
Project Location: Ventura County  
On-Road Motor Vehicle Emissions Based on EMFAC2002 version 2.2

DETAIL REPORT  
(Pounds/Day - Summer)

AREA SOURCE EMISSION ESTIMATES (Summer Pounds per Day, Unmitigated)					
Source	ROG	NOx	CO	SO2	PM10
Natural Gas	0.01	0.16	0.07	-	0.00
Wood Stoves - No summer emissions					
Fireplaces - No summer emissions					
Landscaping	0.08	0.01	0.58	0.00	0.00
Consumer Prdcts	0.00	-	-	-	-
TOTALS (lbs/day, unmitigated)	0.09	0.17	0.65	0.00	0.00

## UNMITIGATED OPERATIONAL EMISSIONS

	ROG	NOx	CO	SO2	PM10
Place of worship	2.58	4.69	35.12	0.03	3.50
TOTAL EMISSIONS (lbs/day)	2.58	4.69	35.12	0.03	3.50

Does not include correction for passby trips.  
Does not include double counting adjustment for internal trips.

## OPERATIONAL (Vehicle) EMISSION ESTIMATES

Analysis Year: 2004 Temperature (F): 75 Season: Summer

EMFAC Version: EMFAC2002 (9/2002)

## Summary of Land Uses:

Unit Type	Trip Rate	Size	Total Trips
Place of worship	9.11 trips / 1000 sq. ft.	16.90	153.96

## Vehicle Assumptions:

## Fleet Mix:

Vehicle Type	Percent Type	Non-Catalyst	Catalyst	Diesel
Light Auto	56.10	2.70	96.80	0.50
Light Truck < 3,750 lbs	15.10	4.60	92.70	2.70
Light Truck 3,751- 5,750	15.60	2.60	96.20	1.20
Med Truck 5,751- 8,500	6.90	2.90	94.20	2.90
Lite-Heavy 8,501-10,000	1.00	0.00	80.00	20.00
Lite-Heavy 10,001-14,000	0.30	0.00	66.70	33.30
Med-Heavy 14,001-33,000	1.00	10.00	20.00	70.00
Heavy-Heavy 33,001-60,000	0.80	0.00	12.50	87.50
Line Haul > 60,000 lbs	0.00	0.00	0.00	100.00
Urban Bus	0.10	0.00	0.00	100.00
Motorcycle	1.60	87.50	12.50	0.00
School Bus	0.20	0.00	0.00	100.00
Motor Home	1.30	15.40	76.90	7.70

## Travel Conditions

	Residential			Commercial		
	Home-Work	Home-Shop	Home-Other	Commute	Non-Work	Customer
Urban Trip Length (miles)	12.0	7.8	10.0	10.0	4.7	4.7
Rural Trip Length (miles)	15.0	10.0	10.0	15.0	15.0	15.0
Trip Speeds (mph)	40.0	40.0	40.0	40.0	40.0	40.0
% of Trips - Residential	27.4	17.7	54.9			
% of Trips - Commercial (by land use)				3.0	1.5	95.5
Place of worship						

Changes made to the default values for Land Use Trip Percentages

Changes made to the default values for Area

Changes made to the default values for Operations

URBEMIS 2002 For Windows 7.5.0

File Name: <Not Saved>  
Project Name: Our Lady of Guadalupe  
Project Location: Ventura County  
On-Road Motor Vehicle Emissions Based on EMFAC2002 version 2.2

DETAIL REPORT  
(Tons/Year)

AREA SOURCE EMISSION ESTIMATES

Source	ROG	NOx	CO	SO2	PM10
Natural Gas	0.00	0.03	0.01	-	0.00
Wood Stoves	0.00	0.00	0.00	0.00	0.00
Fireplaces	0.00	0.00	0.00	0.00	0.00
Landscaping	0.01	0.00	0.05	0.00	0.00
Consumer Prdcts	0.00	-	-	-	-
TOTALS (tpy, unmitigated)	0.01	0.03	0.06	0.00	0.00

UNMITIGATED OPERATIONAL EMISSIONS

	ROG	NOx	CO	SO2	PM10
Place of worship	0.51	0.94	6.70	0.01	0.64
TOTAL EMISSIONS (tons/yr)	0.51	0.94	6.70	0.01	0.64

Does not include correction for passby trips.  
 Does not include double counting adjustment for internal trips.

OPERATIONAL (Vehicle) EMISSION ESTIMATES

Analysis Year: 2004 Temperature (F): 75 Season: Annual

EMFAC Version: EMFAC2002 (9/2002)

Summary of Land Uses:

Unit Type	Trip Rate	Size	Total Trips
Place of worship	9.11 trips / 1000 sq. ft.	16.90	153.96

Vehicle Assumptions:

Fleet Mix:

Vehicle Type	Percent Type	Non-Catalyst	Catalyst	Diesel
Light Auto	56.10	2.70	96.80	0.50
Light Truck < 3,750 lbs	15.10	4.60	92.70	2.70
Light Truck 3,751- 5,750	15.60	2.60	96.20	1.20
Med Truck 5,751- 8,500	6.90	2.90	94.20	2.90
Lite-Heavy 8,501-10,000	1.00	0.00	80.00	20.00
Lite-Heavy 10,001-14,000	0.30	0.00	66.70	33.30
Med-Heavy 14,001-33,000	1.00	10.00	20.00	70.00
Heavy-Heavy 33,001-60,000	0.80	0.00	12.50	87.50
Line Haul > 60,000 lbs	0.00	0.00	0.00	100.00
Urban Bus	0.10	0.00	0.00	100.00
Motorcycle	1.60	87.50	12.50	0.00
School Bus	0.20	0.00	0.00	100.00
Motor Home	1.30	15.40	76.90	7.70

Travel Conditions

	Residential			Commercial		
	Home-Work	Home-Shop	Home-Other	Commute	Non-Work	Customer
Urban Trip Length (miles)	12.0	7.8	10.0	10.0	4.7	4.7
Rural Trip Length (miles)	15.0	10.0	10.0	15.0	15.0	15.0
Trip Speeds (mph)	40.0	40.0	40.0	40.0	40.0	40.0
% of Trips - Residential	27.4	17.7	54.9			

% of Trips - Commercial (by land use)

Place of worship	3.0	1.5	95.5
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Changes made to the default values for Land Use Trip Percentages

Changes made to the default values for Area

Changes made to the default values for Operations

**ATTACHMENT  
D**

**RESOLUTION**

RESOLUTION NO. 2009-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD APPROVING PLANNING & ZONING PERMIT NO. 09-500-04 (SPECIAL USE PERMIT), TO PERMIT THE CONSTRUCTION OF A 17,300 SQUARE FOOT NEW CHURCH BUILDING NEAR THE NORTHEAST CORNER OF AN EXISTING CHURCH/SCHOOL SITE. THE REQUEST INCLUDES ADMINISTRATIVE RELIEF FROM THE ON-SITE PARKING REQUIREMENTS. THE 5-ACRE CHURCH/SCHOOL SITE IS LOCATED AT 500-530 NORTH JUANITA AVENUE, WITHIN LA COLONIA NEIGHBORHOOD. FILED BY VICTOR NEWLOVE, ON BEHALF OF THE ROMAN CATHOLIC ARCHBISHOP OF LOS ANGELES 3424 WILSHIRE BOULEVARD, FOURTH FLOOR, LOS ANGELES, CA 90010-2202.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for Planning and Zoning Permit No. 09-500-04, a Special Use Permit, and for administrative relief from the parking requirements of the City Code, to allow development improvements and the expansion of a conditionally permitted use in accordance with Section 16-42 of the R-2 (Multiple-Family) zone of the City Code, and Section 16-651(B)(2) of the City Code, filed by Victor Newlove, on behalf of the Roman Catholic Archbishop of Los Angeles; and

WHEREAS, the proposed development is subject to review in accordance with the California Environmental Quality Act (CEQA). An initial study was prepared to analyze potentially significant adverse environmental effects of the proposed project and in September of 2005 City Council adopted a mitigated negative declaration (MND 2005-04) for the project and related entitlements. Pursuant to Section No. 15164 of the CEQA guidelines an addendum to the adopted MND was prepared in order to identify and analyze changes to the proposed project which were originally analyzed in mitigated negative declaration (MND 2005-04) for the subject project. Staff has reviewed the mitigated negative declaration and concluded that the changes to the current proposal are below the thresholds established in the environmental document. Therefore, the Planning Manager determined the environmental review for the proposed church is adequate and consequently did not prepare a subsequent Negative Declaration pursuant to Section 15162 of the CEQA guidelines.

WHEREAS, the documents and other materials that constitute the record of proceedings upon which the decision to adopt the mitigated negative declaration is based, and the Addendum thereto, are located in the Planning Division of the City of Oxnard, and the custodian of the record is the Planning Manager; and

WHEREAS, the Planning Commission finds, after due study, deliberation and public hearing, that the following circumstances exist:

1. That the proposed use is in conformance with the General Plan and other adopted policies of the City of Oxnard.
2. That the proposed use will not adversely affect or be materially detrimental to the adjacent uses, buildings or structures, or to the public health, safety or general welfare.

Resolution No.  
 PZ 09-500-04 (SUP)  
 October 1, 2009

3. That the site for the proposed use is adequate in size and shape to accommodate the setbacks, parking, landscaping, and other City standards except as may be specifically excepted by the special findings and conditions of this resolution.
4. That the site for the proposed use will be served by streets and highways adequate in width and structure to carry the kind and quantity of traffic such use will generate.
5. That the site for the proposed use will be provided with adequate sewerage, water, fire protection and storm drainage facilities.

WHEREAS, the application includes an application for administrative relief pursuant to Section No. 16-651(B)(2) of the City Code, to allow off-site parking within a 147 space parking lot which is approximately 450 feet away from the project site; and

WHEREAS, the Planning Commission finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby approves Planning and Zoning Permit No. PZ 09-500-04 (Special Use Permit), and approves the administrative parking relief subject to the following conditions. The decision of the Planning Commission is final unless appealed in accordance with the provisions of Section 16-545 of the Oxnard City Code.

### STANDARD CONDITIONS OF APPROVAL FOR LAND USE PERMITS

Note:

The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Landscape Design	CE	Code Compliance

## GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another. (PL, G-1).
2. This permit is granted for the plans dated October 1, 2009, ("the plans") on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Planning and Environmental Services Manager ("Planning Manager") or a major modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design, materials or colors of structures or masonry walls. A major modification shall be required for substantial changes or increases in such items. (PL, G-2)
3. This permit shall automatically become null and void 36 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. (PL, G-3)
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Development Services Manager allows Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements. (DS, G-4)
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein. (CA, G-5)
6. Any covenants, conditions, and restrictions (CC&Rs) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&Rs and the City Code or this permit, the City Code or this permit shall prevail. (CA, G-7)
7. Developer shall complete the "Notice of Land Use Restrictions and Conditions" form, using the form provided by the City, for recording with the Ventura County Recorder. Before the City issues building permits, Developer shall submit the original completed, signed and notarized document, together with the required fees to the Planning Manager. (PL, G-8)
8. Developer shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code. (PL/B, G-9)
9. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property. (PL/B, G-10)
10. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit. (B, G-11)

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11. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property. (FD, G-12)
12. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief. (FD, G-13)
13. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code. (CA, G-14)
14. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property. (PL, G-15).

#### **LANDSCAPE STANDARD CONDITIONS**

15. Before the City issues building permits or the proposed use is initiated, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Development Services Division and obtain approval of such plans. (PK/DS, PK-2)
16. Before the City issues a certificate of occupancy, Developer shall install landscape and automatic irrigation systems that have been approved by Parks and Facilities Superintendent. (PK, PK-3)
17. Developer shall maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so will result in the revocation of this permit and initiation of legal proceedings against Developer. (PK, PK-4)
18. Before the City issues a certificate of occupancy, Developer shall provide a watering schedule to the building owner or manager and to the Parks and Facilities Superintendent. The irrigation system shall include automatic rain shut-off devices, or instructions on how to override the irrigation system during rainy periods. (PK, PK-5)
19. All trees planted or placed on the project property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit. (PK, PK-6)
20. Developer shall install an irrigation system that includes a water sensor shut off device as a water conservation measure. (PK, PK-22)

#### **LANDSCAPE SPECIAL CONDITIONS**

21. As a water conservation measure, Developer shall incorporate a water shut off valve into the irrigation system. (PK)
22. At time of planting, Developer shall provide a 36-inch high visual landscape screen along portions of Colonia Rd. and Juanita Ave adjacent to the parking lot. (PK)

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23. Staff agrees with the revised Certified Arborist's Report and the economic appraisal value of \$37,195 for the 23 trees removed. Developer shall incorporate the appraised value back into new tree sizes for the project and shall be in addition to meeting the City of Oxnard's minimum tree size of 24-inch box. Priority shall be given to increasing the tree size of the street trees on Colonia Road to 48-inch box size; then the balance of the economic tree appraisal value can be used to increase tree sizes on the remainder of the project.

At time of plan check review, Developer shall include on the landscape plans a Tree Tabulation Chart that clearly shows the computations required to increase tree sizes from 24" box size (minimum) to the proposed new tree sizes. The computation shall demonstrate how the appraised value (\$37,195) was put back into new tree sizes. (PK)

24. Developer's Landscape Architect or Architect shall provide the City with written confirmation that they have reviewed the civil engineering construction drawings and that the NPDES requirements are not in conflict with meeting the City's landscape requirements. (PK)
25. Landscape plans shall include a landscape detail section(s) that illustrates the relationship of the required landscape planting to the proposed swale or infiltration system. The purpose of this section is to illustrate there is no conflict between the requirements of the swale and the City required landscape treatment. (PK)
26. Developer shall contact the City Landscape Assessment District Maintenance Supervisor (805-207-1436) to set up a meeting, review and coordinate changes for proposed driveway along the existing Camino Del Sol landscaped parkway. All modifications and repairs to the landscaped parkway shall be approved and meet the satisfaction of the City Landscape Assessment District Maintenance Supervisor. (PK)

#### **FIRE DEPARTMENT STANDARD CONDITIONS**

27. Developer shall construct all vehicle access driveways on the project property to be at least 26 feet wide. Developer shall mark curbs adjacent to designated fire lanes in parking lots to prohibit stopping and parking in the fire lanes. Developer shall mark all designated fire lanes in accordance with the California Vehicle Code. (FD/B, F-1)
28. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Fire Chief and in compliance with the City Code. (FD, F-2)
29. Before the City issues building permits, Developer shall obtain the Fire Chief's approval of a plan to ensure fire equipment access and the availability of water for fire combat operations to all areas of the project property. The Fire Chief shall determine whether or not the plan provides adequate fire protection. (FD/DS, F-3)
30. At Developer's expense, Developer shall obtain two certified fire flow tests for the project property. The first test shall be completed before City approval of building plans and the second shall be

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completed after construction and prior to the issuance of a certificate of occupancy. A mechanical, civil, or fire protection engineer must certify the tests. Developer shall obtain permits for the tests from the Engineering Division. Developer shall send the results of the tests to the Fire Chief and the City Engineer. (FD/DS, F-4)

31. All structures on the project property shall conform to the minimum standards prescribed in Title 19 of the California Code of Regulations. (FD, F-5)
32. The project shall meet the minimum requirements of the "Fire Protection Planning Guide" published by the Fire Department. (FD, F-6)
33. At all times during construction, developer shall maintain paved surfaces capable of handling loads of 46,000 pounds which will provide access for fire fighting apparatus to all parts of the project property. (FD/DS, F-7)
34. Developer shall identify all hydrants, standpipes and other fire protection equipment on the project property as required by the Fire Chief. (FD, F-8)
35. Developer shall install security devices and measures, including walkway and vehicle control gates, entrance telephones, intercoms and similar features, subject to approval of the Police Chief and the Fire Chief. Vehicle control gates shall be operable by City approved radio equipment. (FD/PD, F-9)
36. Developer shall provide central station monitoring of the fire sprinkler system and all control valves. (FD, F-10)
37. The turning radius of all project property driveways and turnaround areas used for emergency access shall be a minimum of 48 feet outside diameter for a semi-trailer. (FD, F-11)
38. Developer shall provide automatic fire sprinklers as required by the City Code and shall contact the Fire Chief to ascertain the location of all connections. (FD, F-12)
39. Developer shall install in each structure in the project a detection/alarm system with a central station monitor that will automatically notify the Fire Department in the event of a fire in the structure. The alarm system shall include a UL or State Fire Marshal approved device, which shall not exceed design specifications, that reports the location of the fire and allows the central station monitor to inform the Fire Department of the point of entry into the structure that is nearest the fire. (FD, F-13)
40. Developer shall comply with Certified Unified Program Agency (CUPA) requirements regarding the storage, handling and generation of hazardous materials or waste. Prior to the issuance of building permits, Developer shall contact the CUPA division of the Fire Department to ensure that such requirements are followed. (FD, F-16)

## **FIRE DEPARTMENT SPECIAL CONDITIONS**

41. Developer shall allow installation of public safety radio equipment in the tower, steeple, roof or other elevated portion of the building. Such equipment shall not conflict with the architectural design of the building and shall comply with zoning and planning requirements and conditions. (FD)

## **PLANNING DIVISION STANDARD CONDITIONS**

42. Plans submitted by Developer with building permit applications shall show on the building elevation sheets all exterior building materials and colors, including product and finish manufacturer name, color name and number, and surface finish type (such as: stucco with sand finish, plaster with smooth finish) to be used in construction. (PL/B, PL-1)
43. Any application for a minor modification to the project shall be accompanied by four copies of plans reflecting the requested modification, together with applicable processing fees. (PL, PL-2)
44. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Planning Commission and/or the City Council in all sets of construction documents and specifications for the project. (PL, PL-3)
45. Before the City issues building permits, Developer shall provide to the Planning Division Manager color photographic reductions (8 1/2" by 11") of full-size colored elevations and any other colored exhibit approved by the Planning Commission. Developer may retain the full-size colored elevations after the reductions are so provided. (PL, PL-4)
46. Developer acknowledges that because of population limitations placed on the City by the Air Quality Management Program, approval of this permit does not guarantee that the City will issue building permits. The City's issuance of building permits may be delayed as a result of implementation of an air quality plan. (PL, PL-5)
47. Developer may not modify any use approved by this permit unless the Planning Division Manager determines that Developer has provided the parking required by the City Code for the modified use. (PL, PL-7)
48. During the plan check review process, the Developer shall provide a lighting plan that provides design details (light standards, bollards, wall mounted packs, etc.) and illumination site information within alleyways, pathways, streetscapes, and open spaces proposed throughout the development. An electrical engineer shall prepare the site lighting plan demonstrating that adequate lighting ranges will be provided throughout the development without creating light spillover, light pollution, or conflicts with surrounding factors such as tree locations, off-site or adjacent lighting. (PL)
49. Prior to issuance of building permits, Developer shall demonstrate that light standards illustrated on conceptual lighting plan do not conflict with tree locations. Developer shall submit a plan showing both the lighting and landscape on the same sheet.

50. Project on-site lighting shall be of a type and in a location that does not constitute a hazard to vehicular traffic, either on private property or on adjoining streets. To prevent damage from vehicles, standards in parking areas shall be mounted on reinforced concrete pedestals or otherwise protected. Developer shall recess or conceal under-canopy lighting elements so as not to be directly visible from a public street. Developer shall submit a lighting plan showing standard heights and light materials for design review and approval of the Planning Division Manager. (PL/B, PL-8)
51. In order to minimize light and glare on the project property, all parking lot and exterior structure light fixtures shall be high cut-off type that divert lighting downward onto the property and shall not cast light on any adjacent property or roadway. (PL, PL-9)
52. Developer shall provide for dust control at all times during project property preparation and construction activities. (B/DS, PL-13)
53. Developer agrees to participate in a water conservation program that includes refitting water fixtures existing on the project property with water conserving devices within residences or businesses in the City's water service area, if such a program is in effect when building permits are issued for this project. Among the requirements of such a program might be refitting existing toilets, faucets, shower heads, landscaping irrigation or other fixtures and items that consume water within the structure. (PL, PL-14)
54. Because of water limitations placed upon the City by its water providers, approval of this permit does not guarantee that the City will issue building permits. Issuance of building permits may be delayed as a result of implementation of a water conservation or allocation plan. (PL, PL-15)
55. Prior to issuance of building permits, Developer shall pay a document imaging fee for the planning files in an amount calculated by planning staff at the time of building permit review based on fees then in effect. (PL/B, PL-16).
56. Developer shall recess or screen roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Developer shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color. (PL/B, PL-41)
57. Developer shall install all roof and building drainpipes and downspouts inside building elements. These items shall not be visible on any exterior building elevations. (PL, PL-42)
58. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-ways, to the maximum extent feasible. (PL, PL-43)

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59. Prior to issuance of a certificate of occupancy, Developer shall remove all construction materials and vehicles from the subject property. (PL/B, PL-47)

#### **PLANNING DIVISION SPECIAL CONDITIONS**

60. Prior to the issuance of building permits, Developer shall make necessary amendments to the existing parking agreement with the Oxnard School District for use of off-site parking at Robert J. Frank Intermediate School, 701 North Juanita Avenue (APN: 215-0-030-070). The parking agreement shall assure the continued availability of the off-site parking for the life of the use to be served by the off-site parking. (PL)
61. Permits which trigger occupancy or parking demand changes will require the filing of a minor modification permit to allow the Planning Manager to monitor and consider off-street parking demand changes within the site. (PL)
62. Developer shall stripe the jointly used (parochial school) parking lot in accordance to the parking ordinance. All gates in fences shall be secured open during religious ceremonies and striping shall be maintained clearly visible and distinctly noticeable from other striping that may be painted on the surface. (PL)
63. Over the public announcement system, parishioners shall be made aware and of the availability of additional parking at Robert J. Frank Intermediate School. (PL)

#### **Air Quality:**

64. Apply sufficient water to all major soil disturbance areas to maintain soil moisture of 4% in the upper six inches of soil stratum. Other equally effective dust palliatives shall be used if drought conditions limit water availability. (PL)
65. All trucks that will haul excavate or graded materials offsite shall comply with State Vehicle Code Section 23114, with special attention to Section 23114(b)(F), (e)(2), and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads. (PL)
66. Double sandbag all site perimeters adjoining traveled roads from November to April to prevent dirt from washing off the site and being pulverized by passing vehicles. (PL)
67. Apply non-hazardous chemical stabilizers to all inactive portions of the construction site. When appropriate, seed exposed surfaces with a fast-growing, soil binding plant to reduce wind erosion and its contribution to local particulate levels. (PL)
68. During construction (especially grading activities), employ local workers who have greater immunity to San Joaquin Valley Fever to the greatest extent possible. (PL)
69. During grading activities on the project site, all construction workers shall use facemasks. (PL)

70. Use air-conditioning cabs in heavy construction and grading equipment where possible. (PL)
71. All primary project construction contractors shall implement a traffic management program to reduce the number of employees or material delivery trips and to minimize conflict with regional transportation patterns. The elements of such a program shall include: (PL)
  - a.) Provide rideshare incentives for all workers on the project site.
  - b.) Provide construction personnel parking off arterial roadways to minimize traffic interference.
  - c.) Schedule receipt of concrete, asphalt, steel, and other materials between 9:00 a.m. and 3:00 p.m. to the extent practical.
  - d.) Restrict any lane closures of public roadways to the hours of 9:00 a.m. to 3:00 p.m.
  - e.) Complete all street sweeping of adjacent roadways by 4:00 p.m.
72. Developer shall maintain and tune all construction equipment to meet appropriate EPA and CARB emissions requirements. At such time as new emission control devices or operational modifications are found to be effective, such devices or operational modifications shall be required on all construction equipment operating pursuant to City permits. (PL)
73. The following dust suppression measures shall be incorporated into the project: (PL)
  - a. Watering all excavated material to prevent wind erosion while it is on-site or being moved;
  - b. Periodic watering of construction sites or use of APCD approved dust suppression compounds that bind with the surface layers of soil and prevent soil particles from being eroded;
  - c. Controlling the number and activity of vehicles on site at any given time;
  - d. Seeding areas to be left inactive for a long enough period to secure the soil, limiting the area excavated at any given time;
  - e. Limiting on-site vehicle traffic to 15 miles per hour; and
  - f. Sweeping streets adjacent to the construction site to remove dust caused by the construction activities.
  - g. All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., greater than 15 miles per hour averaged over one hour) to prevent excessive amounts of fugitive dust.

#### Geology and Soils:

74. All construction shall conform to the seismic requirements of the California Building Code. (PL)
75. A site-specific soils investigation which addresses, at a minimum, liquefaction and compressible soil characteristics on the site, shall be prepared by a licensed geo-technical engineer for review and comment by the City. The report shall identify any necessary construction techniques or other mitigation measures to prevent significant liquefaction/compressible soils impacts upon the proposed project. All recommendations of the report shall be incorporated into the project as conditions of approval. The report shall be submitted no later than at the time plans are submitted for review by the Building Official. (PL)

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Noise:

Short Term Impacts:

76. During all excavation and grading on site, the project contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers, consistent with manufacturers' standards. (PL)
77. The project contractor shall place all stationary construction equipment so that emitted noise is directed away from sensitive receptors nearest the project site. (PL)
78. The construction contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise sources and noise-sensitive receptors nearest the project site during all project construction. (PL)
79. Construction times shall be limited to 7 a.m. to 7 p.m. daily or in accordance with City Ordinances restricting construction times at the time of construction, whichever is more restrictive. (PL)

Cultural Resources:

80. Developer shall contract with a Native American monitor to be present during all subsurface grading and trenching activities on the project site. The monitor shall provide a monthly report to the Planning Division summarizing their activities during the reporting period. A copy of the contract for these services shall be submitted to the Planning and Environmental Services Manager for review and approval prior to issuance of any grading permits. The monitoring report(s) shall be provided to the Planning Division prior to approval of final building permits. (PL)

Utilities and Service Systems:

81. Developer shall obtain a "will serve" letter from the City of Oxnard Water Division which ensures that the Water Division has adequate water to serve the development. (PL)
82. Developer shall provide low-flow water fixtures and drought-tolerant landscaping to reduce the amount of water consumed by the proposed development and/or modifications to existing buildings and/or proposed site improvements. (PL)
83. Storm water runoff shall be limited to the runoff rates specified by the Development Services Program and onsite detention may be required. All detention basins, if needed, shall be designed in accordance with City standards and policies. (PL)
84. Developer shall install toilets that have automatic flush sensors in all public restrooms. Such toilets shall be included on the plans submitted for a building permit and shall be maintained and in working order at all times. (PL)
85. Developer shall install individual mirrors above each sink in a public restroom to the satisfaction of the Planning Division Manager. The details of such mirrors shall be approved prior to issuance of a

building permit. Developer shall remove graffiti from the mirrors or replace the mirrors within 24 hours of graffiti appearance. (PL)

86. Developer shall remove any and all graffiti from the project premises, including but not limited to graffiti within the building, such as in restrooms or fitting rooms, within 24 hours of its appearance. The surface of such affected areas shall be matched to blend in with the underlying colors and/or design, and shall not look like a paint patch. (PL)
87. Before the City issues building permits, Developer shall provide a Graffiti Deterrent Plan, subject to the approval the Planning Division Manager. Such plan shall include such elements as clear film on windows and/or mirrors, as well as washable paint and sealers on the building and perimeter walls. (PL)

### **ENVIRONMENTAL RESOURCES DIVISION**

88. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused or recycled, Developer shall complete and submit a "City of Oxnard C&D Environmental Resources Management & Recycling Plan" ("Plan") to the City for review and approval. The Plan shall provide that at least 50% of the waste generated on the project be diverted from the landfill. The Plan shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The Plan shall be submitted to and approved by the Environmental Resources Division prior to issuance of a building permit. The Plan shall include the following information: material type to be recycled, reused, salvaged or disposed; estimated quantities to be processed; management method used; destination of material including the hauler name and facility location. Developer shall use the Plan form.
89. Developer shall follow the approved "City of Oxnard C&D Environmental Resources Management & Recycling Plan" and provide for the collection, recycling, and/or reuse of materials (i.e., concrete, wood, metal, cardboard, green waste, etc.) and document results during construction and/or demolition of the proposed project. After completion of demolition and/or construction, Developer shall complete and submit the "City of Oxnard C&D Environmental Resources Management & Recycling Report For Work Completed" ("Work Completed Report") and provide legible copies of weight tickets, receipts, or invoices for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, Developer shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused, and the project generating the discarded materials. Developer shall submit and obtain approval of the Work Completed Report prior to issuance of a certificate of occupancy.
90. Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Environmental Resources Division or Developer shall arrange for self-hauling to an authorized facility.
91. Developer shall make provisions to divert at least 50% of the waste material generated during occupancy through source reduction, recycling, reuse, and green waste programs. Developer shall complete and submit a "City of Oxnard C&D Environmental Resources Management & Recycling Occupancy Plan" ("Occupancy Plan") to the City's Environmental Resources Division. An Occupancy Plan must be submitted and approved prior to issuance of a certificate of occupancy. A "City of Oxnard C&D

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Environmental Resources Management & Recycling Occupancy Report" shall be submitted to the Environmental Resources Division annually on the anniversary date of the certificate of occupancy for approval.

92. Developer shall dispose of sewage and solid waste from the project by City's wastewater and solid waste systems in a manner approved by the City Engineer.

#### **DEVELOPMENT SERVICES DIVISION STANDARD CONDITIONS**

93. Developer shall pay plan check and processing fees in effect at the time of construction plan submittal and shall pay development fees, encroachment permit fees, and other applicable fees in effect at the time the City issues building permits. (DS-1)
94. Developer's Engineer shall design parking lot structural sections based on an analysis of the soils R-value and a traffic index (T.I.) approved by the City Engineer. The minimum structural section for parking lots is two inches of asphalt on four inches of base material. Developer shall show the proposed structural section on the site improvement plans. (DS-2)
95. Developer shall have the site improvement plans prepared on standard Development Services Division mylars by a civil engineer licensed in the State of California. The plans shall incorporate recommendations from soil engineering and geology reports. Prior to issuance of a grading permit, improvement plans must be approved by the City Engineer and the original ink-on-mylar plans filed with the Development Services Division. (DS-3)
96. Developer shall submit improvement plans and drainage calculations that demonstrate that storm drainage from the project property and all upstream areas will be safely conveyed to an approved drainage facility. The design and conveyance route shall be compatible with the City's Master Plan of Drainage and shall be approved by the City Engineer prior to approval of improvement plans. (DS-4)
97. Developer shall protect building pads from inundation during a 100-year storm. (DS-5)
98. Developer shall remove and replace all improvements that are damaged during construction. (DS-6)
99. Each structure shall be served by separate sewer and water services. There shall be no interconnections between structures. (DS-8)
100. Curb cut widths and design shall conform to City ordinances, standards, and policies in effect at the time City issues an encroachment permit. (DS-9)
101. Where a separate loop or terminal line is required for water mains, fire hydrants or fire sprinkler systems, Developer's site improvement plans shall include an on-site water plan. (DS-11)
102. Developer shall install on-site and off-site utility services underground in accordance with City ordinances in effect at the time City issues the building permit. Services shall be installed underground to the nearest suitable riser pole as determined by the appropriate utility service provider. (DS-12)

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103. Developer shall enter into an agreement, approved as to form by the City Attorney, to install and construct all public improvements required by this permit and by the City Code and shall post security satisfactory to the Finance Director, guaranteeing the installation and construction of all required improvements within the time period specified in the agreement or any approved time extension. (DS-14)
104. A civil engineer licensed in the State of California shall prepare the public improvement plans and documents for this project in accordance with City standards and shall submit all such plans to the City Engineer. Such plans and documents shall include, but not be limited to, grading, street, drainage, sewer, water and other appurtenant improvement plans; a master utility plan showing the layout and location of all on-site and off-site utility improvements that serve the project; construction cost estimates, soils reports, and all pertinent engineering design calculations. City will not accept an application for the final map or parcel map for the project or issue a grading, site improvement or building permit until the City Engineer has approved all improvement plans. (DS-15)
105. Prior to issuance of a site improvement permit, Developer shall provide to the Development Services Division a compact Disc (CD) containing digital copies of the final subdivision map, address map, and civil improvements drawings in DWG format. Prior to improvement bond release, Developer shall provide an updated CD containing all changes that occur during construction. (DS-16)
106. Developer shall provide all necessary easements for streets, highways, alleys, sidewalks, breezeways, parkways, landscaping, utilities, drainage facilities, and other improvements as required by City. If such easements cannot be obtained from the property owner by negotiation, City may acquire them at the expense of Developer by exercise of the power of eminent domain. Developer shall bear all costs of eminent domain proceedings, including appraisal, acquisition, attorney's fees, and court costs. Before City issues a site improvement permit, Developer shall dedicate all required easements to City. (DS-19)
107. Developer shall remove graffiti from the project, including graffiti on offsite public infrastructure under construction by Developer, within 24 hours of its appearance. If Developer fails to remove graffiti in accordance with this condition, the City may at the discretion of the Development Services Manager issue a stop work order until such time as the graffiti is removed. (DS-20)
108. The conditions of this resolution shall prevail over all omissions, conflicting notations, specifications, dimensions, typical sections, and the like, that may or may not be shown on the improvement plans. (DS-21)
109. Developer shall pay the cost of all inspections of on-site and off-site improvements. (DS-22)
110. Developer shall be responsible for all project-related actions of Developer's employees, contractors, subcontractors, and agents until City accepts the improvements. (DS-23)
111. Prior to beginning construction, Developer shall designate in writing an authorized agent who shall have complete authority to represent and to act for Developer. The authorized agent shall be present at the work site whenever work is in progress. Developer or the authorized agent shall make arrangements

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acceptable to City for any emergency work. When City gives orders to the authorized agent to do work required for the convenience and safety of the general public because of inclement weather or any other cause, and the orders are not immediately acted upon by the authorized agent, City may do or have such work done by others at Developer's expense. (DS-24)

112. "Standard Specifications for Public Works Construction," latest edition, and any modifications thereto by City, and City of Oxnard Standard Land Development Specifications and all applicable City Standard Plans, shall be the project specifications, except as noted otherwise on the approved improvement plans. City reserves the right to upgrade, add to, or revise these specifications and plans and all other City ordinances, policies, and standards. If the improvements required of this project are not completed within 12 months from the date of City's approval of the improvement plans, Developer shall comply with and conform to any and all upgraded, additional or revised specifications, plans, ordinances, policies and standards. (DS-27)
113. Developer shall retain a Civil Engineer licensed in the State of California to ensure that the construction work conforms to the approved improvement plans and specifications and to provide certified "as-built" plans after project completion. Developer's submittal of the certified "as-built" plans is a condition of City's final acceptance of the project. (DS-29)
114. All grading shall conform to City's grading ordinance and any recommendations of Developer's soils engineer that have been approved by the City Engineer. Developer shall conform to all applicable notes specified on the site improvement/grading plan cover sheet and grading permit. (DS-30)
115. In order to mitigate any potential flooding or erosion affecting adjacent properties and public rights-of-way, Developer shall construct required drainage facilities concurrently with the rough grading operations, or with prior approval of the City Engineer, provide interim drainage improvements on a temporary basis. (DS-31)
116. Storm drain, sewer and water facilities shall conform to applicable City Master Plans. Developer shall prepare plans for these facilities in accordance with City's engineering design criteria in effect at the time of improvement plan submittal. Developer shall submit plans with pertinent engineering analyses and design calculations for review and approval by the City Engineer prior to issuance of a site improvement permit. (DS-34)
117. Prior to issuance of a site improvement permit, Developer shall provide to the City Engineer easements or written consents from all affected landowners for any diversion of historical flows or change in drainage conditions caused by the project, as evidence that such landowners accept any additional water flowing over their property. (DS-36)
118. Developer shall dispose of sewage and solid waste from the project by City's wastewater and solid waste systems in a manner approved by the City Engineer. (DS-38)
119. Developer shall install water mains, fire hydrants and water services in conformance with City Standard Plans and specifications as directed by the City Engineer. (DS-41)

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120. Prior to issuance of building permits, Developer shall present to the City Engineer a "Proof of Payment - Authorization for Building Permits" form issued by the Calleguas Municipal Water District. (DS-44)
121. Developer shall install City approved backflow prevention devices for water connections if so ordered by the City Engineer. (DS-45)
122. Prior to designing the water system for the project, Developer shall have a certified fire flow test performed to determine existing water pressure and flow characteristics. The water system shall be designed to allow for a 10 psi drop in the static water pressure measured during the fire flow test. After construction and before City issues a certificate of occupancy, the City Engineer may require a second test. Before performing the tests, Developer shall obtain permits from the City Engineer. Developer shall have all tests certified by a mechanical, civil, or fire protection engineer and provide written results of all tests to the City Engineer. (DS-47)
123. Developer shall submit a landscape irrigation plan prepared by a licensed professional, showing proper water meter size, backflow prevention devices, and cross-connection control. (DS-59)
124. Developer shall be responsible for and bear the cost of replacement of all existing survey monumentation (e.g., property corners) disturbed or destroyed during construction, and shall file appropriate records with the Ventura County Surveyor's Office. (DS-64)
125. Developer shall provide adequate vehicle sight distance as specified by CalTrans specifications at all driveways and intersections. (TR-71)
126. Developer shall install bike racks in accordance with City standards at locations approved by City Traffic Engineer. (TR-73)

## **STORMWATER QUALITY CONDITIONS**

127. Developer shall comply with all National Pollutant Discharge Elimination System (NPDES) permit Best Management Practice (BMP) requirements in effect at the time of grading or building permit issuance. Requirements shall include, but not be limited to, compliance with the Ventura Countywide Stormwater Quality Urban Impact Mitigation Plan (SQUIMP). (DS-78)
128. Developer shall construct double-bin trash enclosures (one bin for recycle use) with a solid non-combustible roof (8-foot minimum clearance) that prevents stormwater from entering the refuse bins. Developer shall construct all other components of the trash enclosure in accordance with the approved City Standard Plan on file with the Development Services Division. Developer shall finish the trash enclosure to match the major design elements of the main structure. The finish and roof appearance shall be indicated on the building plans and are subject to approval by the Planning Division. The location and configuration of trash enclosures shall be reviewed and approved by the Environmental Resources Division. All refuse bins on the site shall be stored in an approved trash enclosure. No objects other than refuse bins may be stored in the trash enclosure without the written permission of the Environmental Resources Division. (DS-79)

129. Developer shall design parking lot and other drive areas to minimize degradation of stormwater quality. Using Best Management Practices (BMPs), such as oil and water separators, sand filters, landscaped areas for infiltration, basins or approved equals, Developer shall intercept and effectively prevent pollutants from discharging to the storm drain system. The stormwater quality system design shall be approved by the City Engineer prior to the issuance of a site improvement permit. (DS-81)
130. Using forms provided by the Development Services Division, Developer shall submit a stormwater quality control measures maintenance program ("the Program") for this project. If the BMPs implemented with this project include proprietary products that require regular replacement and/or cleaning, Developer shall provide proof of a contract with an entity qualified to provide such periodic maintenance. The property owner is responsible for the long-term maintenance and operation of all BMPs included in the project design. Upon request by City, property owner shall provide written proof of ongoing BMP maintenance operations. No grading or building permit shall be issued until the Development Services Manager approves the Program and Developer provides an executed copy for recordation. (DS-82)
131. Developer shall clean on-site storm drains at least twice a year; once immediately before the first of October (the beginning of the rainy season) and once in January. The City Engineer may require additional cleaning. (DS-83)
132. Developer shall maintain parking lots free of litter and debris. Developer shall sweep sidewalks, drive aisles, and parking lots regularly to prevent the accumulation of litter and debris. When swept or cleaned, debris must be trapped and collected to prevent entry into the storm drain system. Developer may not discharge any cleaning agent into the storm drain system. (DS-84)
133. Prior to issuance of a certificate of occupancy, on-site storm drain inlets shall be labeled "Don't Dump - Drains to Ocean" in accordance with City standards. Before City issues a site improvement permit, the requirement to label storm drain inlets shall be shown on the civil engineering plans. (DS-85)
134. Prior to issuance of a grading permit or commencement of any clearing, grading or excavation, Developer shall provide the City Engineer with a copy of a letter from the California State Water Resources Control Board, Storm Water Permit Unit assigning a permit identification number to the Notice of Intent (NOI) submitted by Developer in accordance with the NPDES Construction General Permit. Developer shall comply with all additional requirements of the General Permit, including preparation of a Stormwater Pollution Prevention Plan (SWPPP). The SWPPP shall identify potential pollutant sources that may affect the quality of discharges to stormwater and shall include the design and placement of recommended Best Management Practices (BMPs) to effectively prohibit pollutants from the construction site entering the storm drain system. Developer shall keep the SWPPP updated to reflect current site conditions at all times and shall keep a copy of the SWPPP and the NOI on the site and make them available for City or designated representative to review upon request. (DS-86)

## **DEVELOPMENT SERVICES DIVISION SPECIAL CONDITIONS**

135. Developer shall pay to the County of Ventura a road mitigation fee in accordance with the agreement between the City and the County of Ventura. Proof of payment shall be provided to the Development Services Division prior to issuance of a building permit. (DS-105)
136. Developer shall design the grass swale filters and grass strip filters in accordance with the Technical Guidance Manual for Stormwater Quality Control Measures. Design calculations shall be included in the project drainage report. (DS)
137. Developer shall provide a 6-inch minimum vertical drop between the parking lot surface and the flow line of the grass swale filter or grass strip filter at all location where stormwater enters the filter. The transition between the parking lot and the swale flow line shall be constructed to promote the smooth conveyance of stormwater. (DS)
138. Developer shall install a perforated underdrain below all grass swale filter constructed with a longitudinal slope of less than 1%. Underdrain shall connect to a point of safe discharge as approved by the Development Services Manager. (DS)
139. Developer's engineer shall provide City with written confirmation that they have reviewed the landscape construction drawings within the NPDES grass swale filter and strip filter areas and that the proposed landscaping conforms to SQUIMP standards for such devices. (DS)
140. Developer shall provide stormwater quality treatment for roof runoff water. Developer's engineer shall provide stormwater quality treatment calculations demonstrating that roof runoff (via downspouts) has been provided in accordance with the Technical Guidance Manual for Stormwater Quality Control Measures. (DS)
141. Developer shall construct a minimum 7-foot wide sidewalk at all locations where the sidewalk is constructed adjacent to the front of parking spaces. (DS)
142. Developer shall construct proposed walks that cross-vehicular drive aisles of concrete or other long lasting material that contrasts in color with the parking lot asphalt to clearly identify pedestrian areas. (DS)
143. Developer shall construct both Colonia Road driveways to provide an ADA compliant pedestrian path along the public sidewalk. (DS)
144. Developer shall realign the proposed disabled access ramps at the Camino Del Sol driveway to provide a straight path for pedestrians using the public sidewalk. Developer shall also minimize the amount of impervious pavement created at this driveway. Final design to be approved by the Development Services Manager. (DS)

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145. Prior to issuance of a site improvement permit, Developer shall dedicate a sidewalk easement to City that encompasses all portions of the proposed or existing sidewalk along adjacent public streets that are not within an existing City easement. (DS)
146. Developer shall provide onsite fire hydrants such that all points of all structures are within one hundred fifty (150) feet of a fire hydrant, or as otherwise approved by the Fire Department. Fire hydrant line improvements shall be designed in accordance with City standards and shown on the civil engineer's improvement plans prior to issuance of a site improvement/grading permit. Developer shall provide the City with an easement over the waterline using standard City format. (DS)
147. Developer shall design and construct the driveway connecting to Camino del Sol with a maximum curb radius of 55-feet and a driveway width of 18-feet. Developer shall construct the driveway to provide a straight path for pedestrians walking along Camino Del Sol. Transition from street gutter to sidewalk shall be substantially similar to section A-A of City standard plate 115 modified to include proposed curb returns. (TR)

PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 1<sup>st</sup> day of October 2009, by the following vote:

AYES:           Commissioners:

NOES:           Commissioners:

ABSENT:        Commissioners:

\_\_\_\_\_  
Deirdre Frank, Chair

ATTEST: \_\_\_\_\_  
Susan L. Martin, Secretary